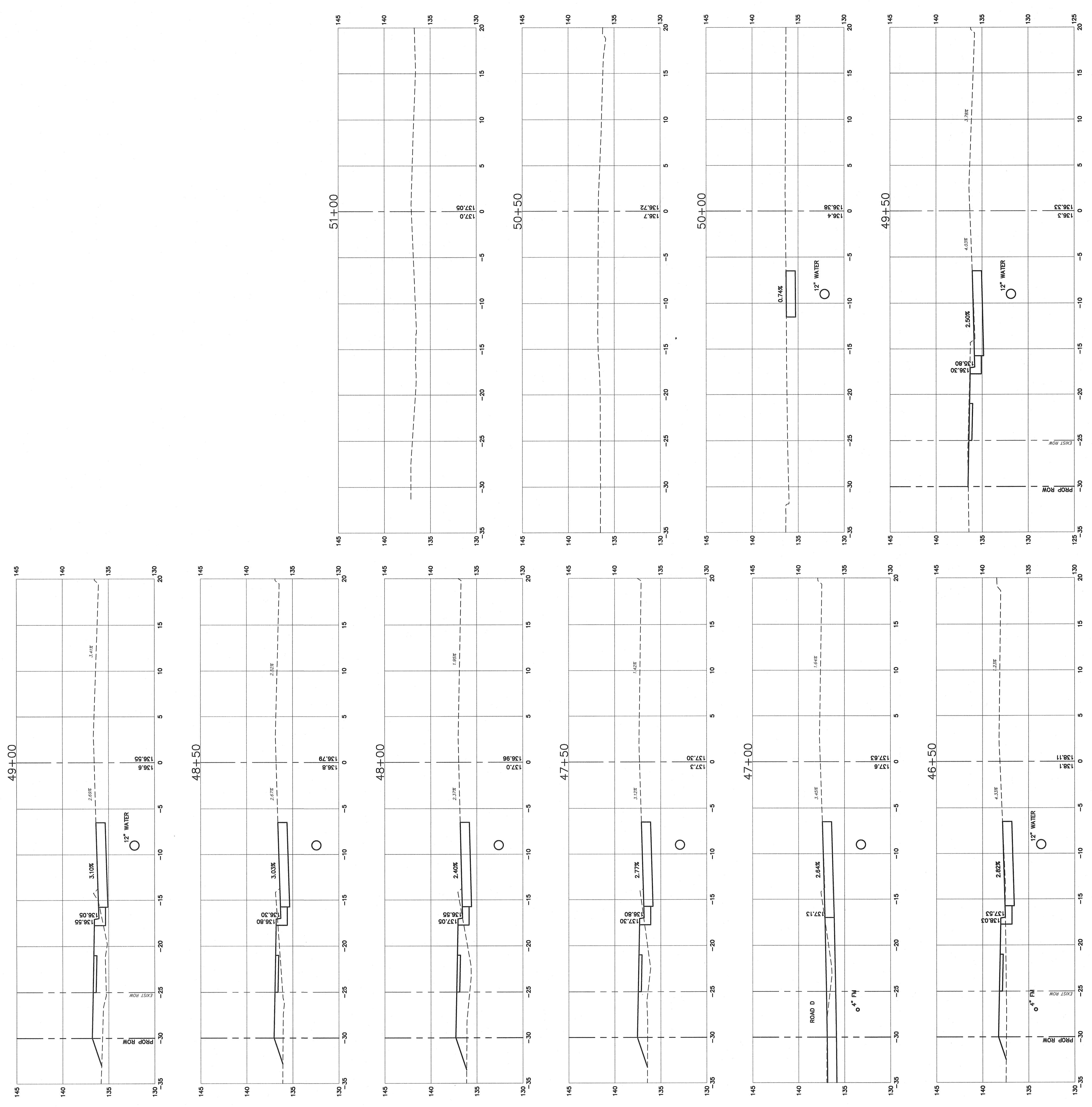
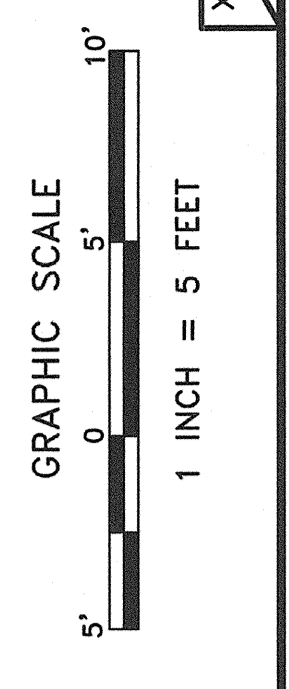


CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
 PHONE (958) 228-2200 FAX (958) 222-2248 EMAIL: cepl@cepl.com
 PREPARED BY: H-K/S&S
 FILE NO. 2912 DRAWN BY: JAC

CROSS SECTIONS
WNSLOW ROAD
MALAGA ROAD TRACT
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41

NO.	DATE	REVISIONS
JAC	11/01/13	PER IMA 12/19/13, KENNAN 12/17/13 REVIEW LETTER, 19-34-13 RESOLUTION
JAC	10/14/13	ADDED FORCE MAIN

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
 DATE: 1/23/2017



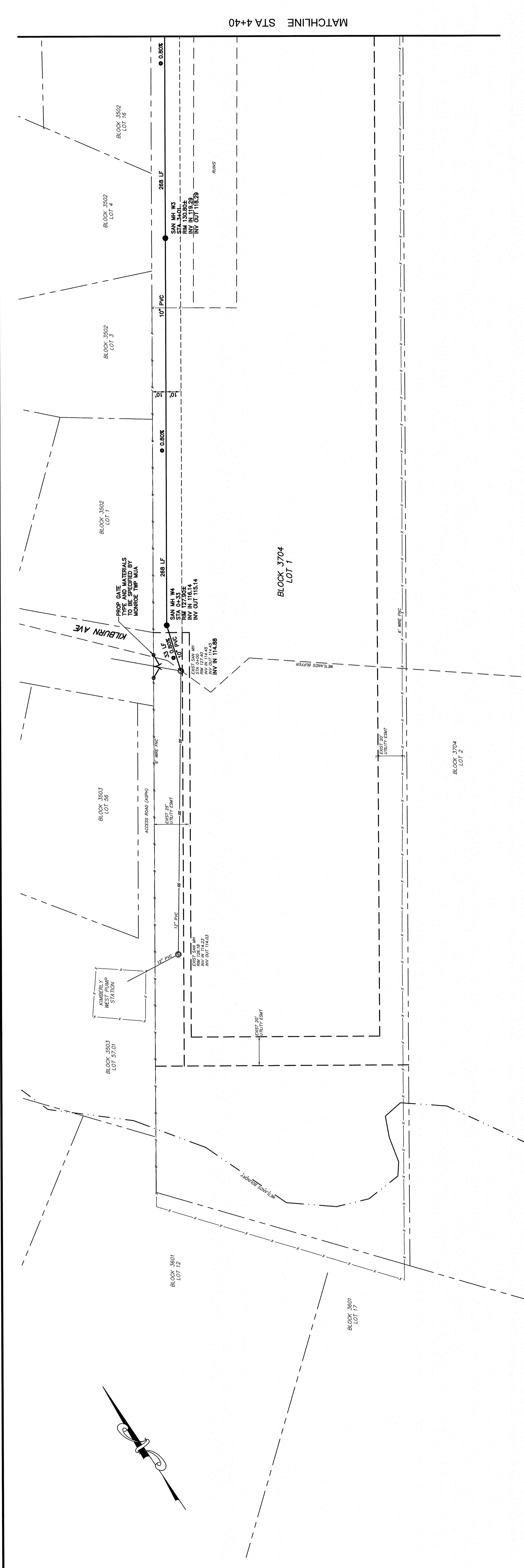
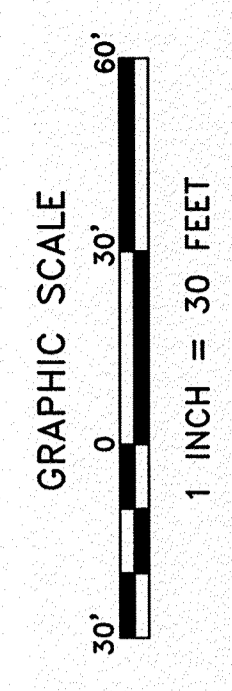
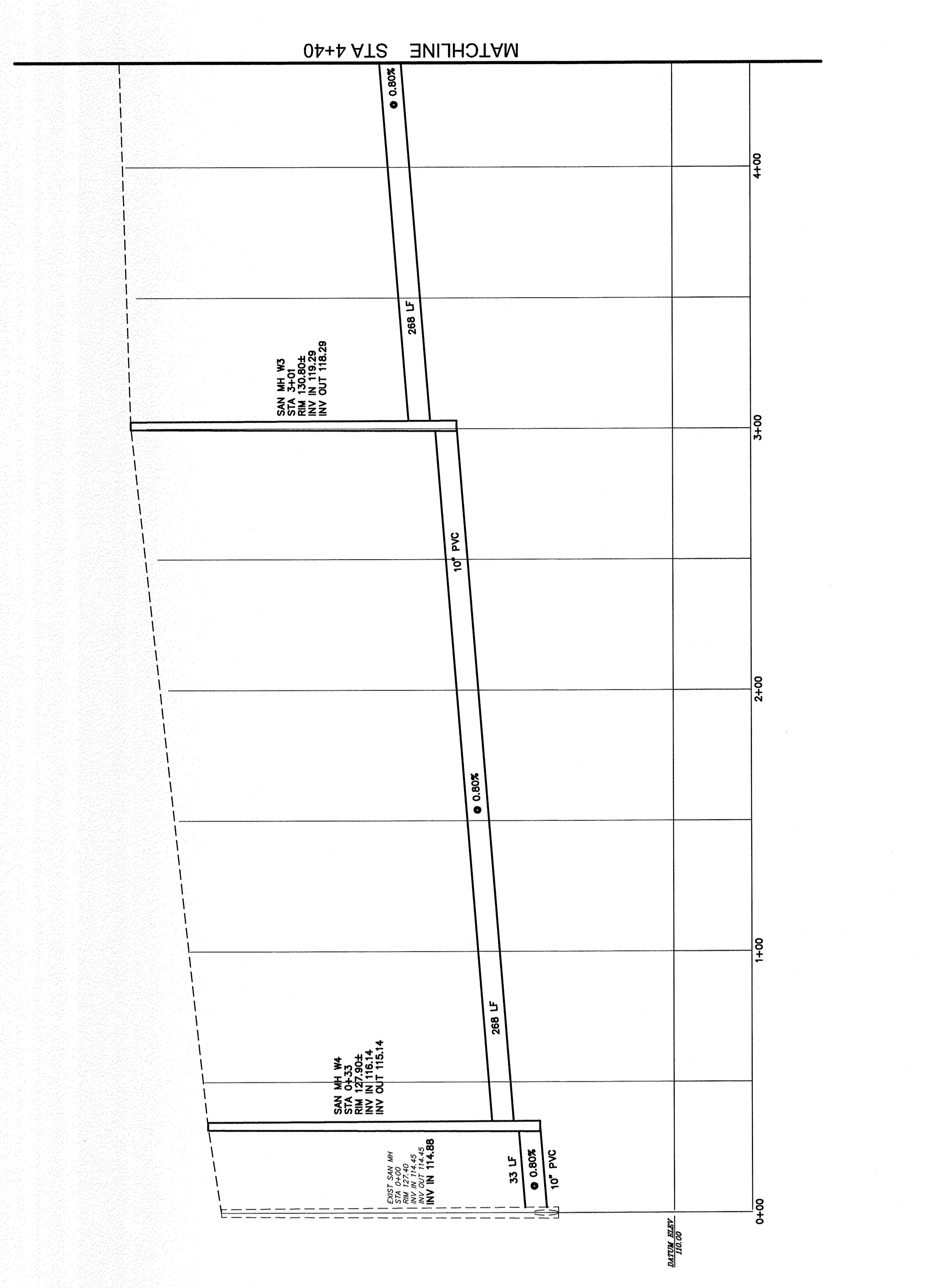
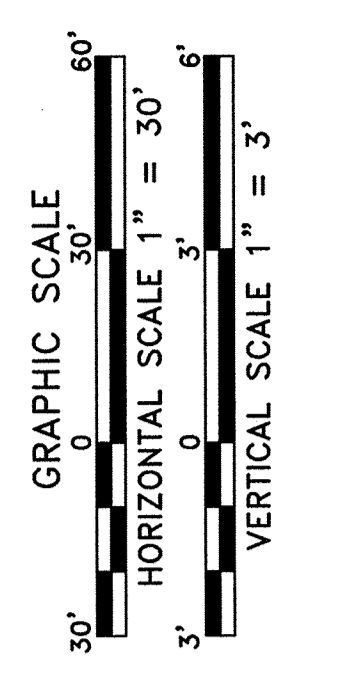


CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEWILLE, NEW JERSEY 08081
 PHONE (856) 228-2200 - FAX (856) 232-2346 - EMAIL: ddd@berlin.com
 N.J. CERTIFICATE OF AUTHORIZATION NO. Z462785700

PREPARED BY
OFF SITE SANITARY SEWER
BLOCK 3704, LOT 1
MALAGA ROAD TRACT
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

REV	DATE	REVISIONS
05/09/14		REV PER COMMENTS FROM 05/07/14 MEETING
04/15/14		REV PER MALA REVIEW COMMENTS
02/26/14		ISSUED SANITARY SEWER MAIN
DRWN		

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
 DATE: *5/12/2014*





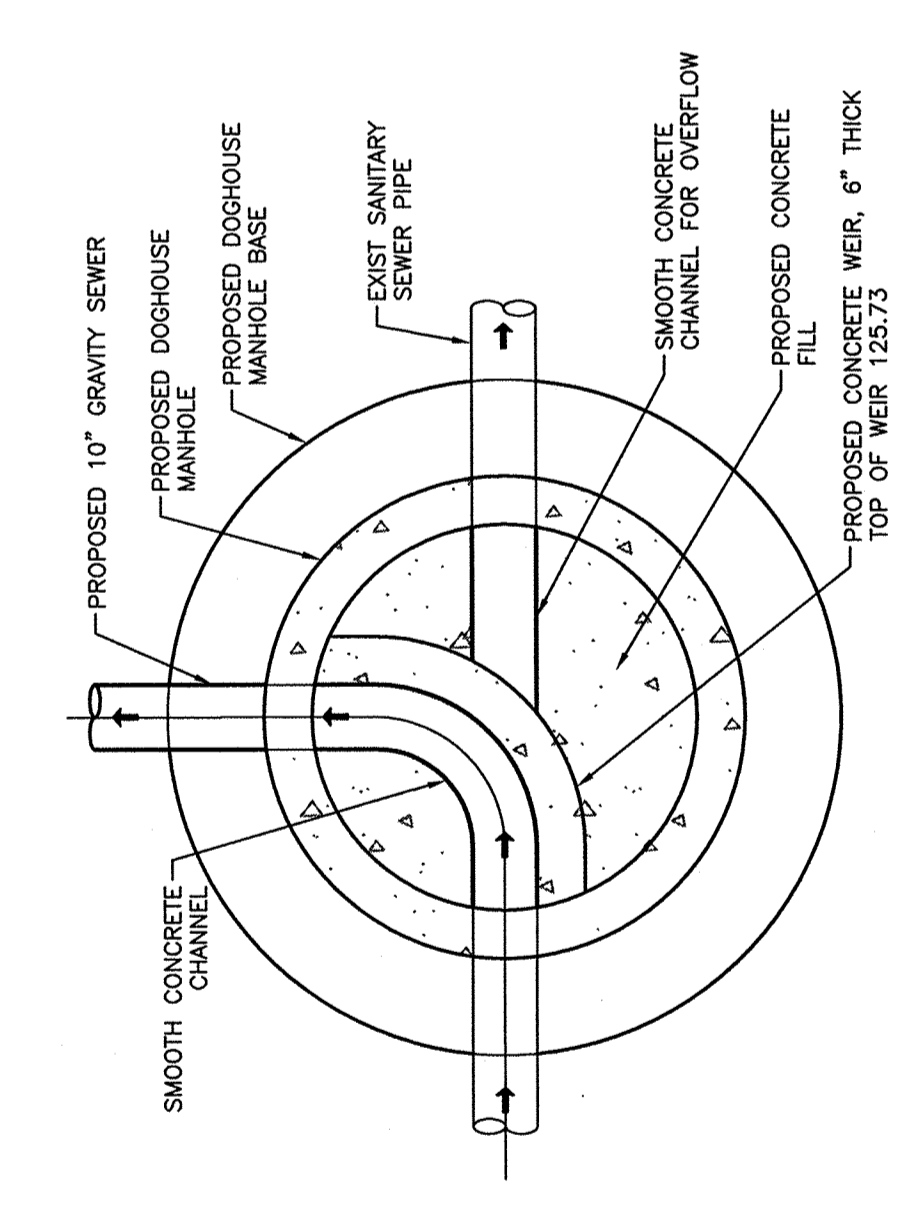
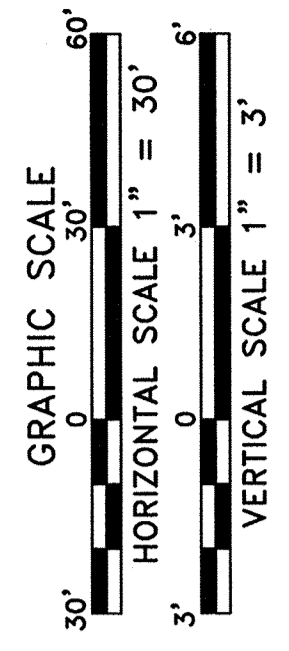
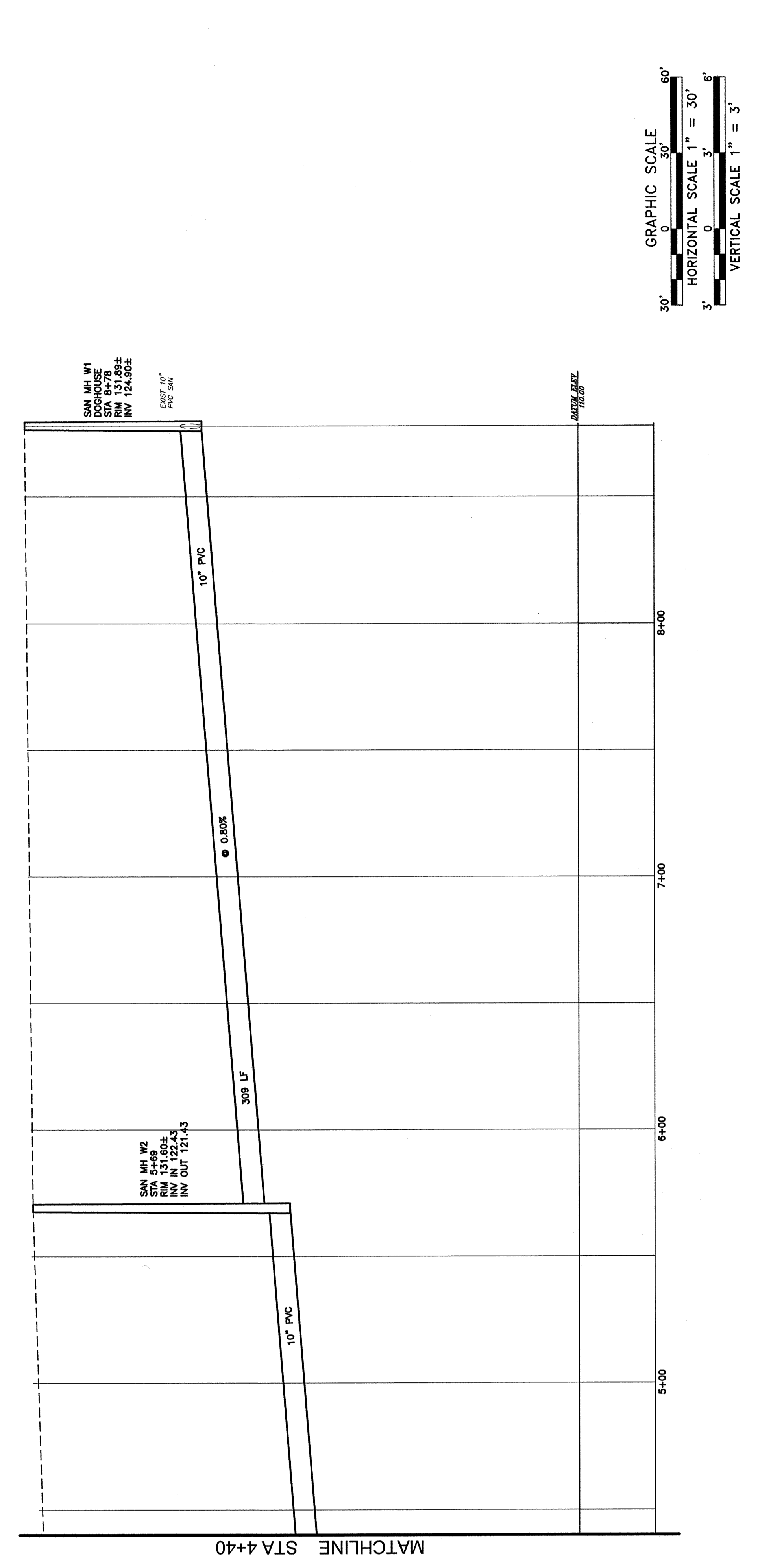
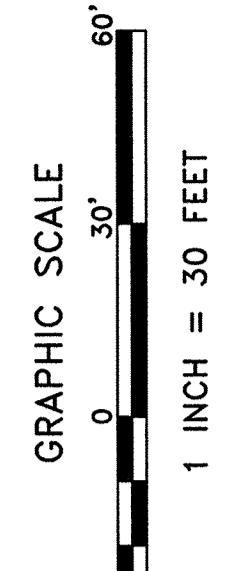
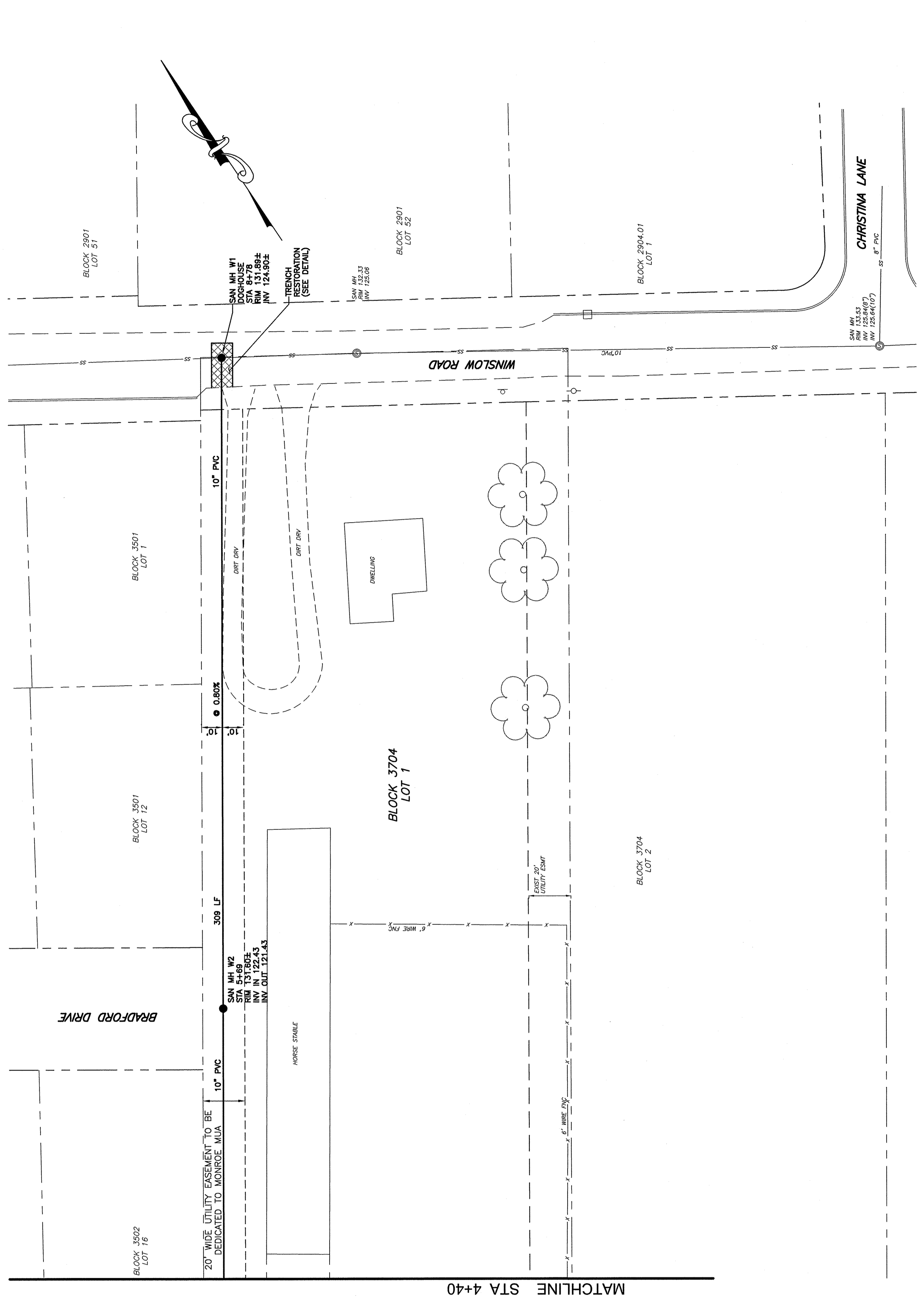
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CONSULTING ENGINEERS SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
 PHONE (956) 228-2200 - FAX (956) 232-2346 - EMAIL design@ces-1.com
 N.J. CERTIFICATE OF AUTHORIZATION NO. 24A27937700
 09/03
 BRAUN BY: JMC

OFF SITE SANITARY SEWER
BLOCK 3704, LOT 1
MALAGA ROAD TRACT
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

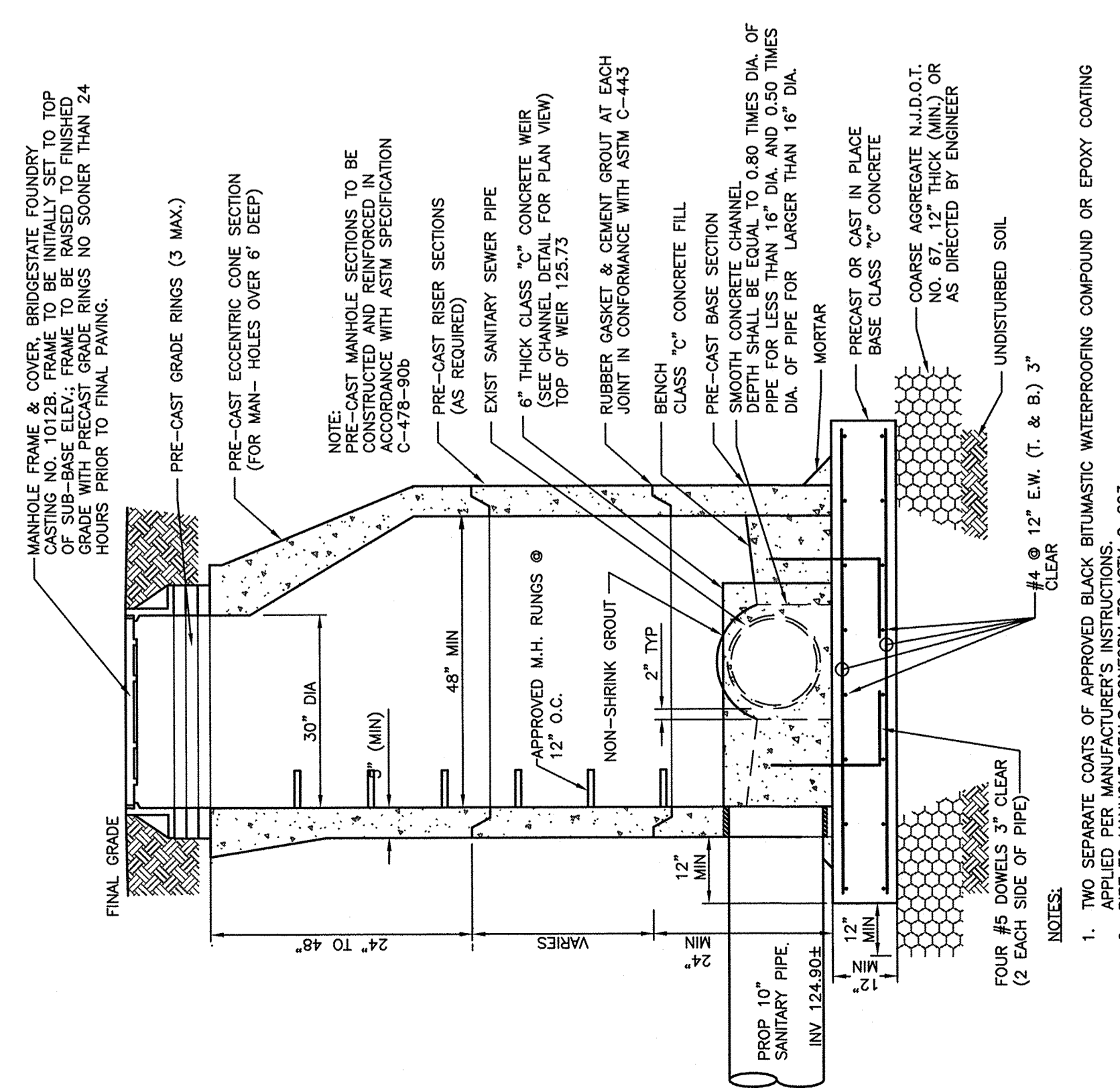
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12/05/14	REVISED PER NICE COMMENTS
09/09/14	REV PER COMMENTS FROM 05/07/14 MALAGA MEETING
04/15/14	REV PER MALAGA REVIEW COMMENTS
02/26/14	REVISED SANITARY SEWER MAIN
02/26/14	REVISED SANITARY SEWER MAIN

HENRY J. HALEY
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098

DATE: 12/8/2014

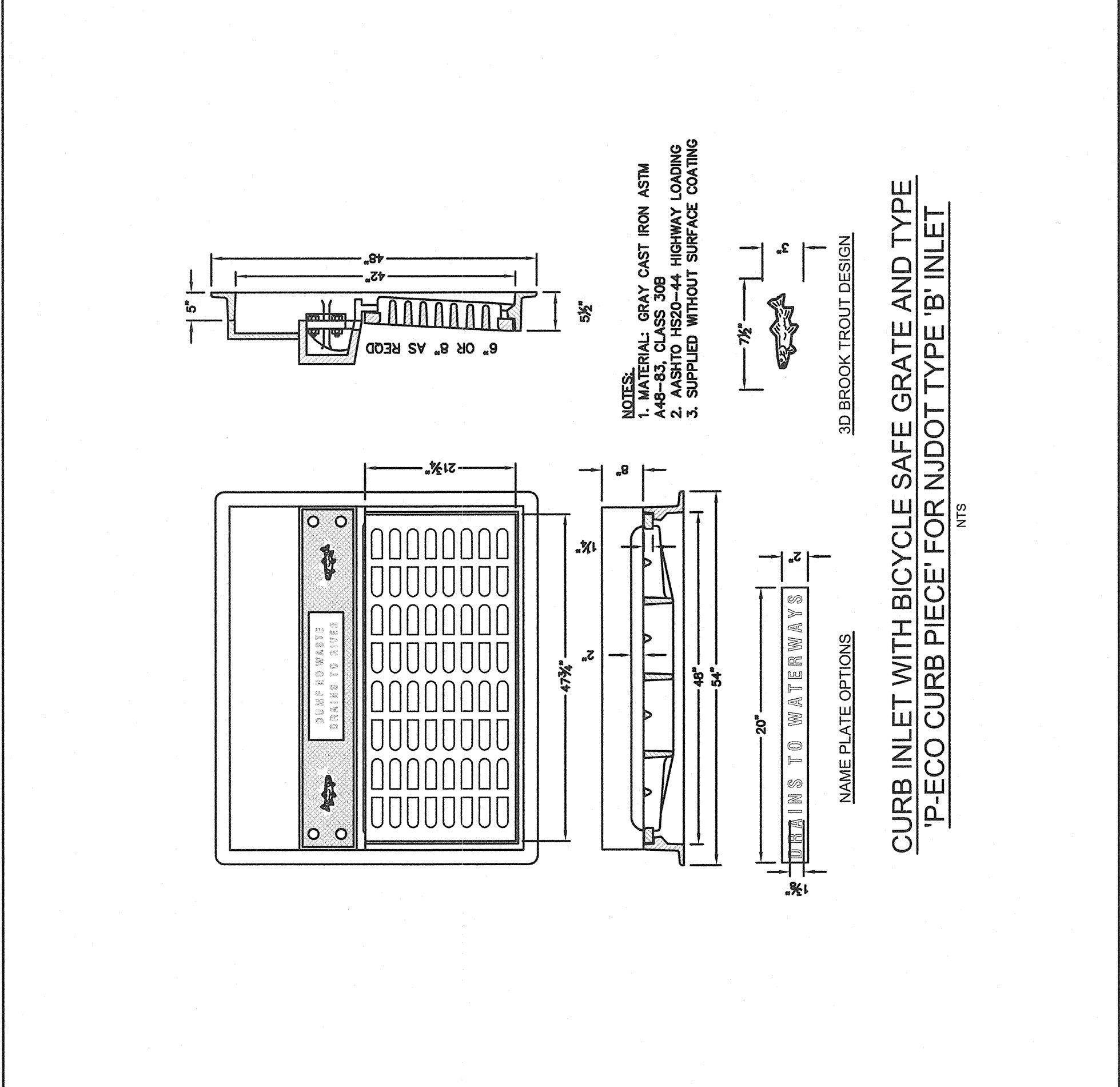
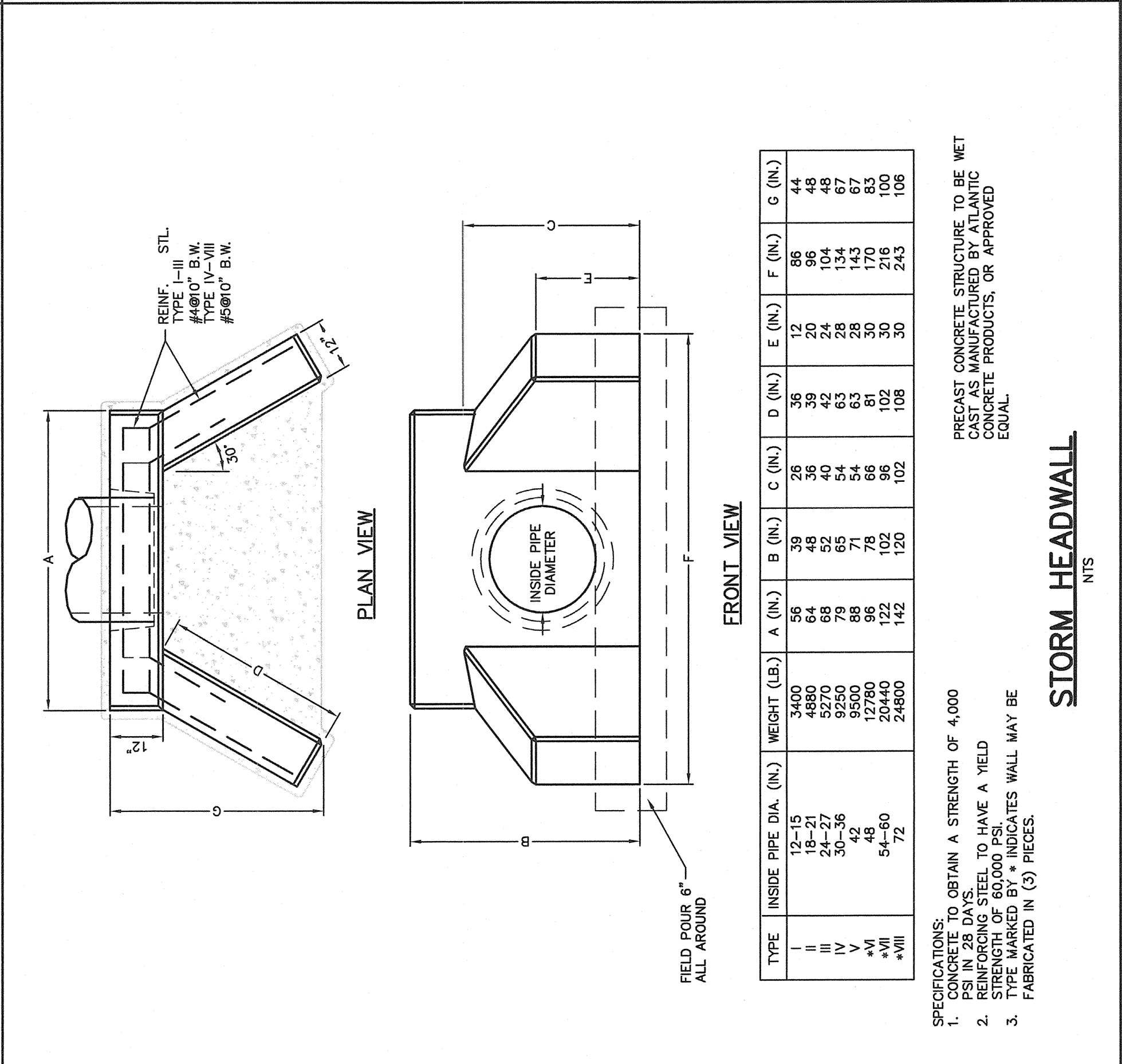
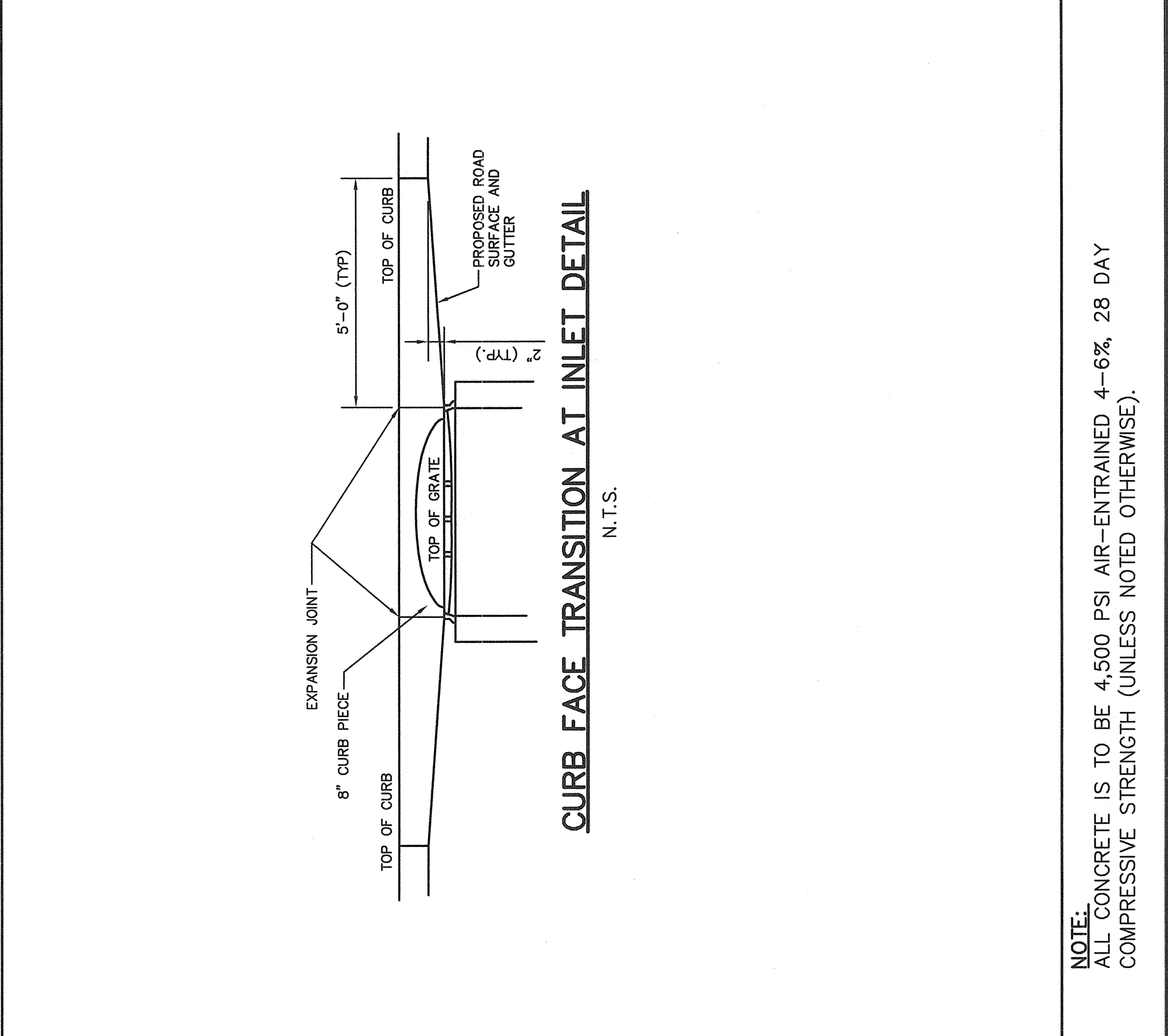
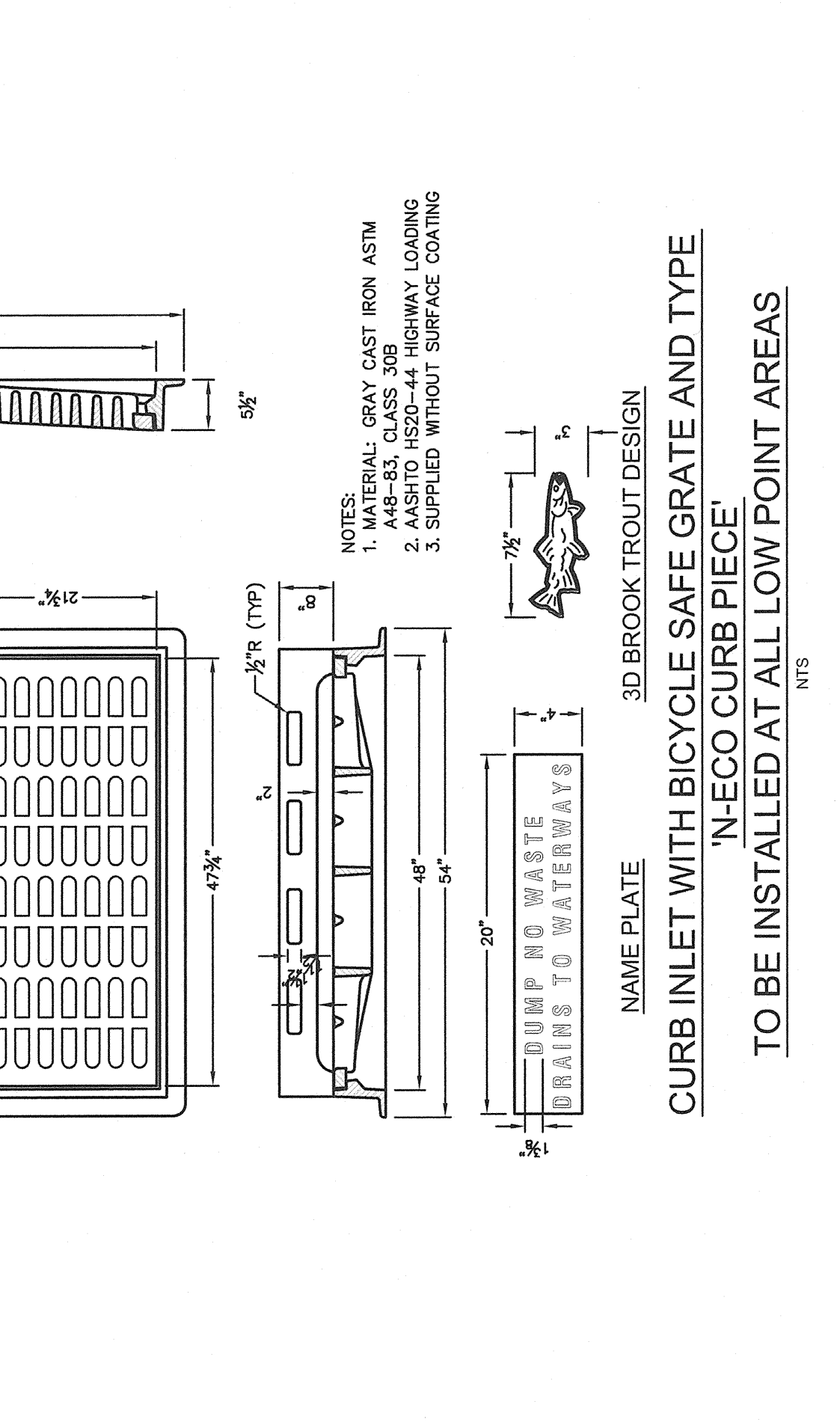
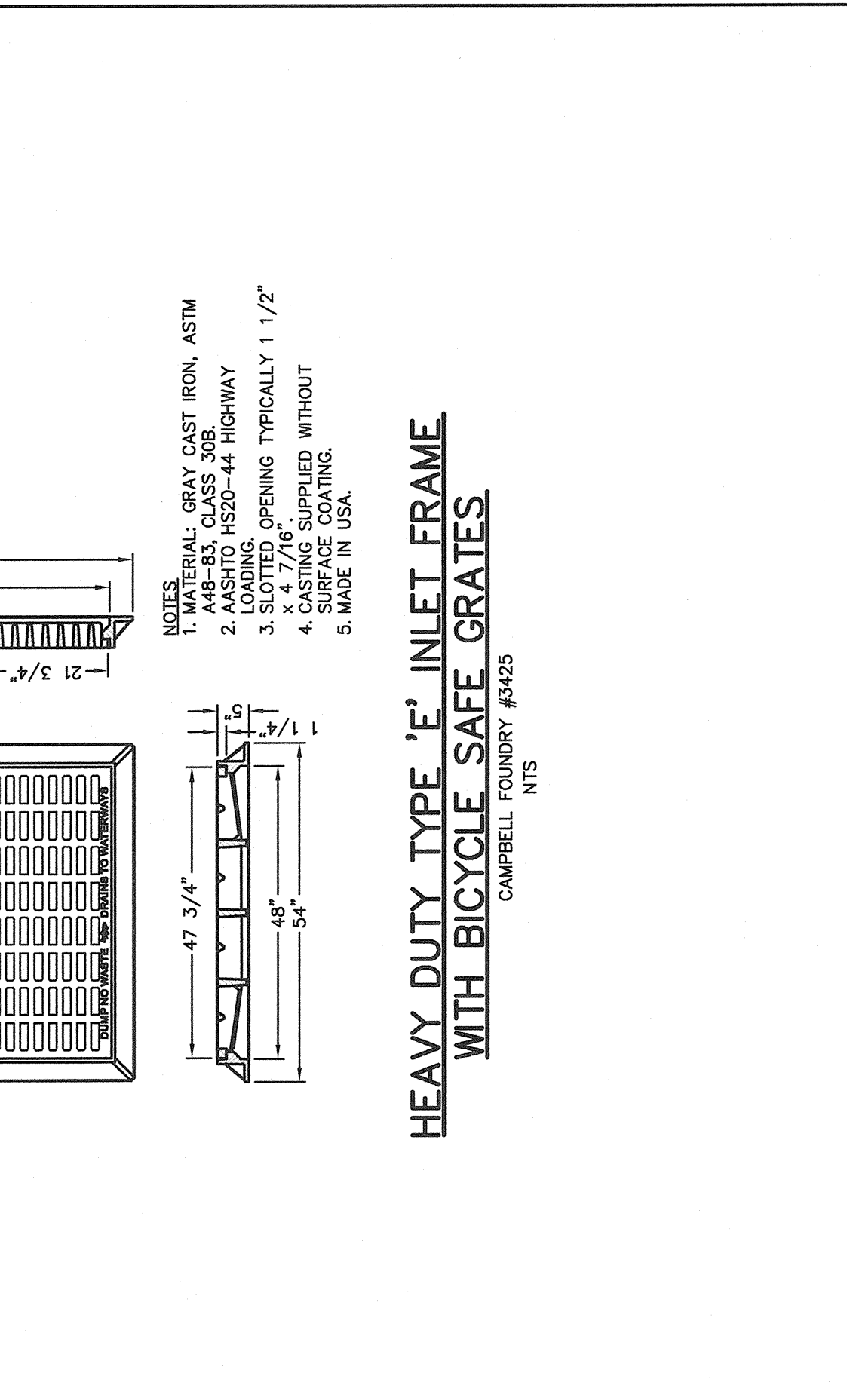
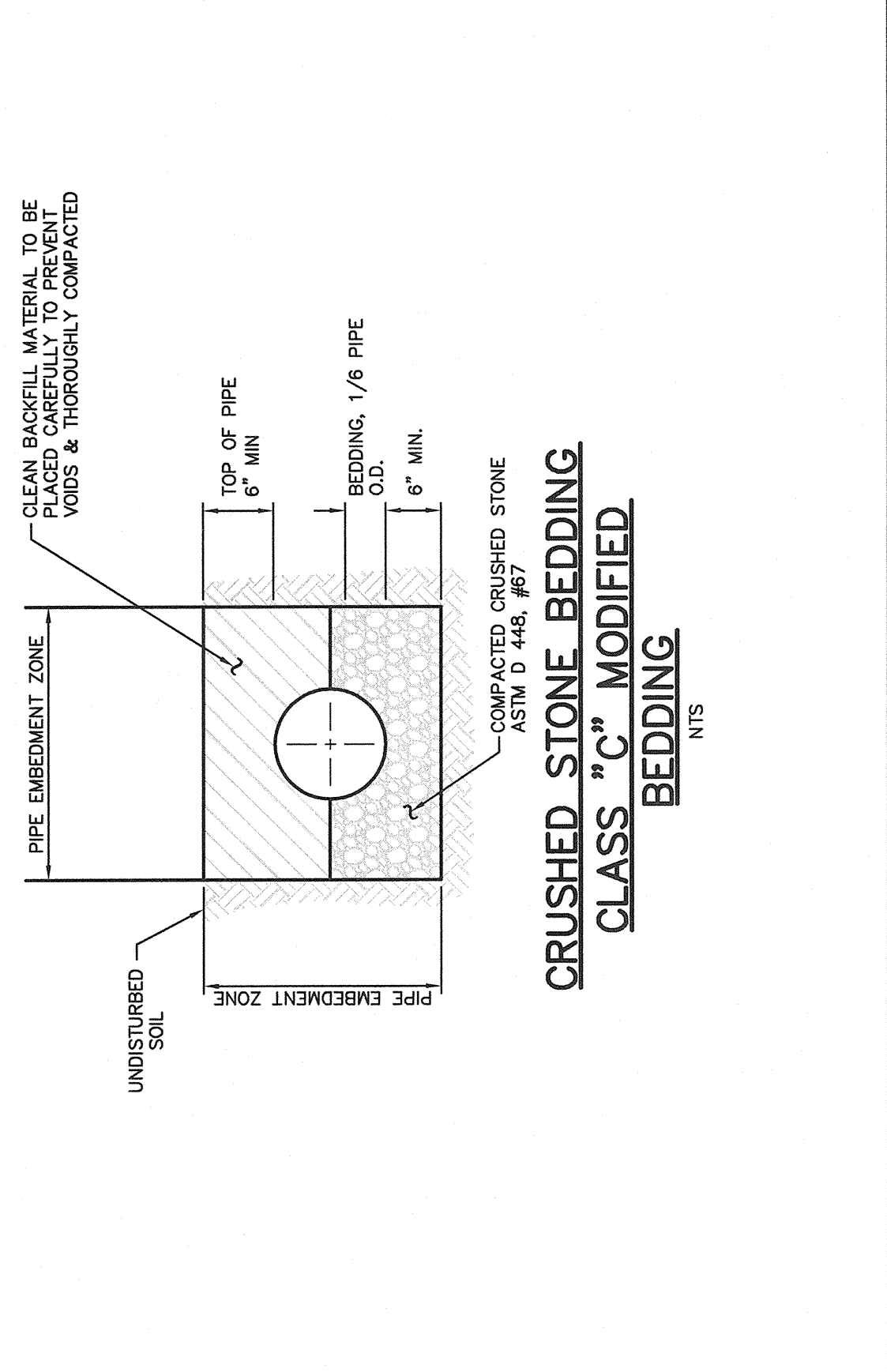
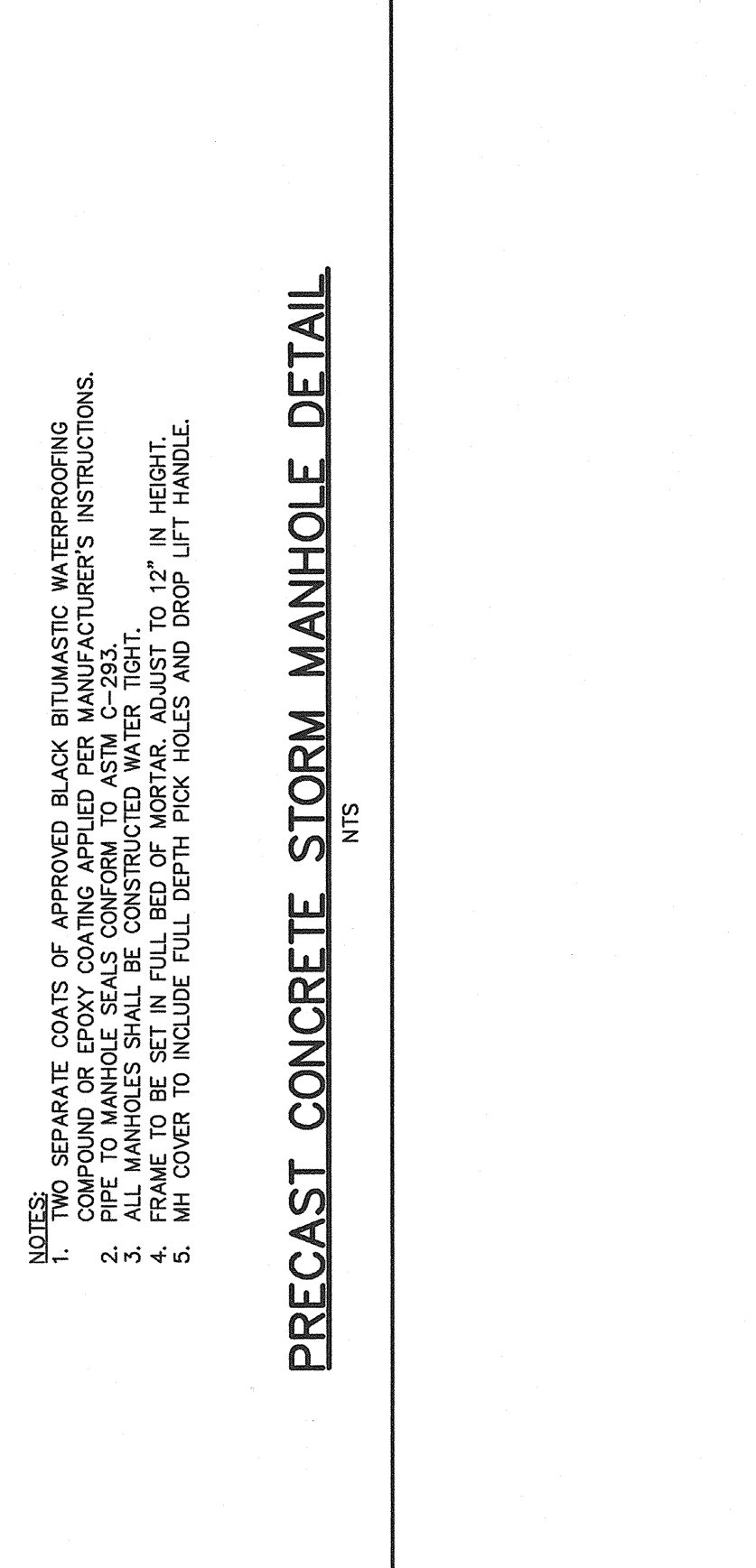
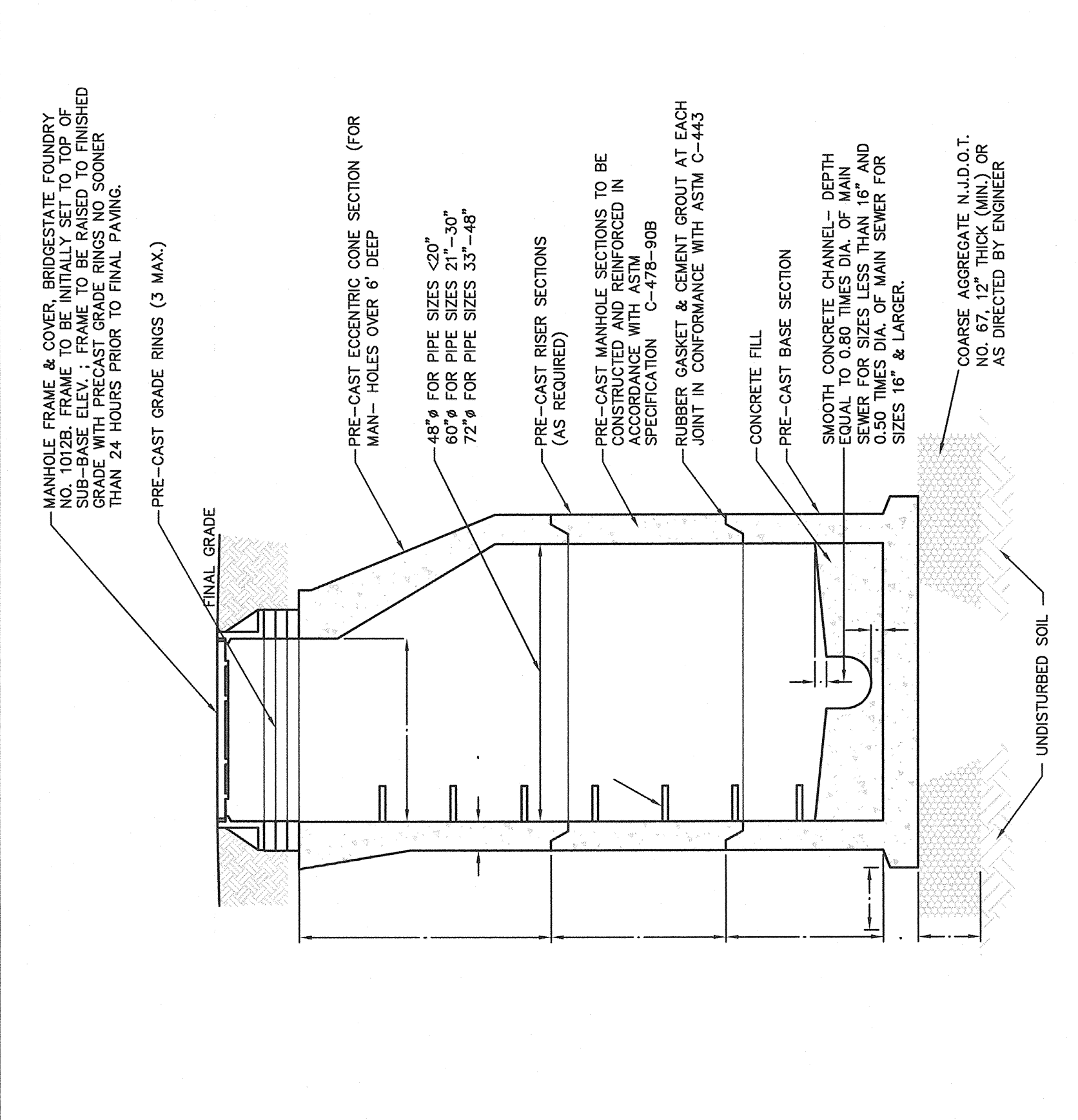
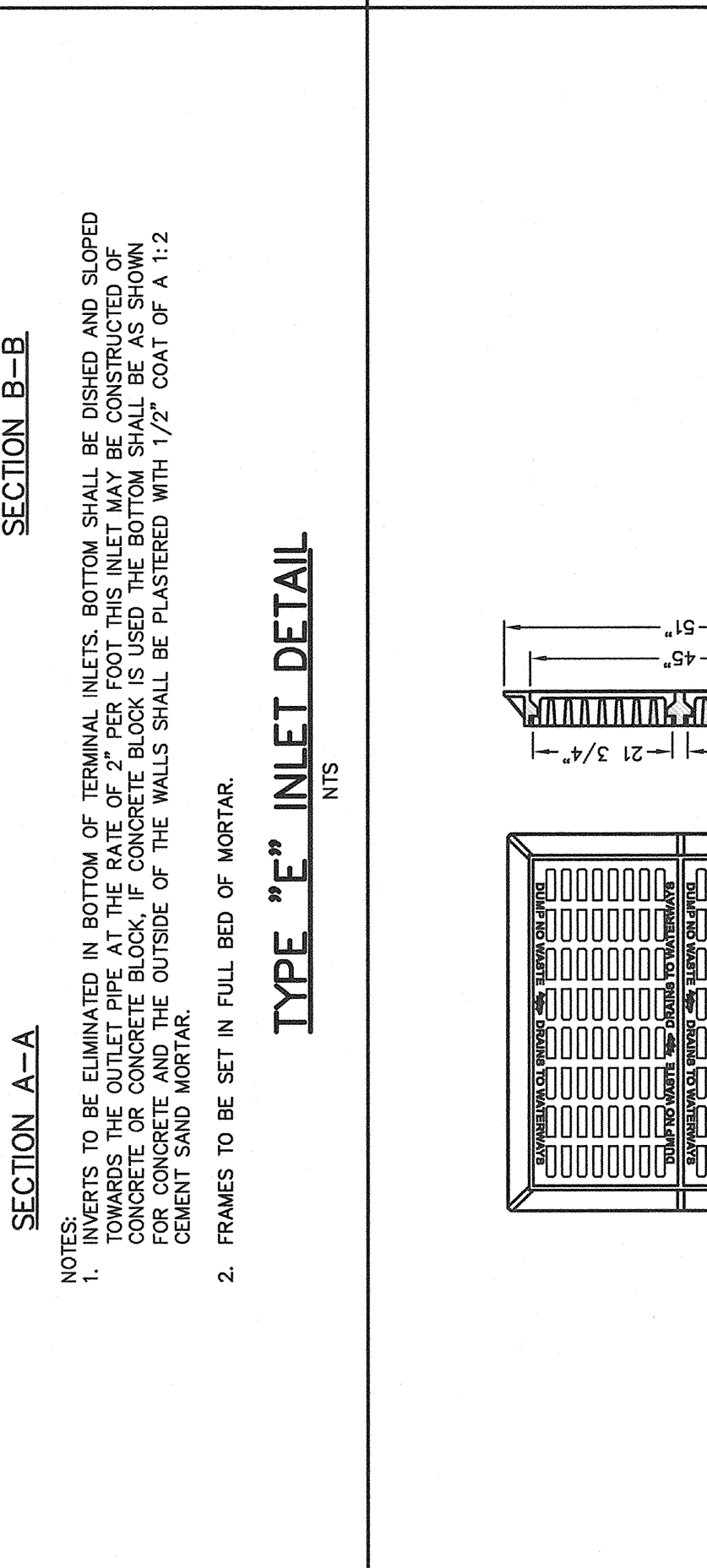
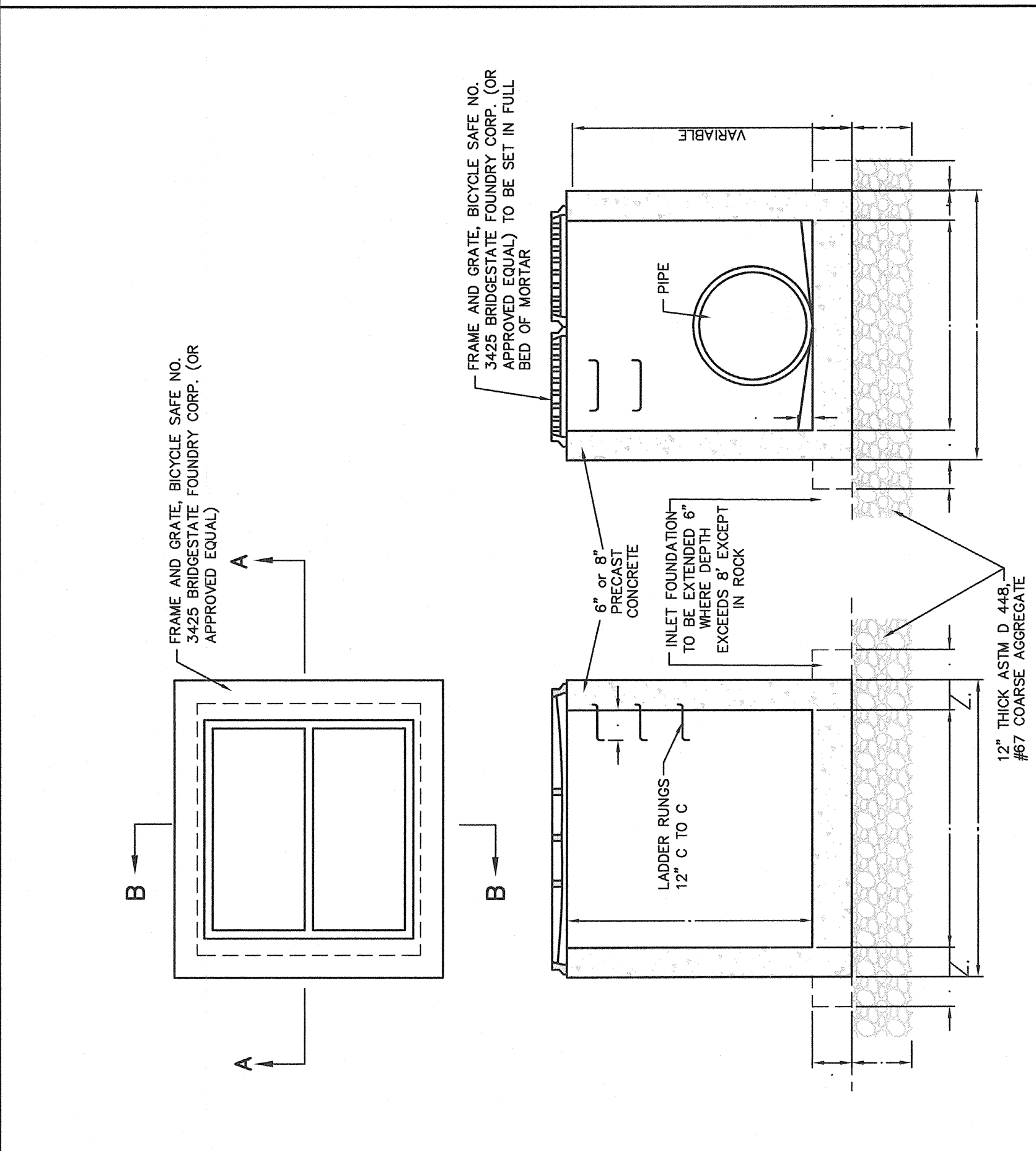
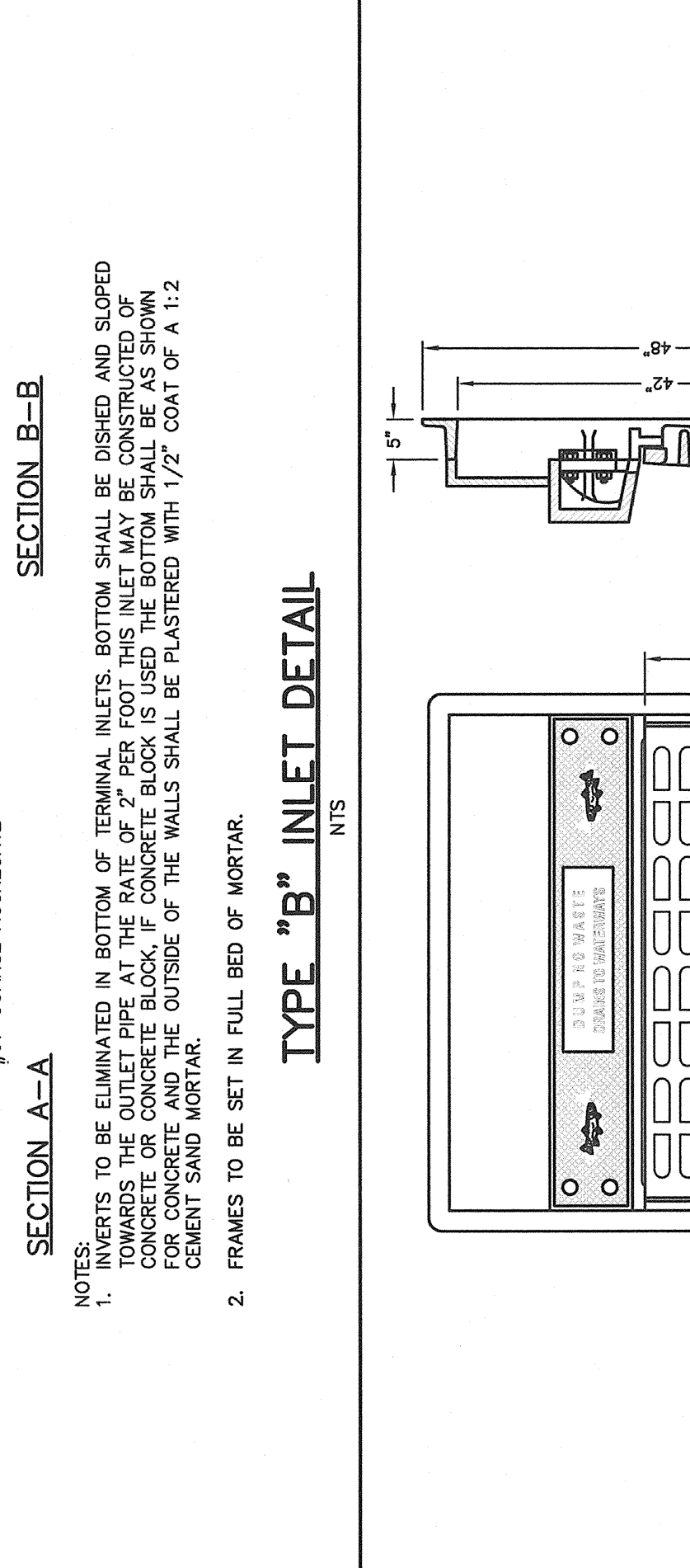
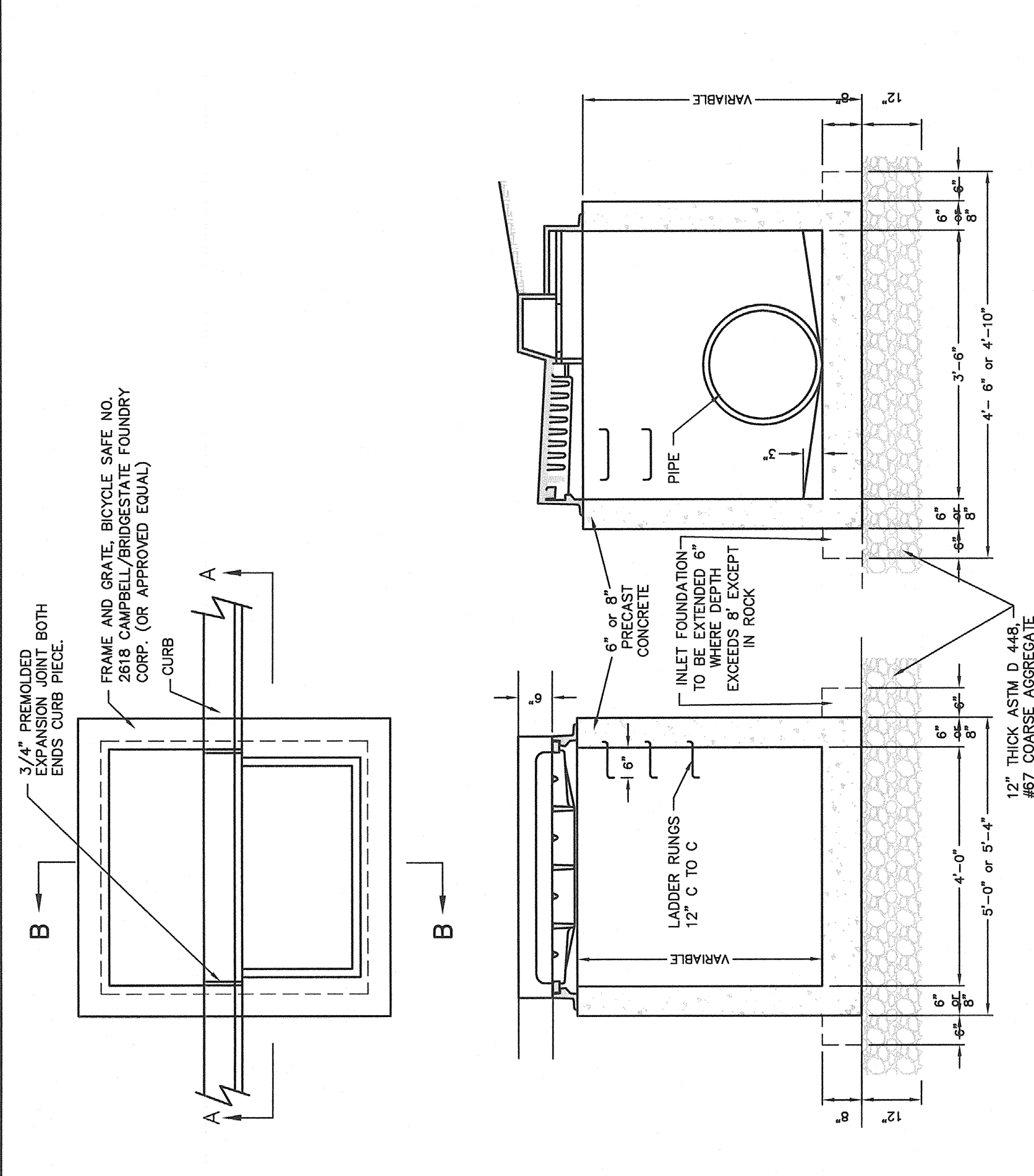
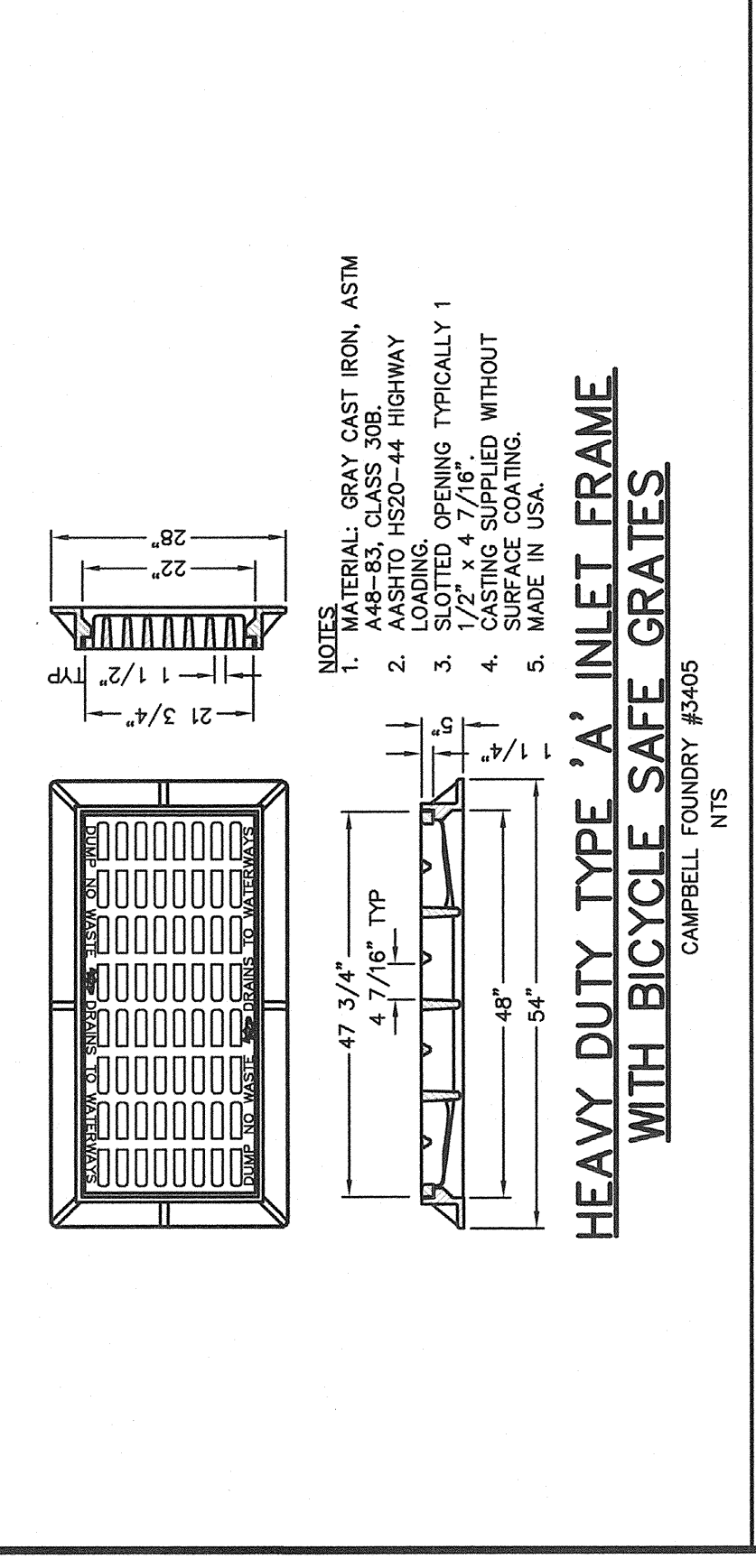
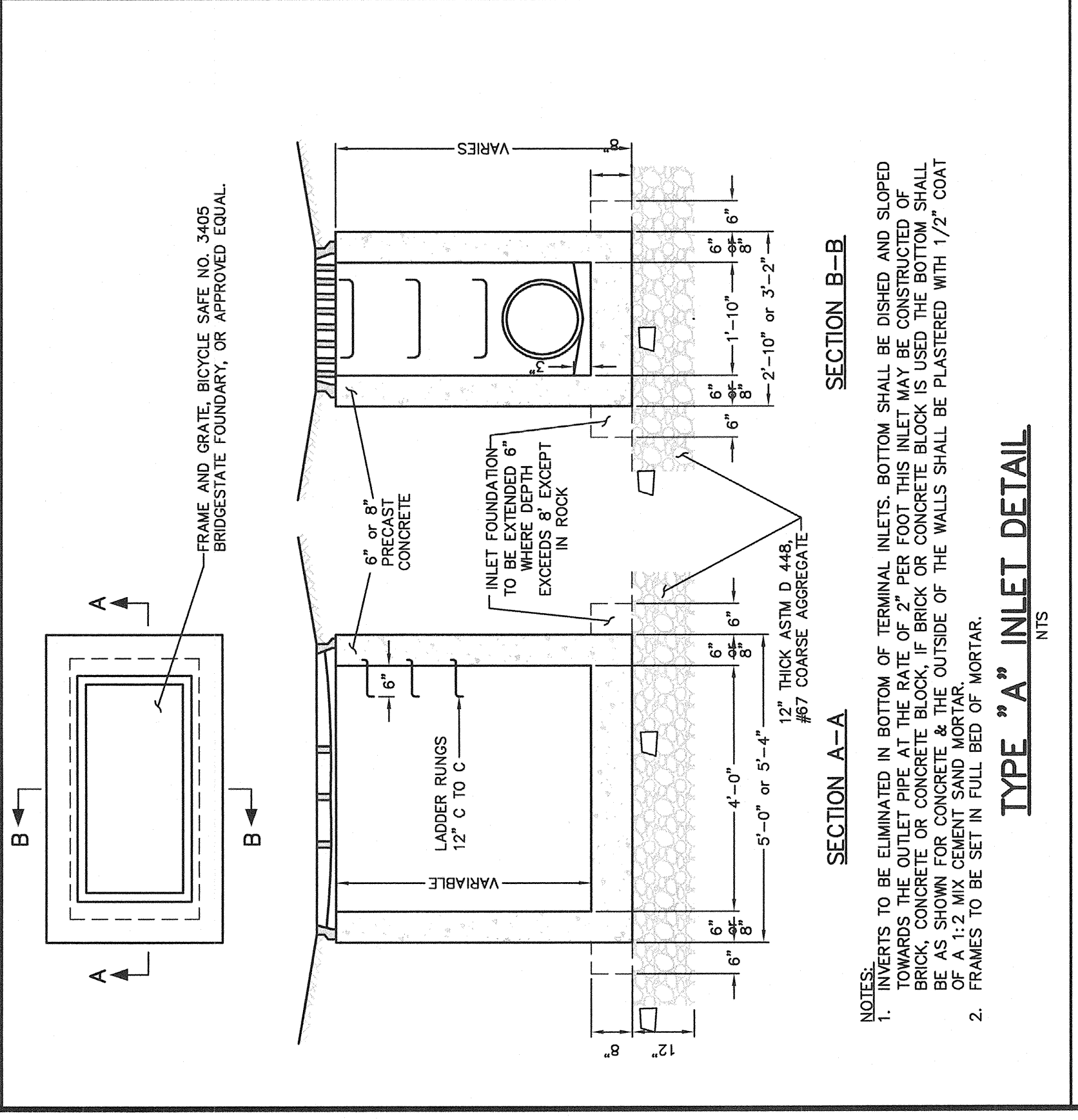


DOGHOUSE MANHOLE_W1_CHANNEL DETAIL
 NTS



DOGHOUSE MANHOLE_W1_DETAIL
 NTS

- NOTES:
- TWO SEPARATE COATS OF APPROVED BLACK BITUMASTIC WATERPROOFING COMPOUND OR EPOXY COATING APPLIED PER MANUFACTURER'S INSTRUCTIONS.
 - APPLY MANHOLE FRAME TO TOP OF CONCRETE RINGS.
 - ALL MANHOLE FRAMES SHALL BE CONSTRUCTED WITH WATER TIGHT JOINTS.
 - FRAME TO BE SET IN FULL BED OF MORTAR, ADJUST TO GRADE WITH BLOCK OR GRADE RINGS NOT ALLOWED.
 - MAN COVER TO INCLUDE FULL DEPTH PICK HOLES AND DROP LIFT HANDLE.



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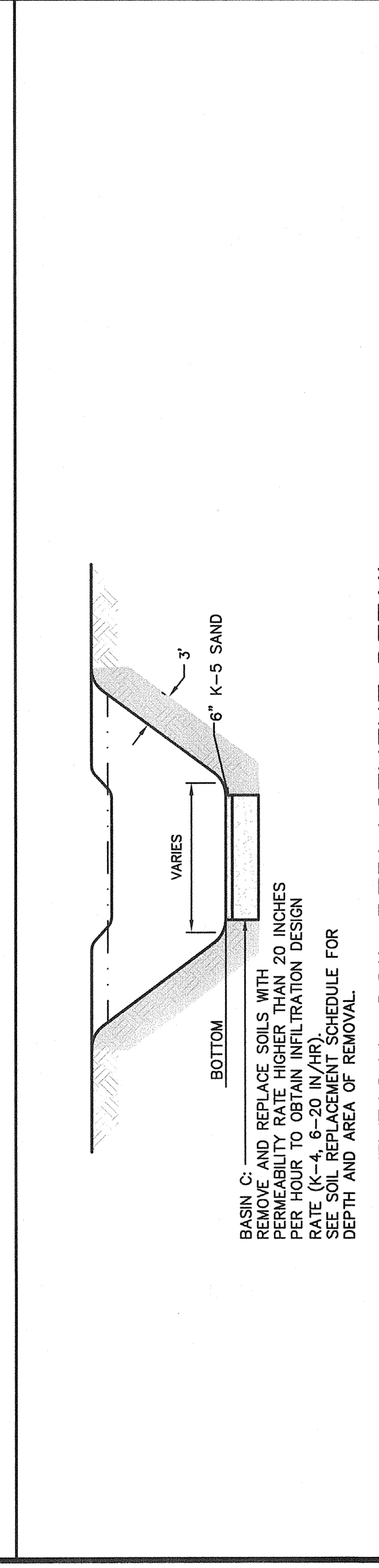
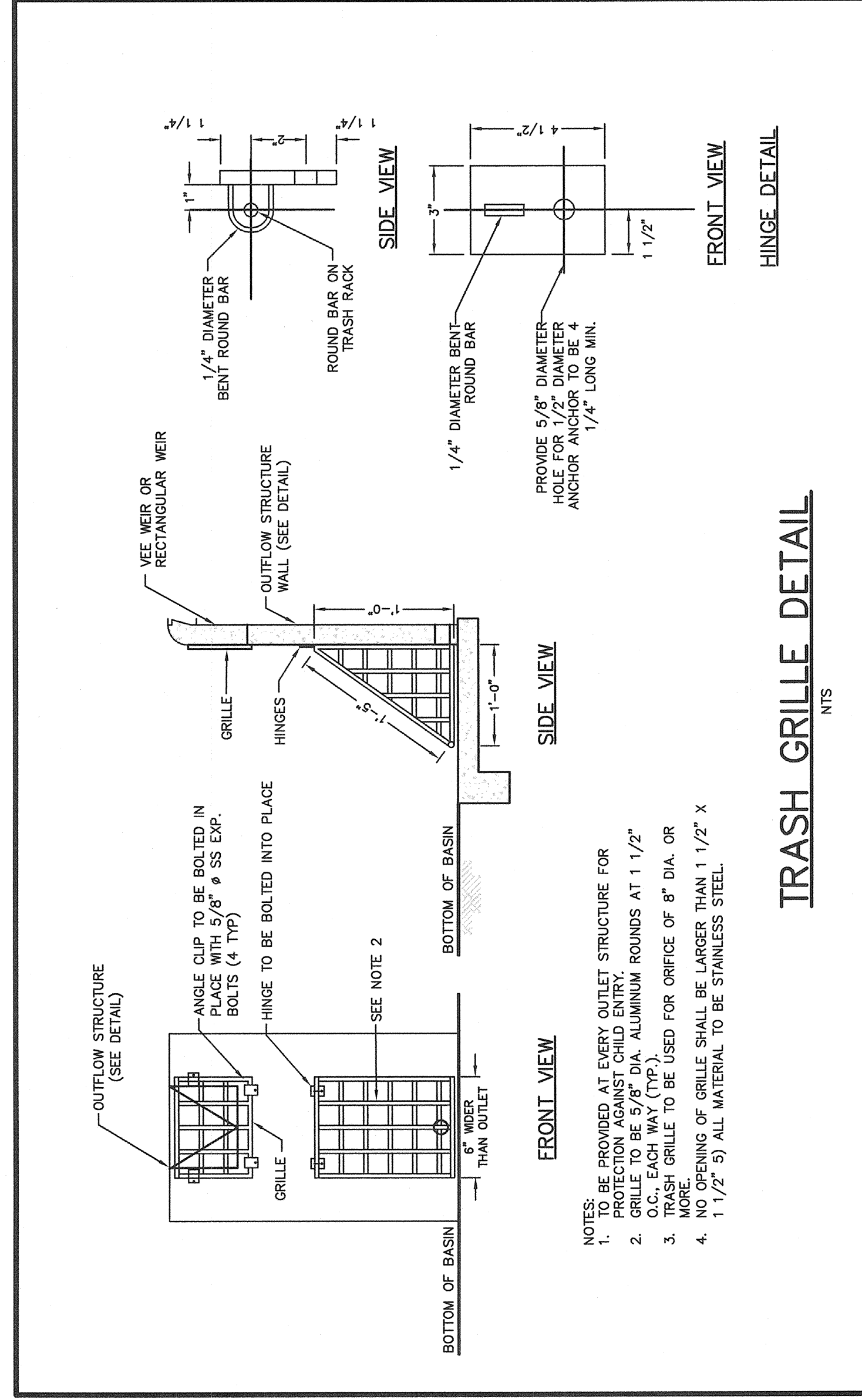
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TYPICAL SOIL REPLACEMENT SCHEDULE

DESIGNATED HATCH	REMOVE SOIL IN BASIN C FROM BOTTOM ELEVATION	REPLACEMENT TO ELEV.	SWIFT ELEVATIONS
1	121.84	118.14	117.63
2	120.80	117.30	117.80
3	120.30	116.80	117.80
4	119.80	116.80	117.80
5	119.30	116.80	117.80
6	118.80	116.80	117.80
7	118.30	116.80	117.80
8	117.80	116.80	117.80
9	117.30	116.80	117.80
10	116.80	116.80	117.80

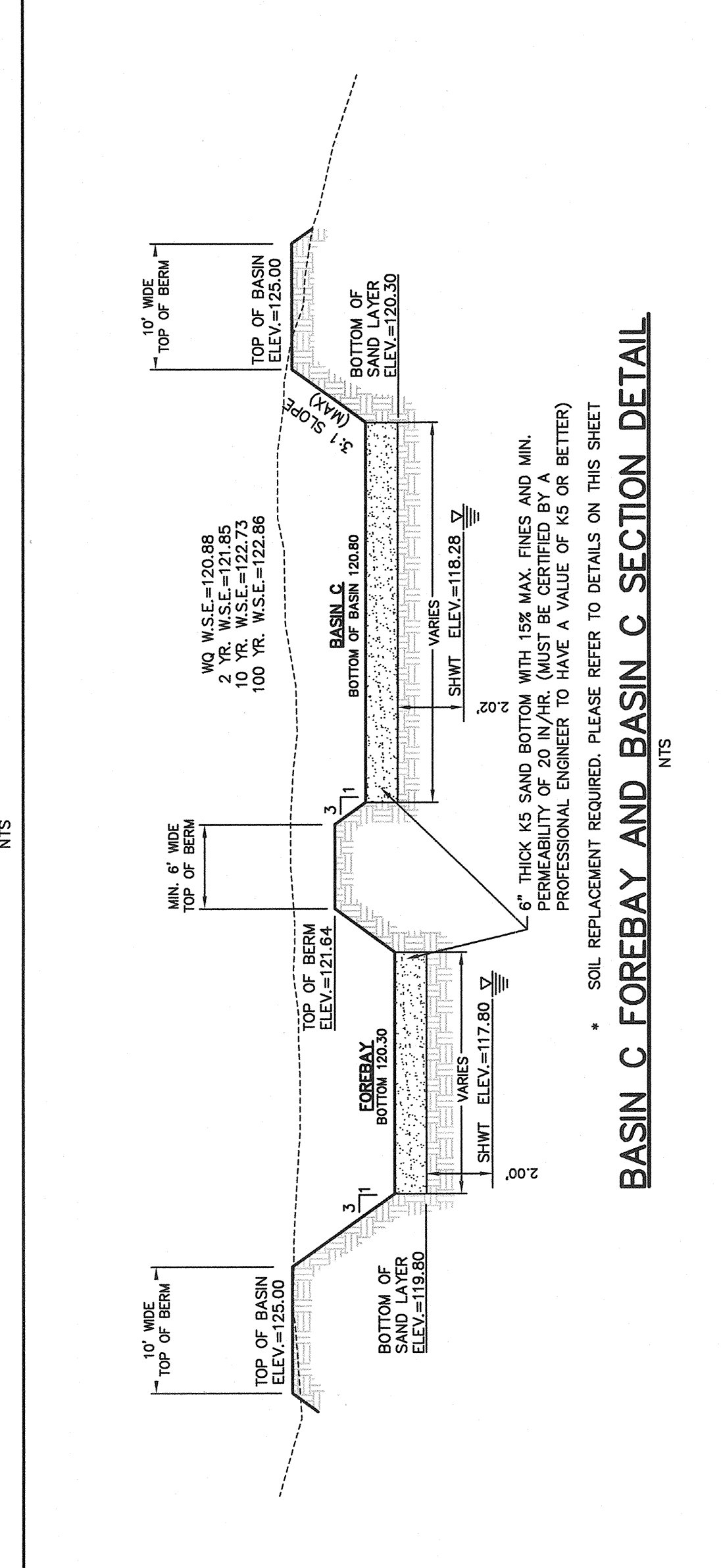
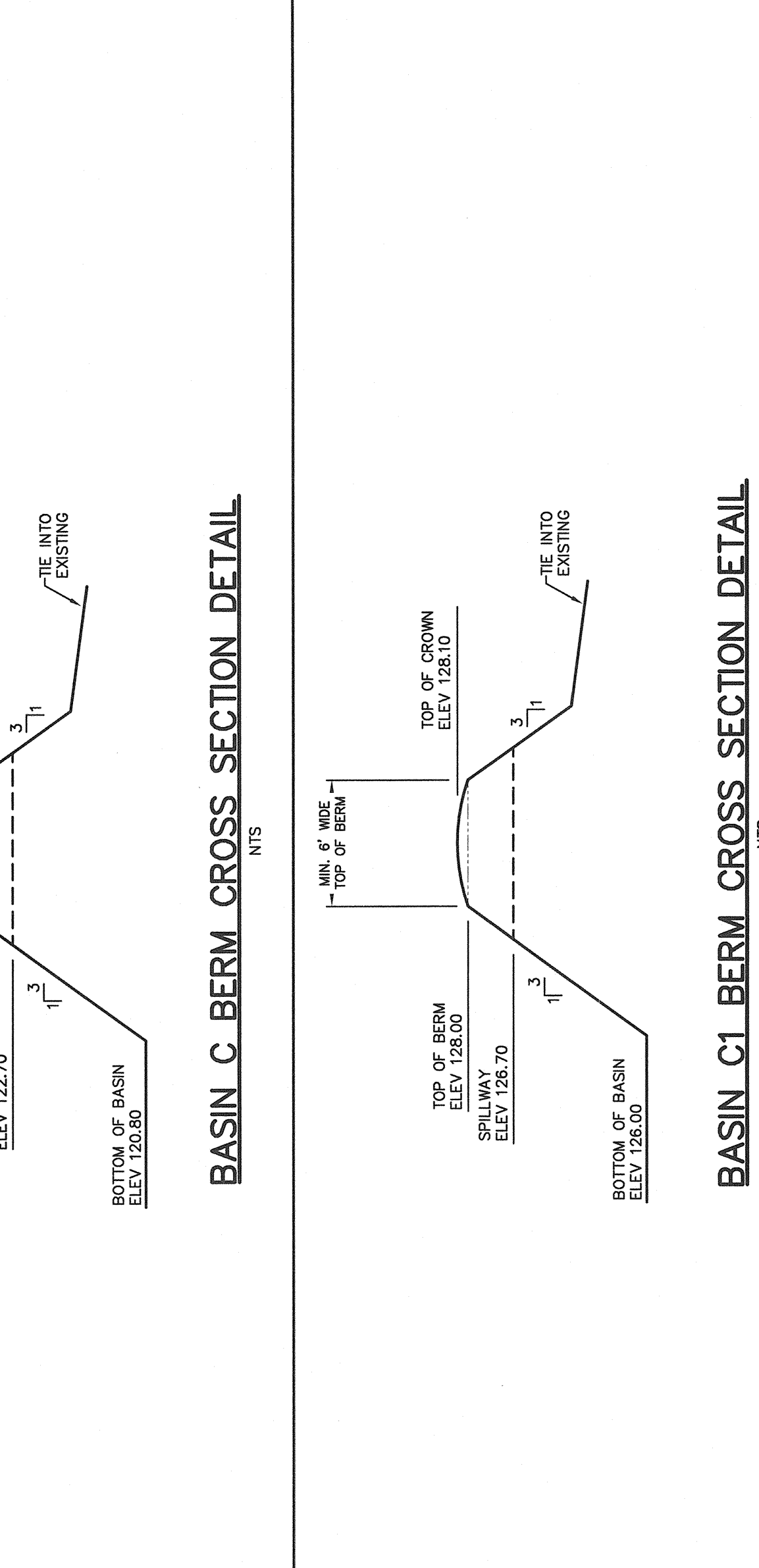
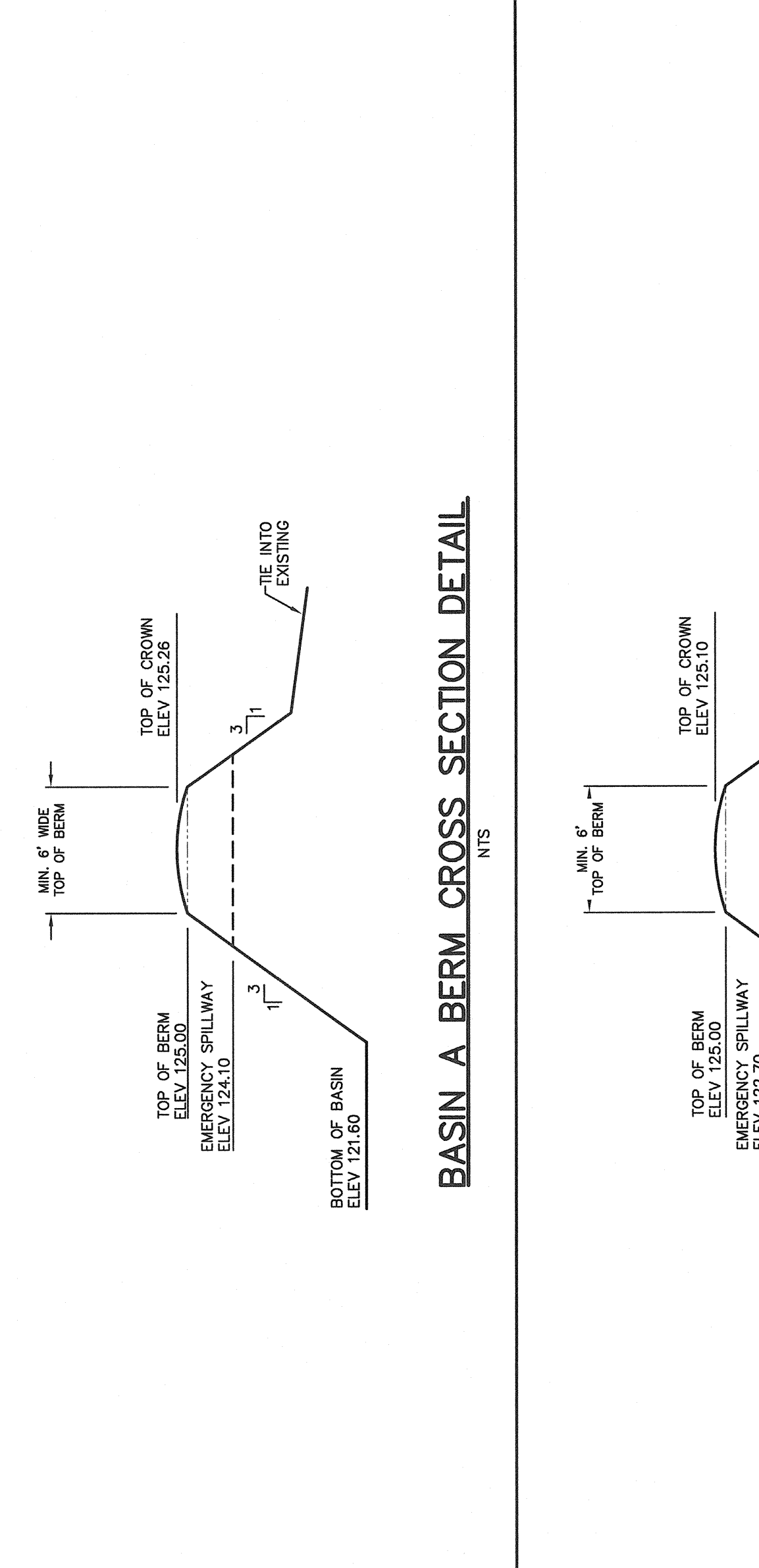
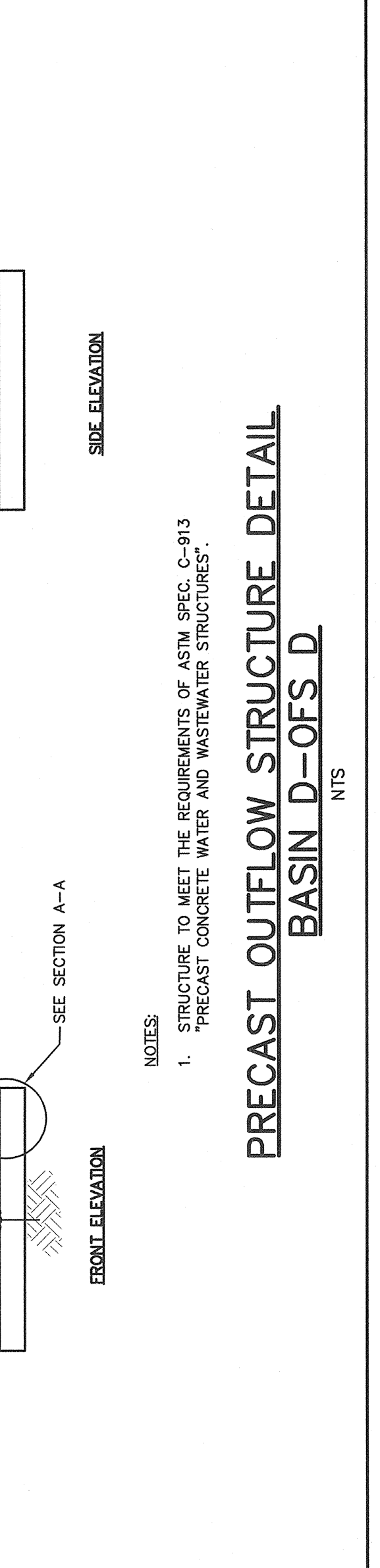
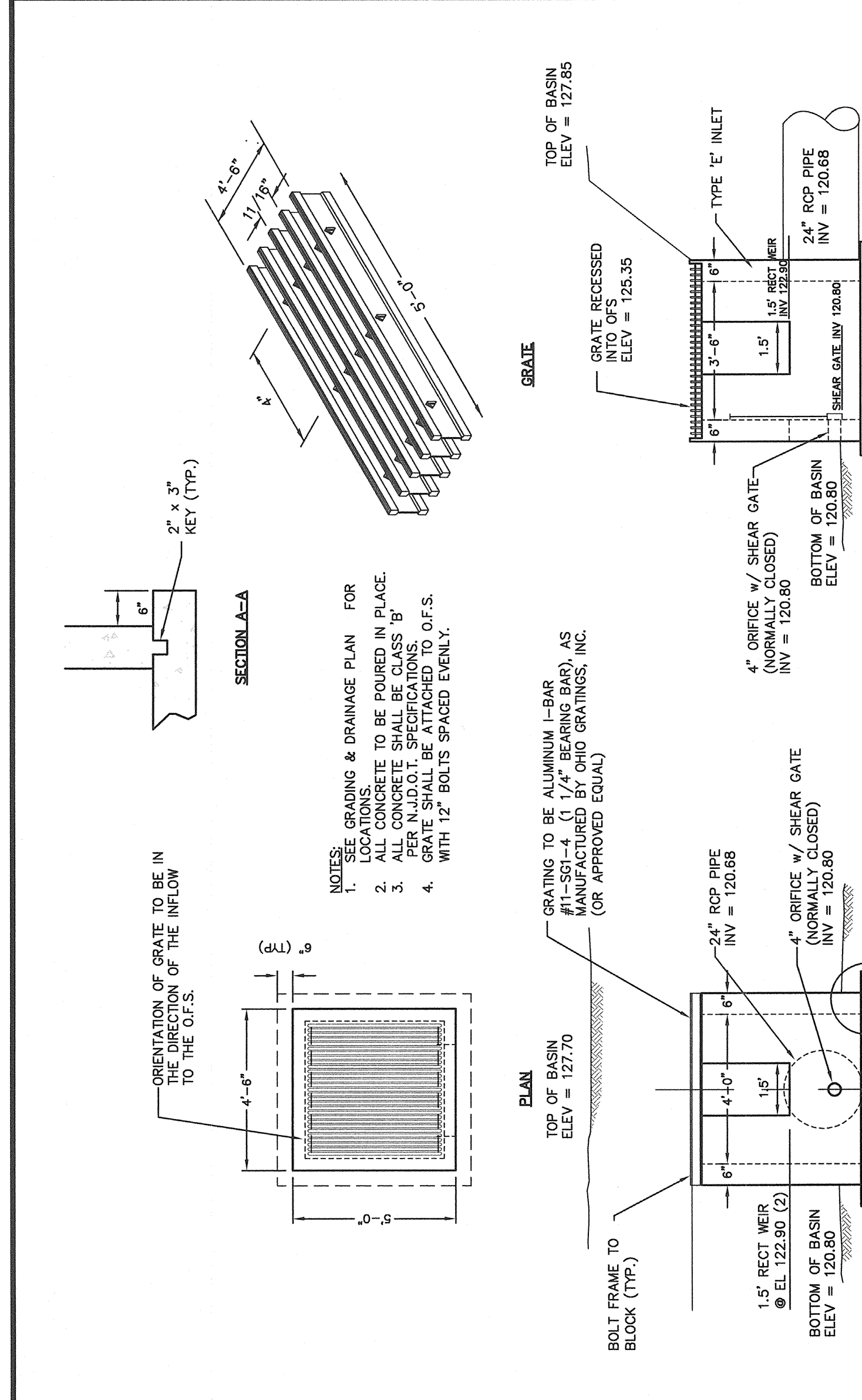
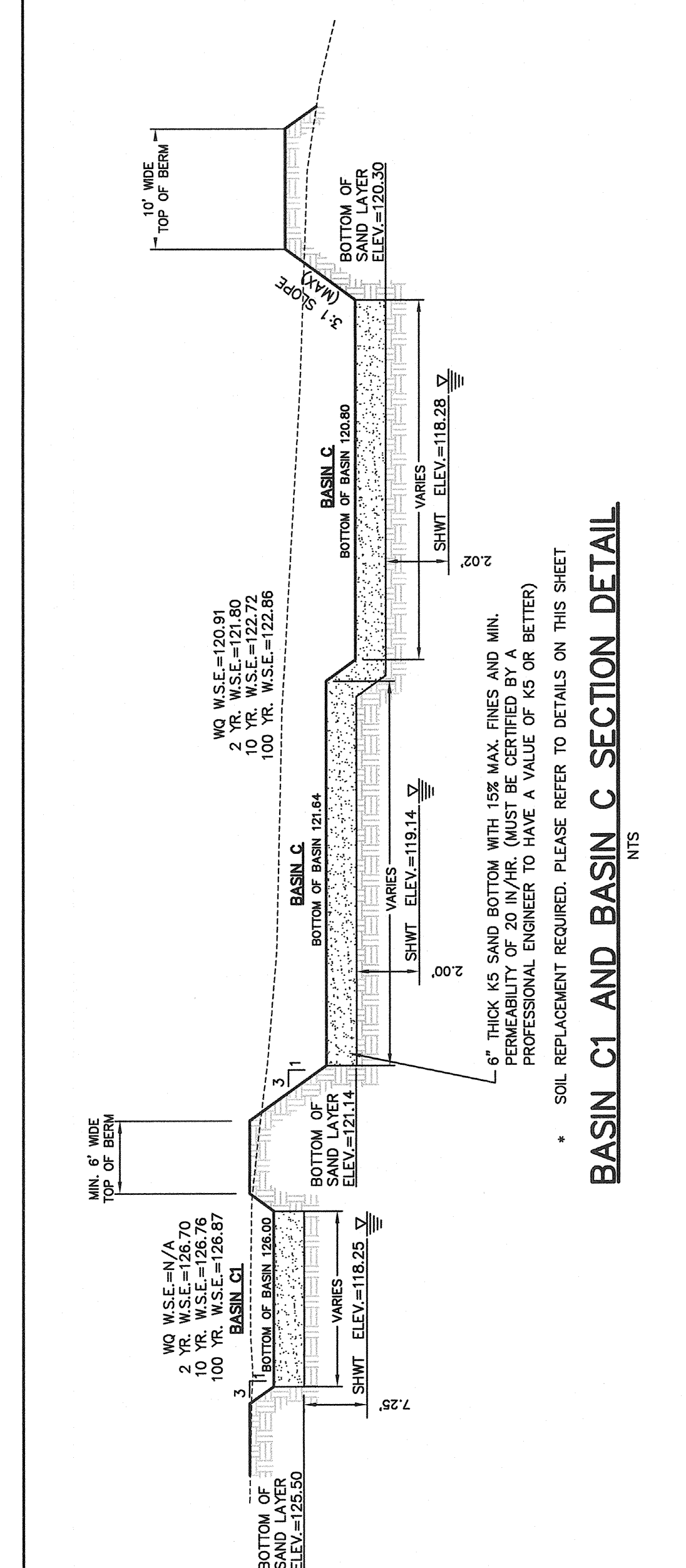
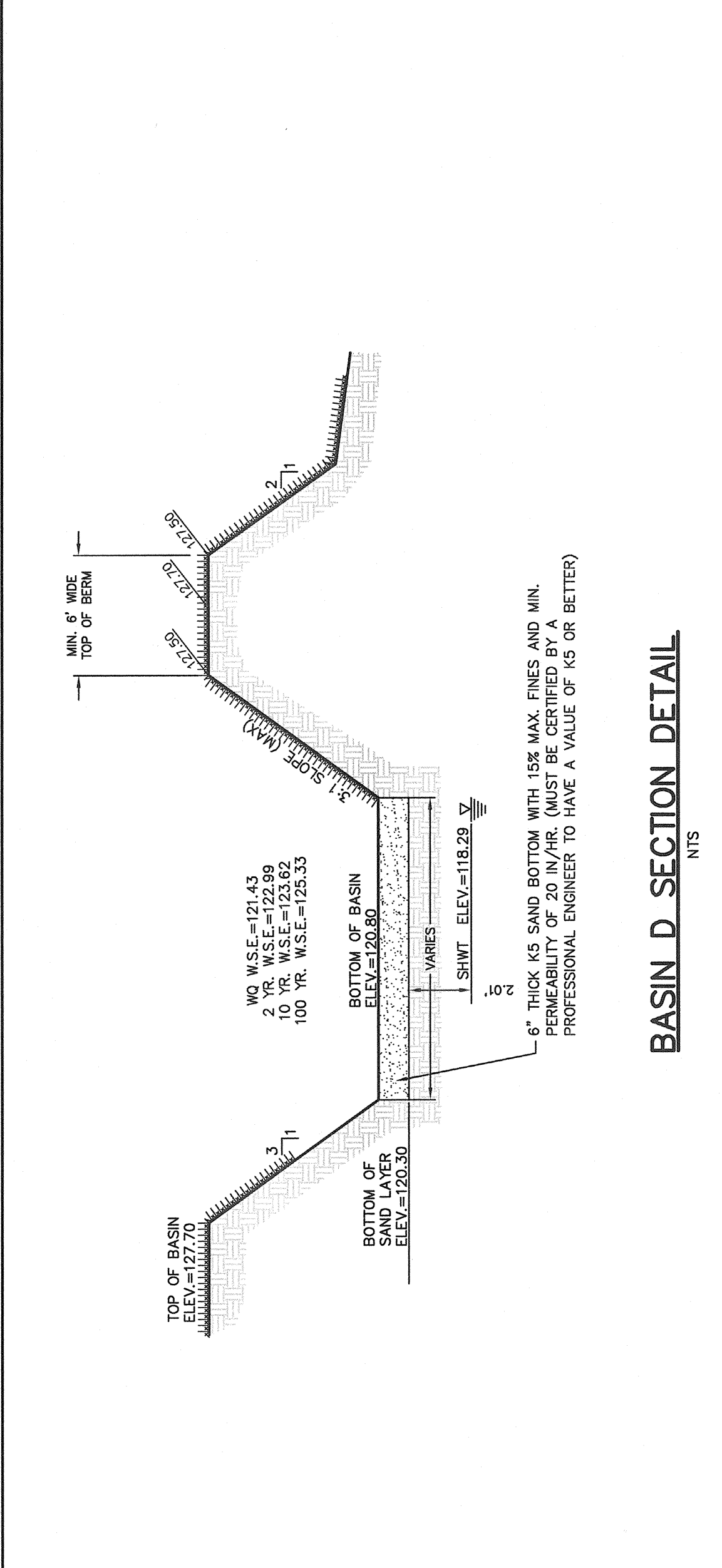
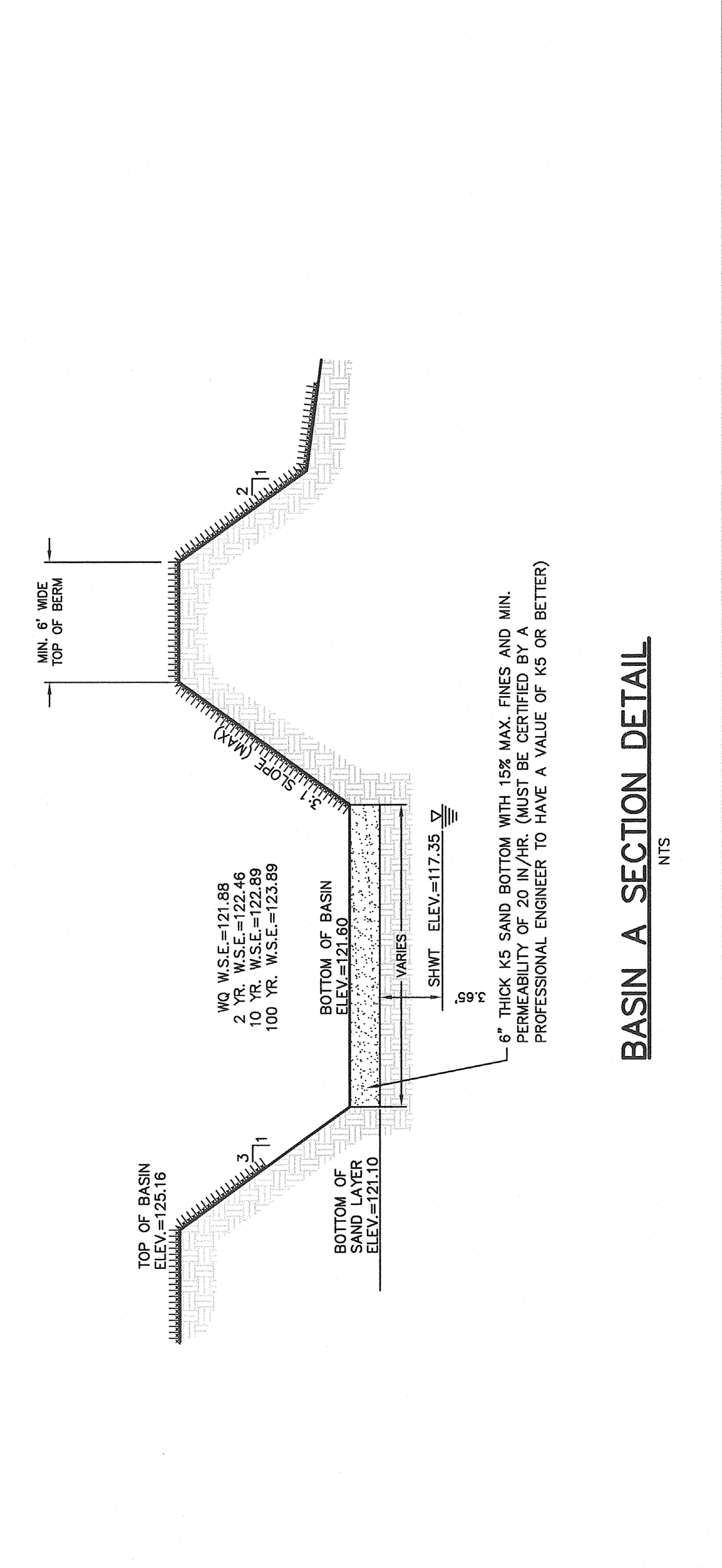
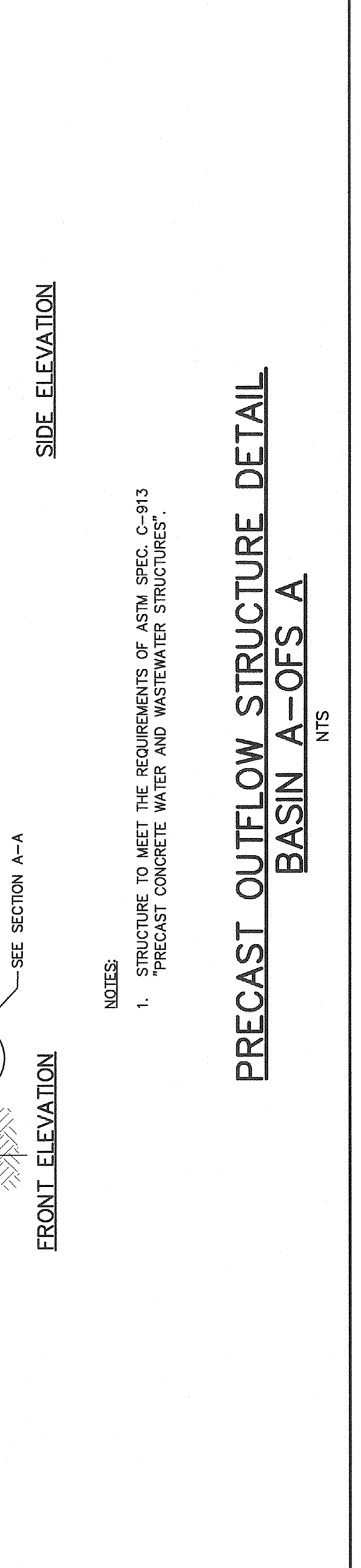
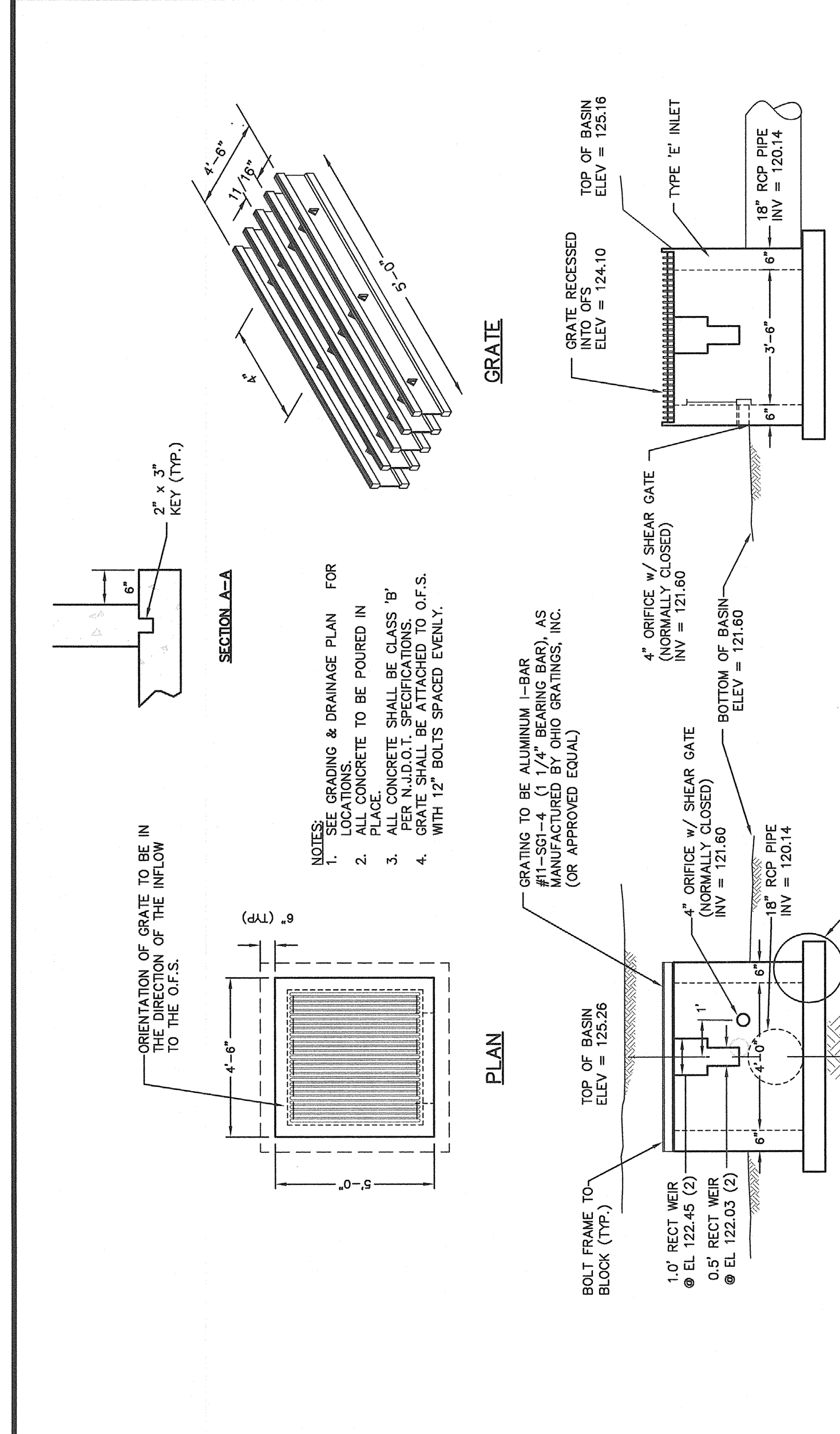
NOTE:

- SOIL REPLACEMENT TO BE WITNESSED BY A PROFESSIONAL ENGINEER. ADDITIONAL DEPTH REPLACEMENT MAY BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
- SOILS ENCOUNTERED WITH A PERMEABILITY RATE HIGHER THAN 20 INCHES PER HOUR MUST BE REMOVED AND REPLACED WITH K-4 SOIL HAVING A PERMEABILITY RATE BETWEEN 8 AND 20 INCHES PER HOUR.
- THREE (3) FEET OF SOIL TO BE REPLACED AT BASIN SITE SLOPE FROM THE EXISTING SURFACE TO THE BOTTOM OF THE BASIN (ELEV. 122.70 AND THE EMERGENCY SPILLWAY). SEE GRADING PLAN FOR LOCATIONS.

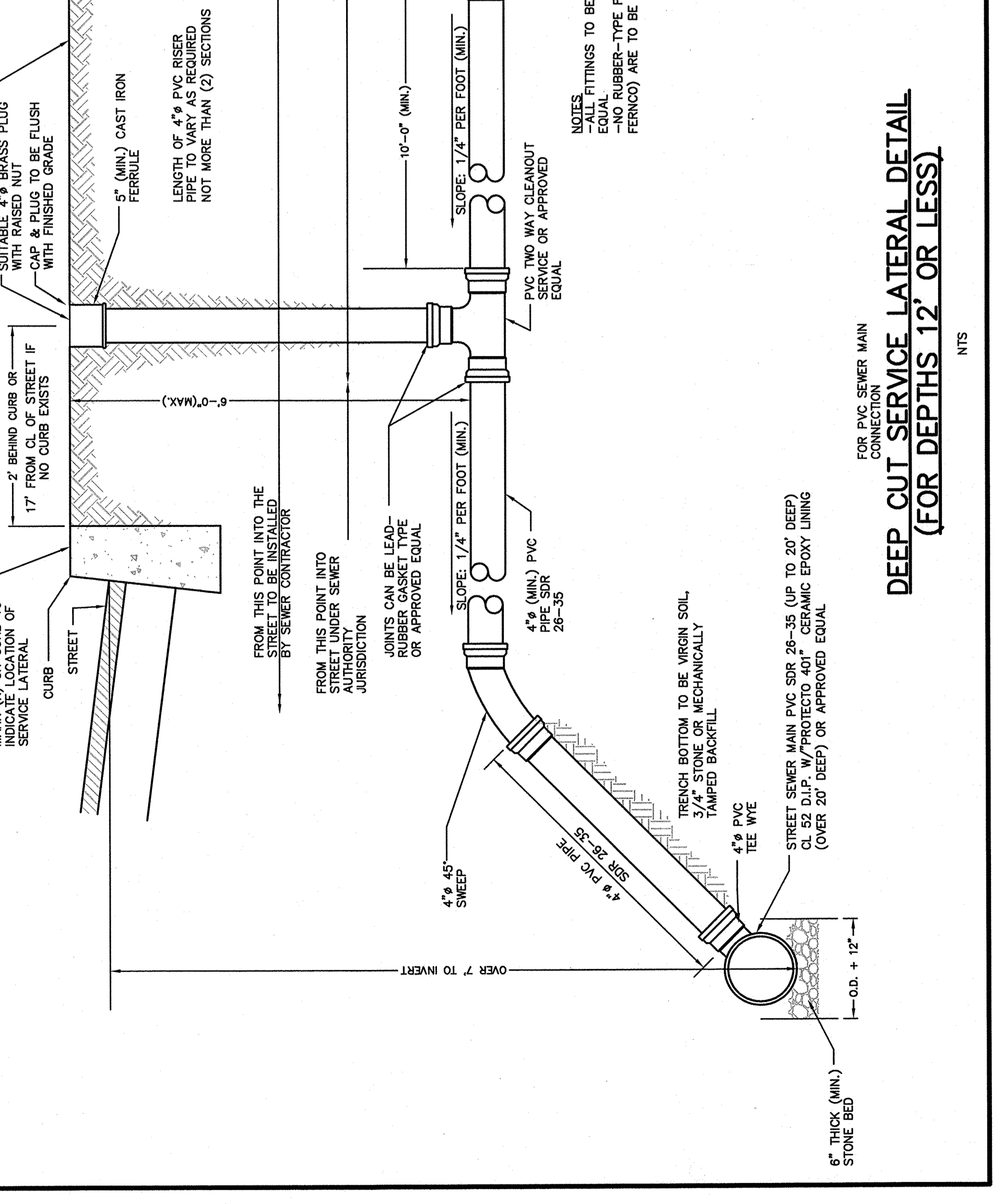
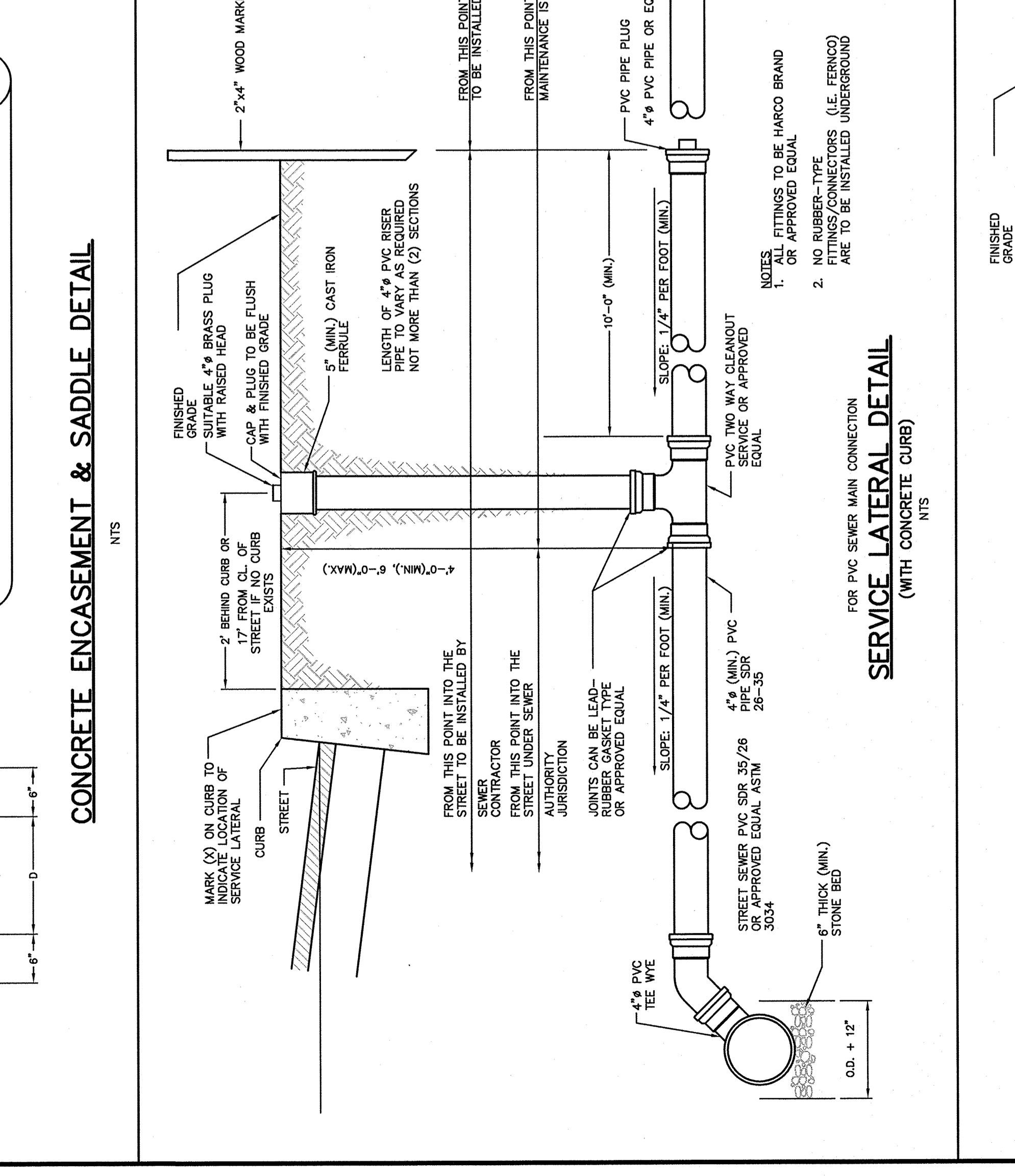
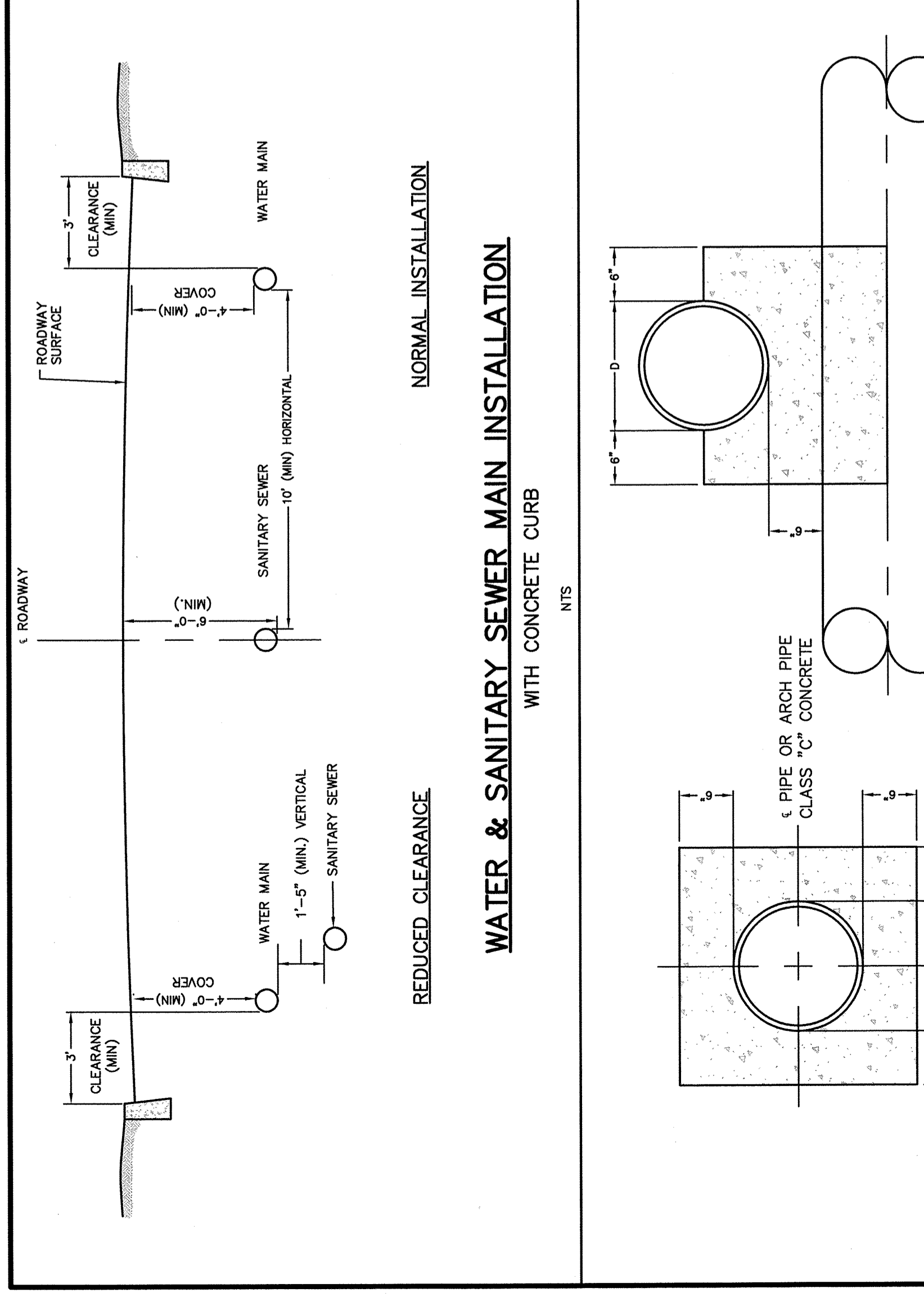
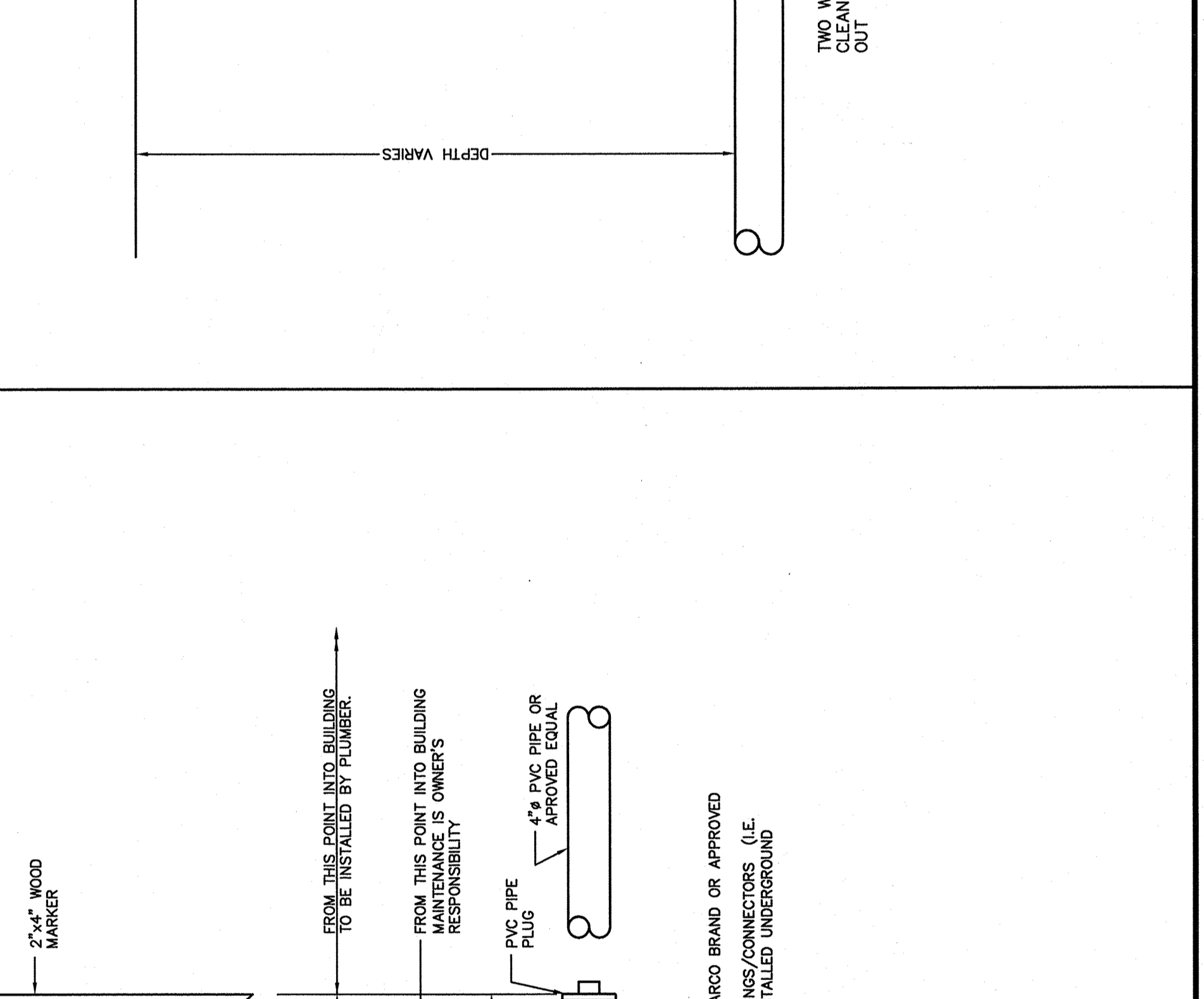
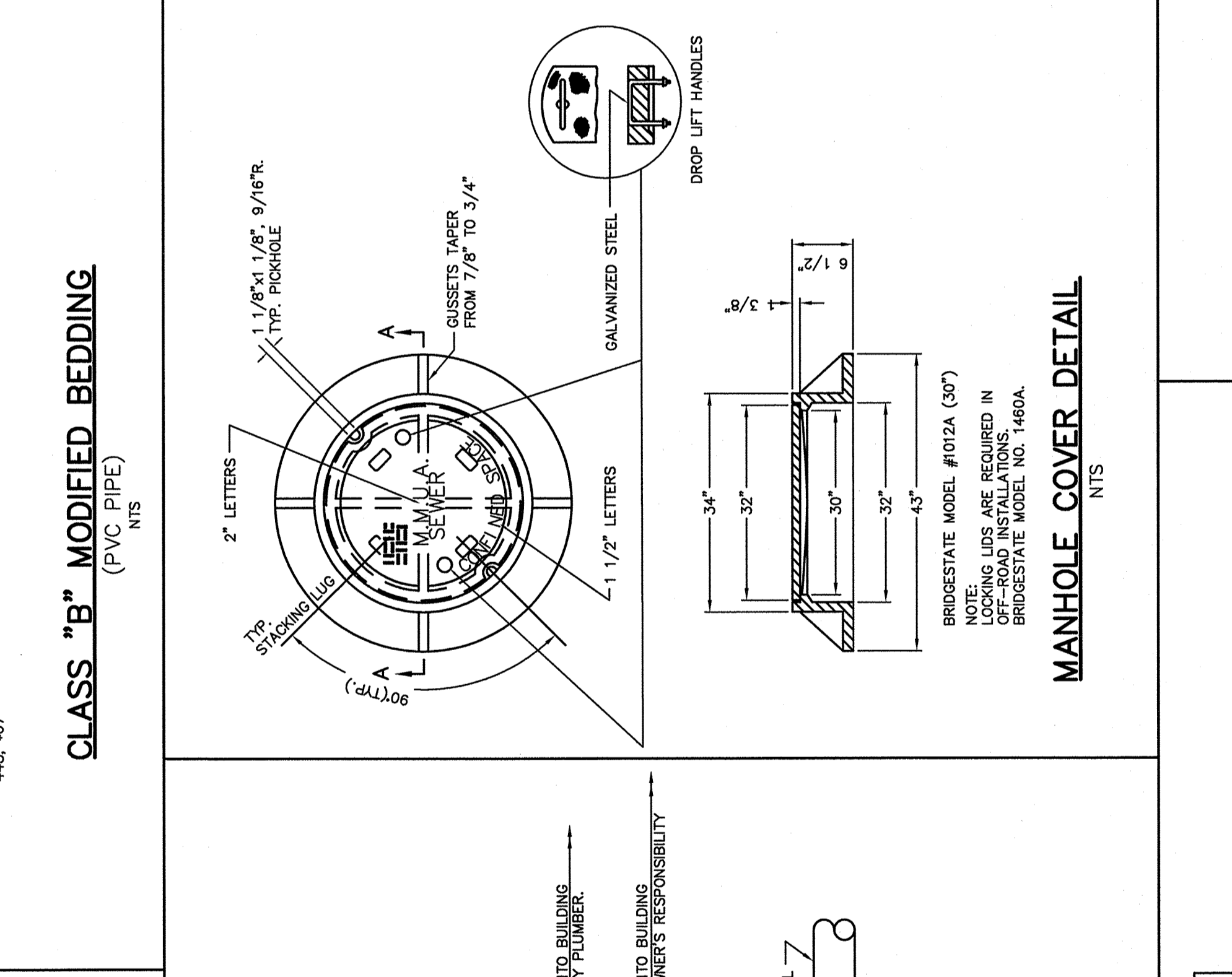
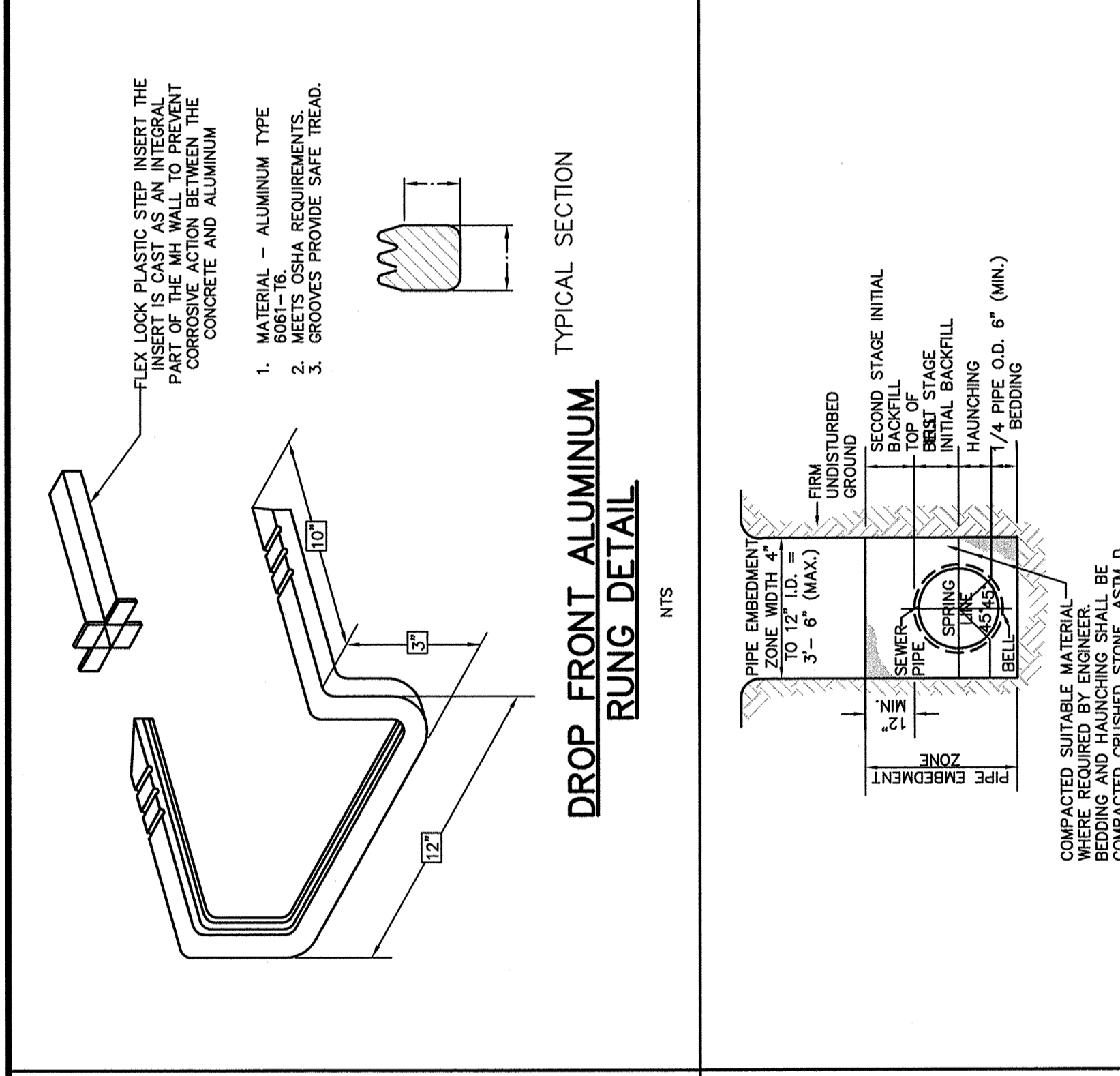
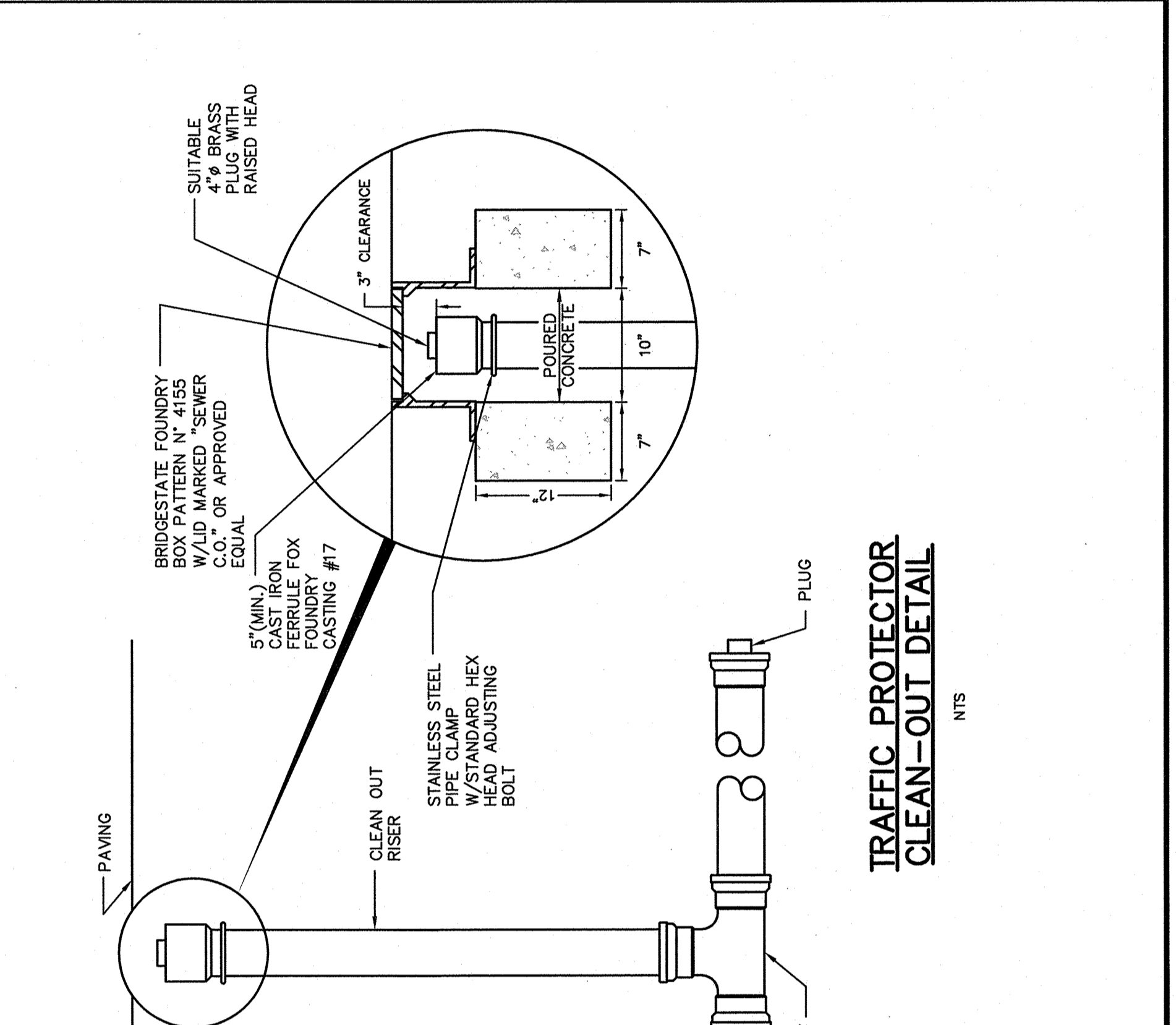
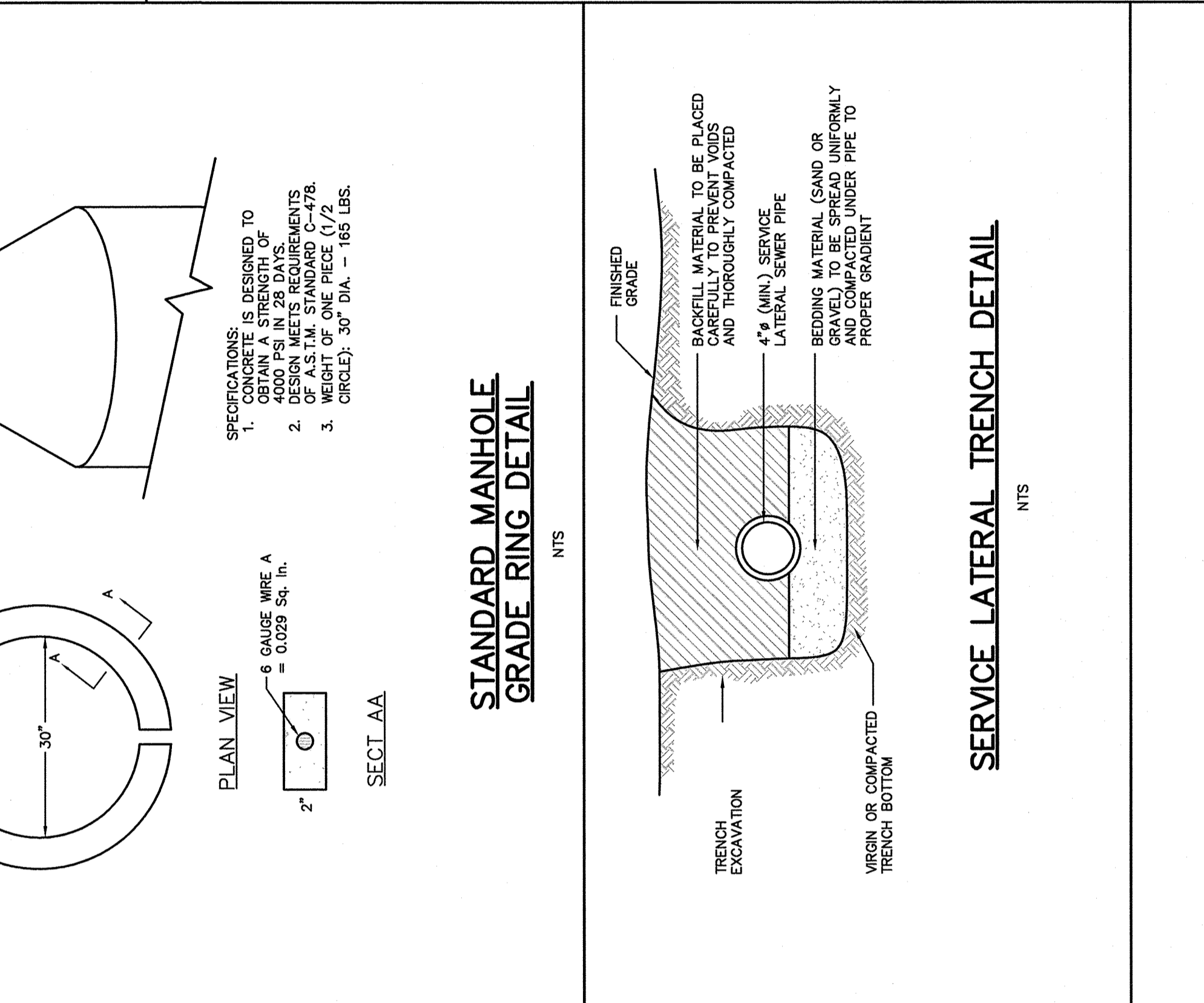
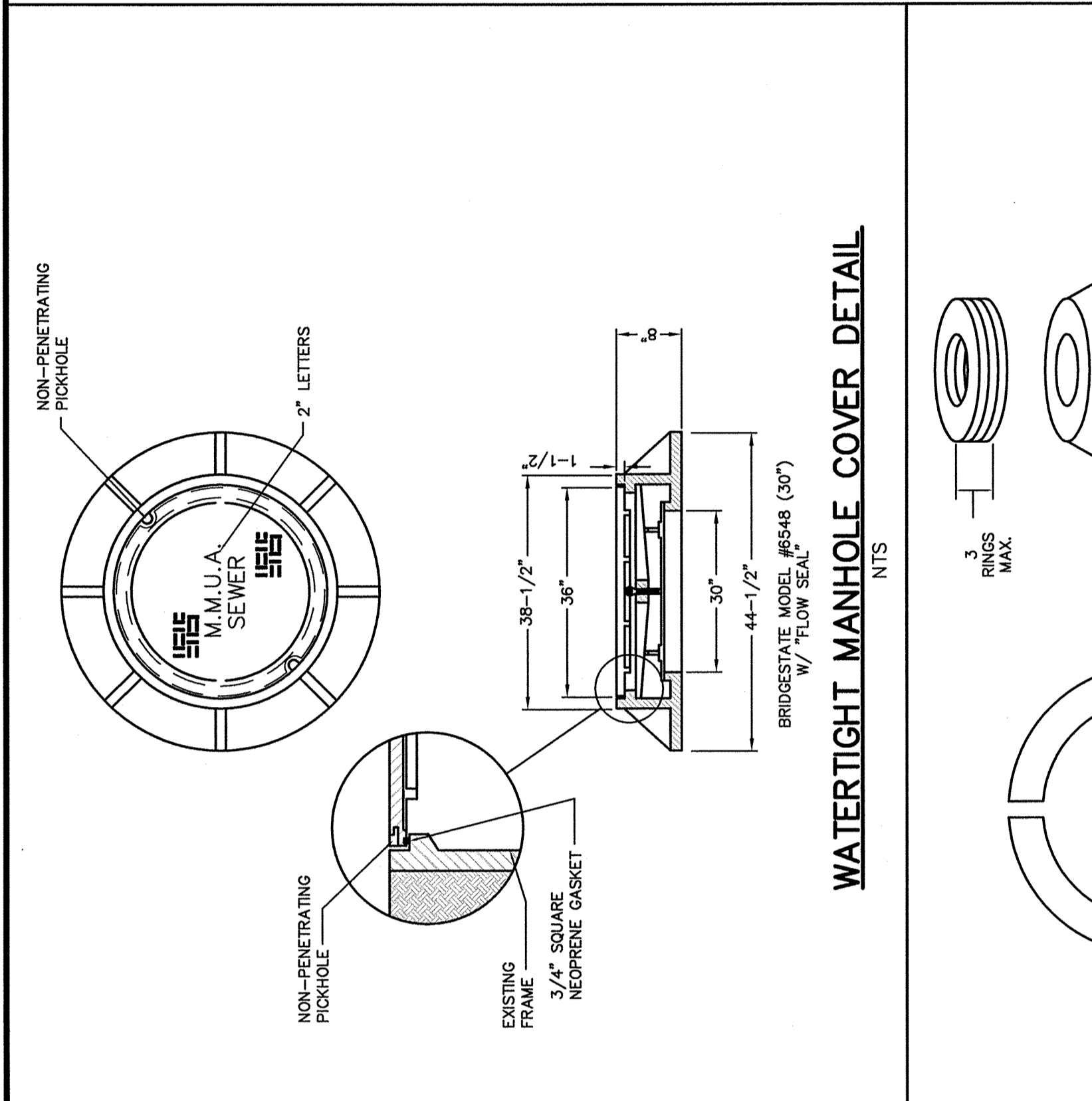
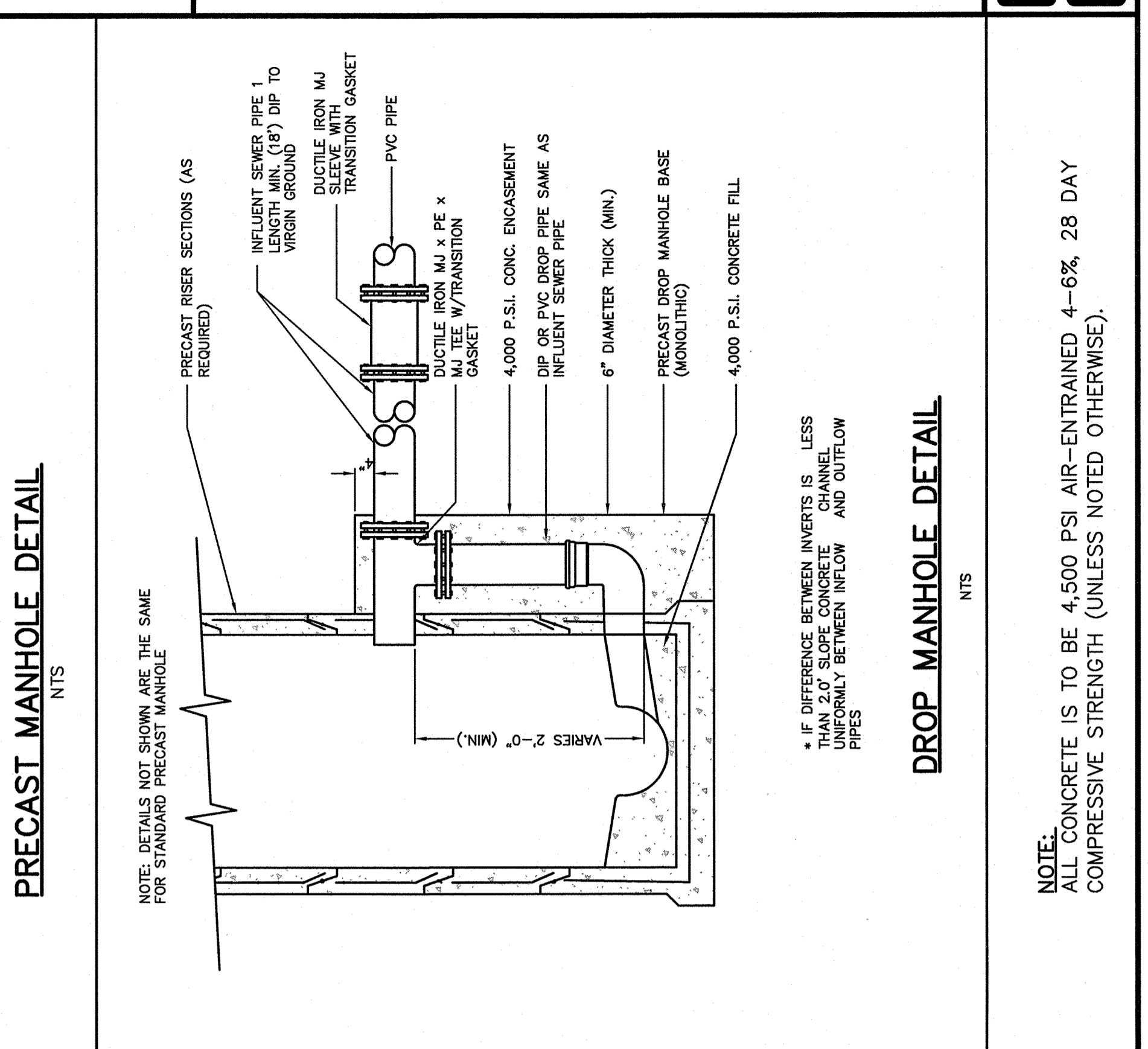
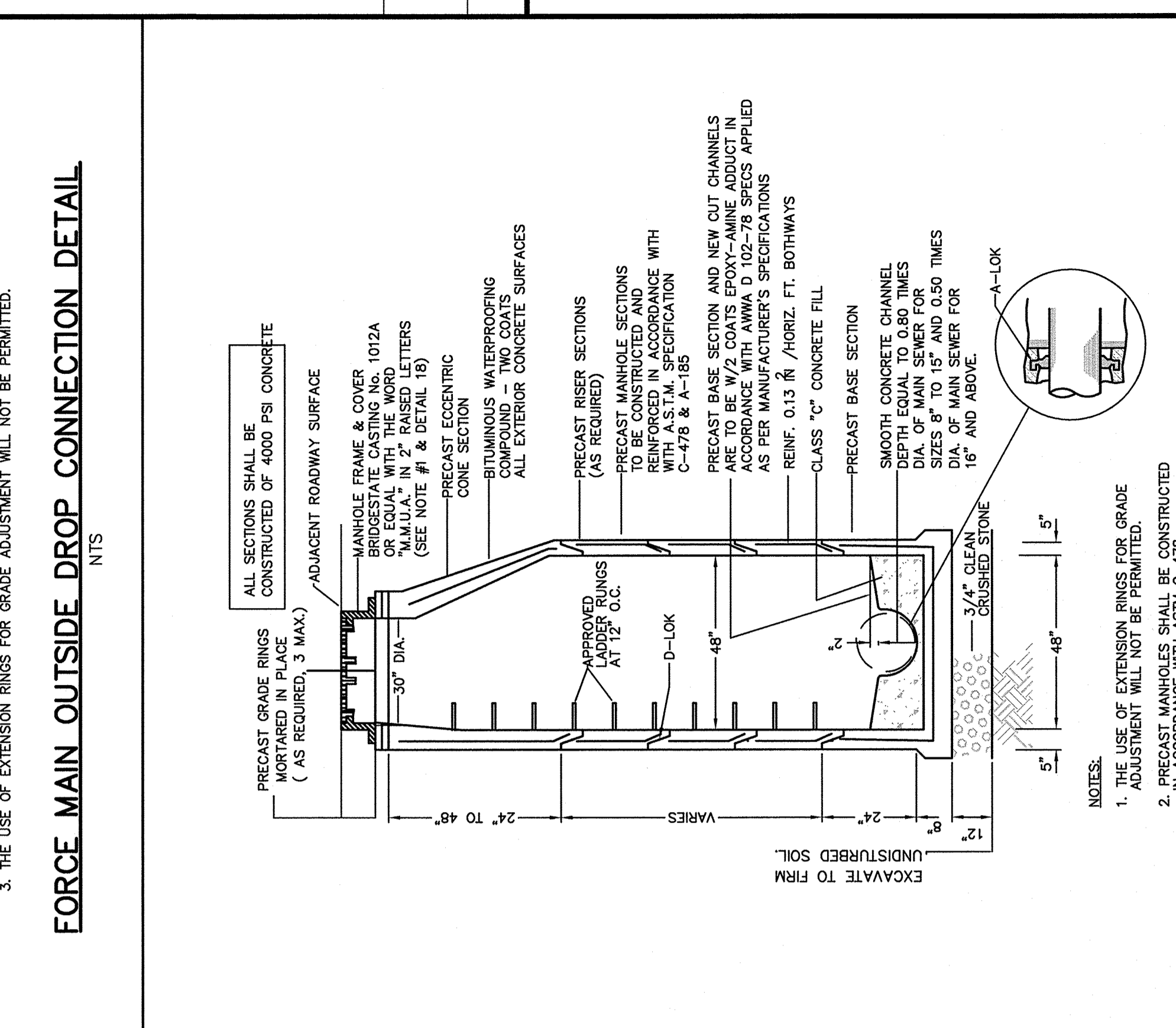
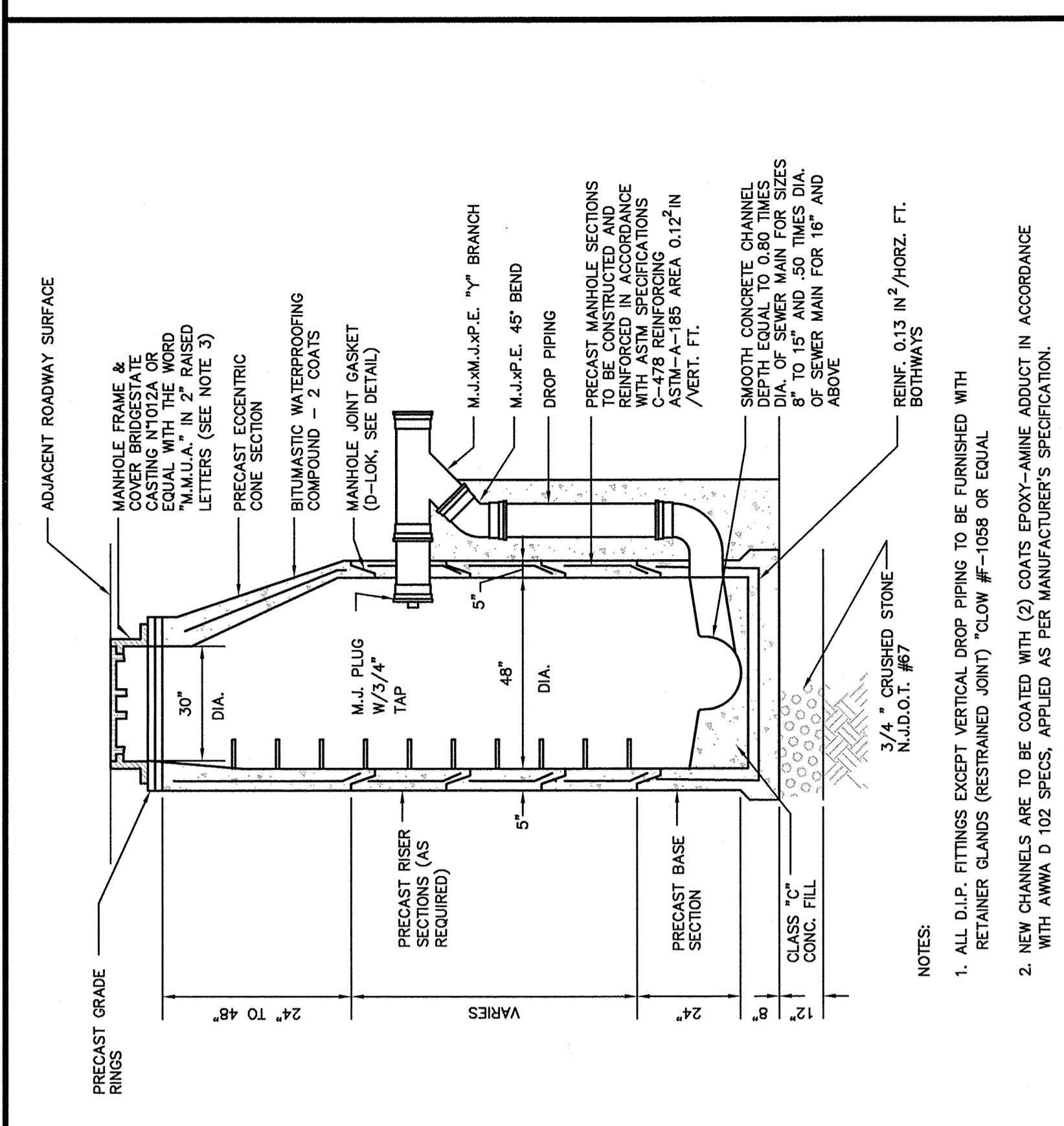
SEE BASIN CONSTRUCTION NOTES BELOW.

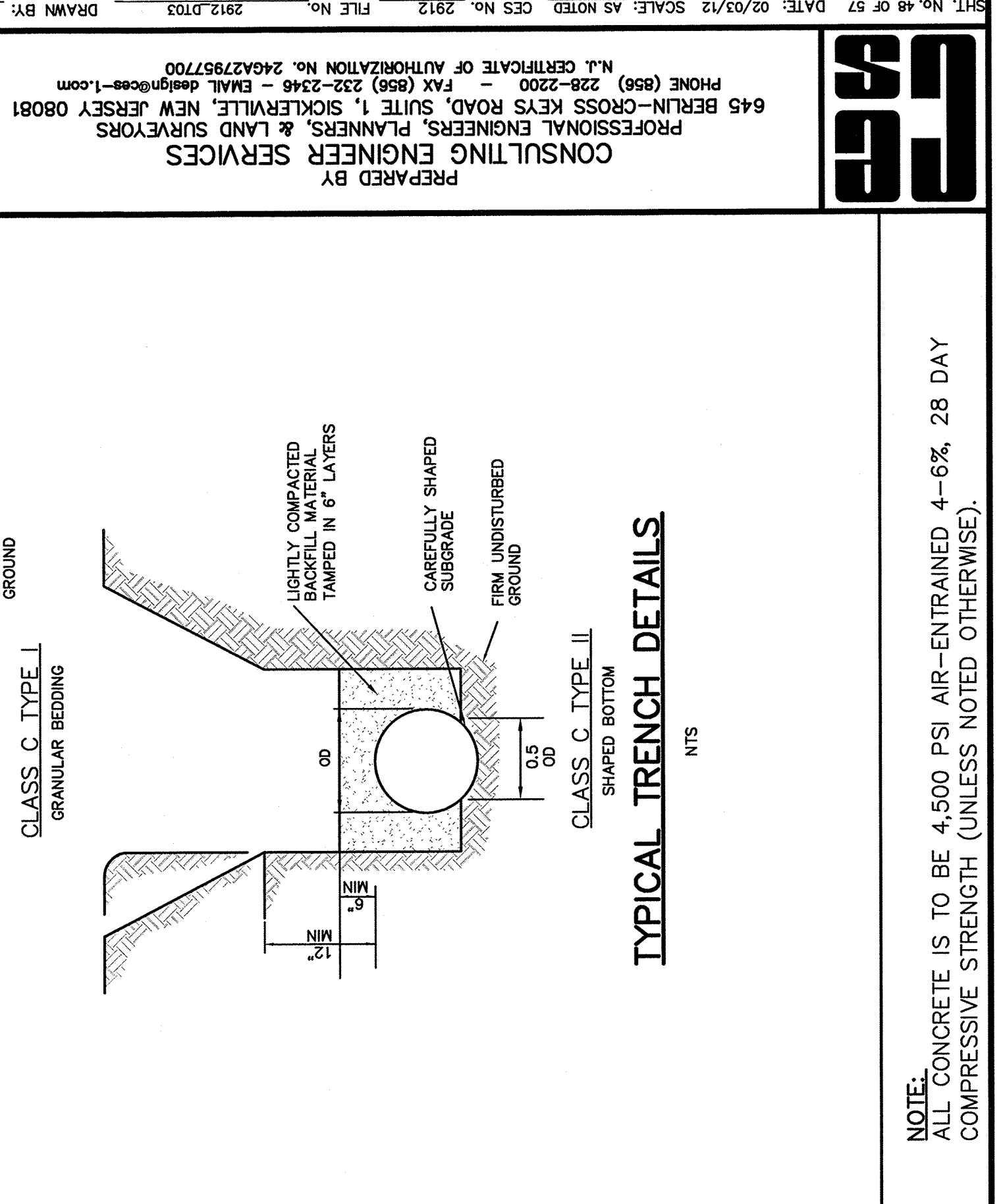
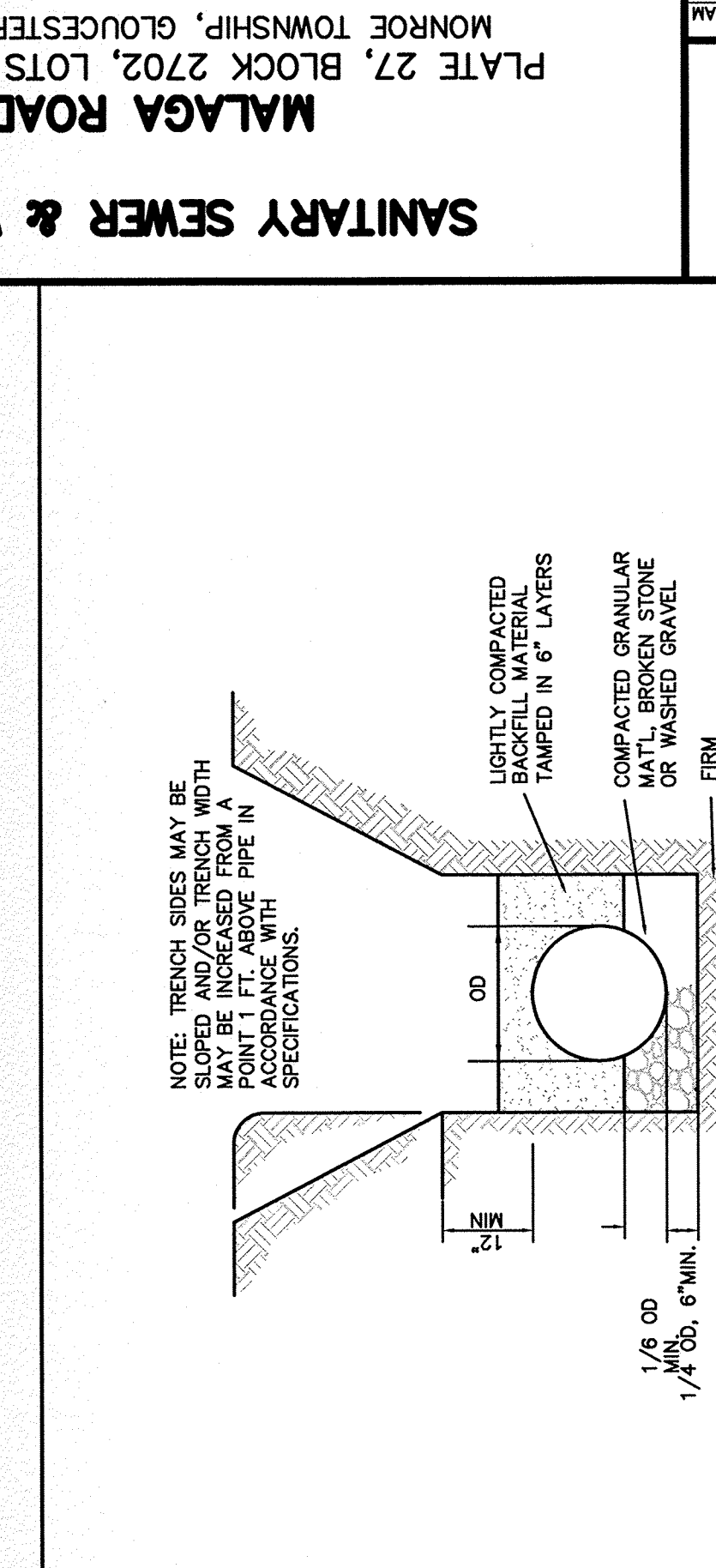
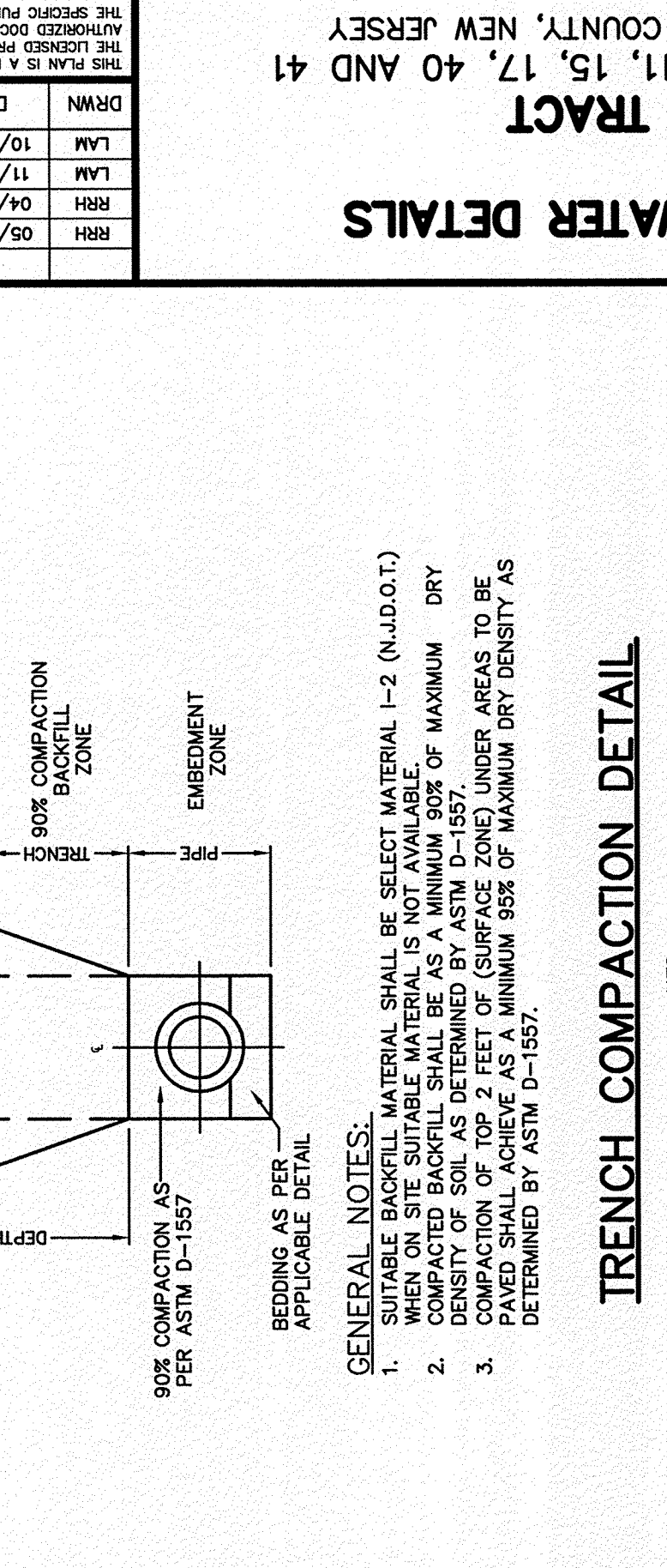
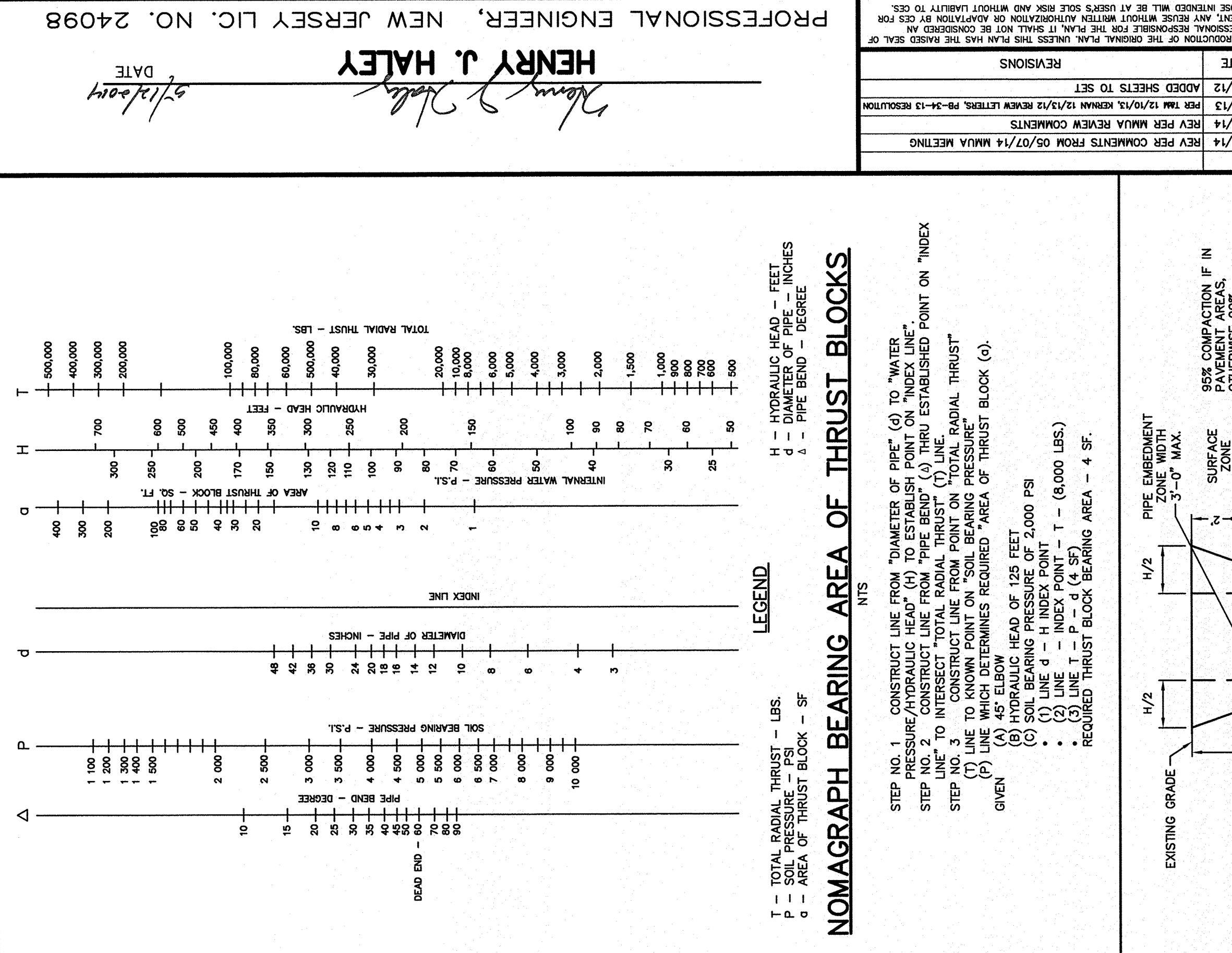
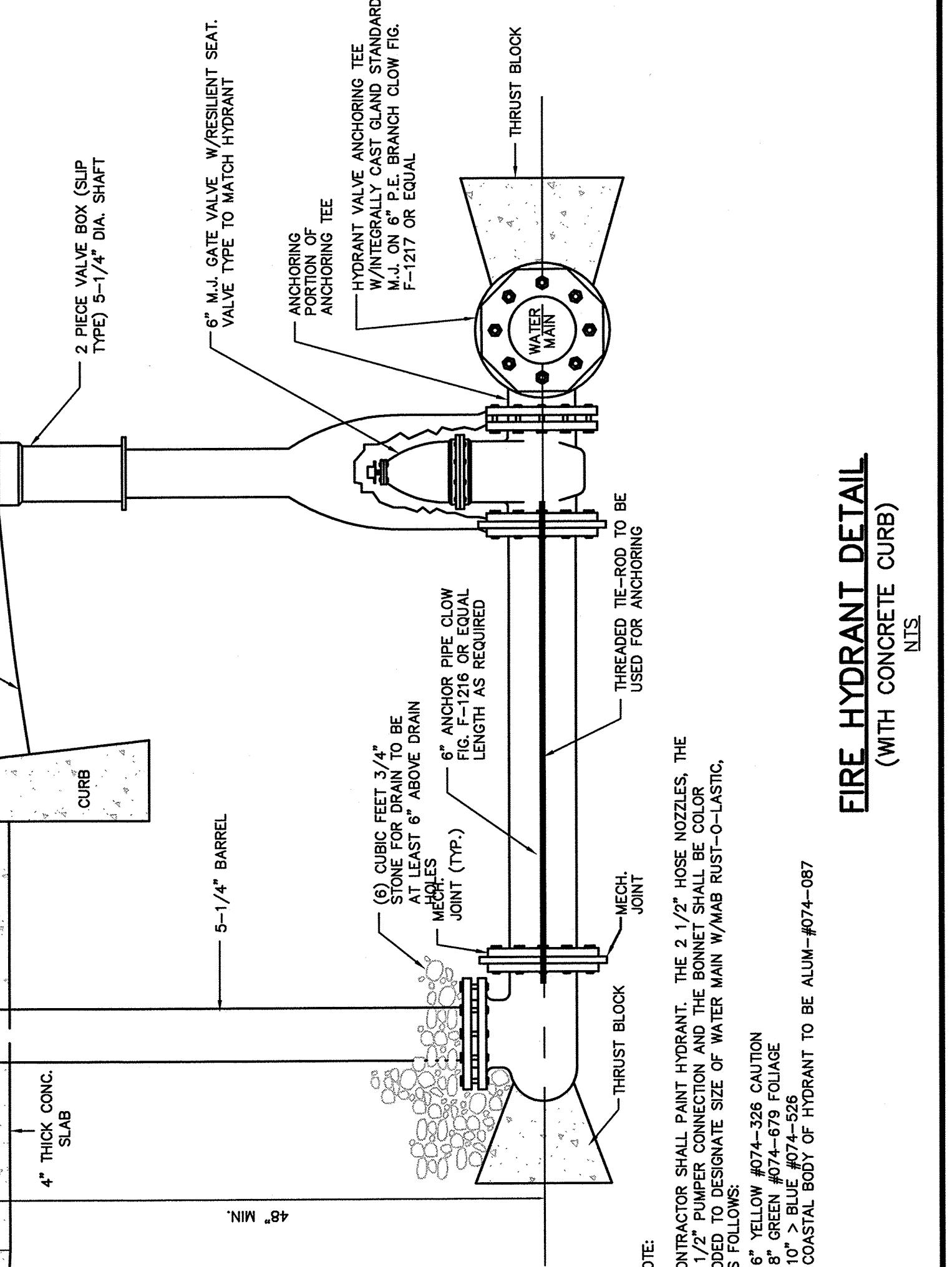
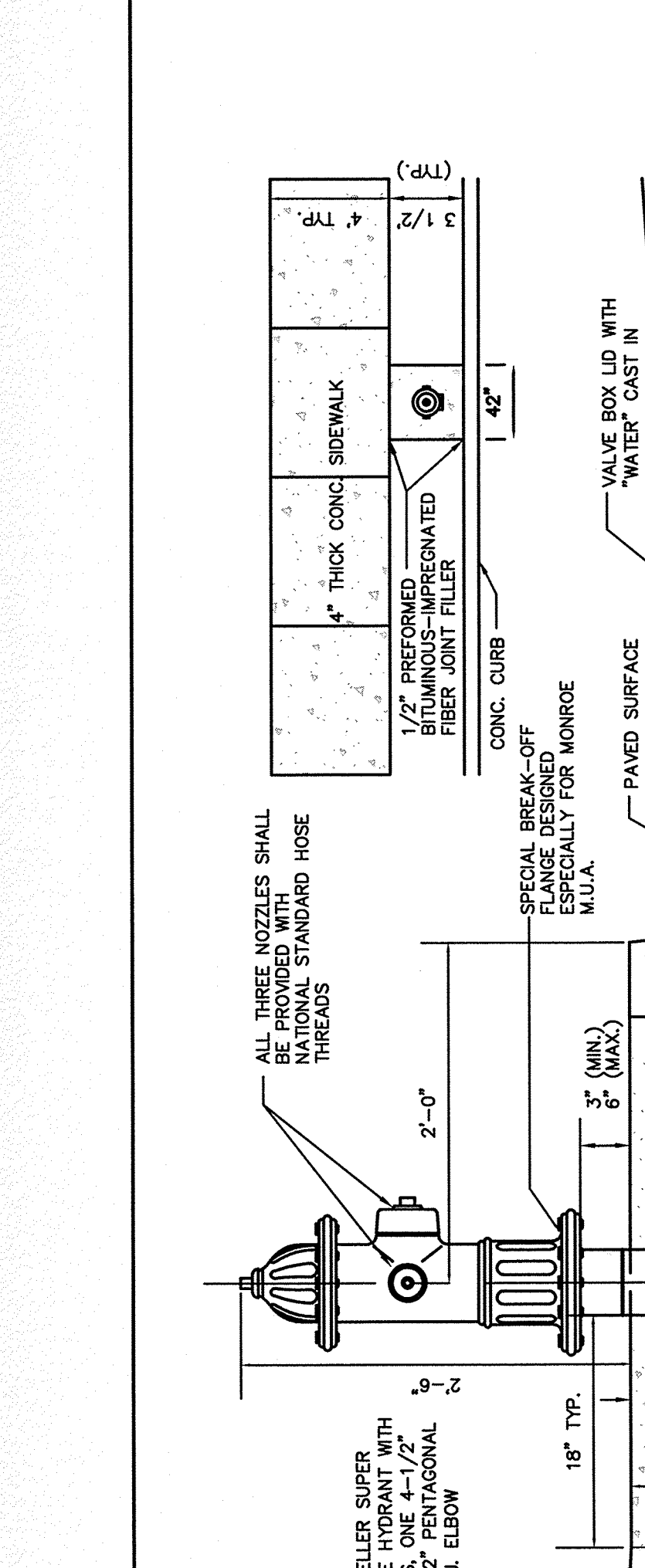
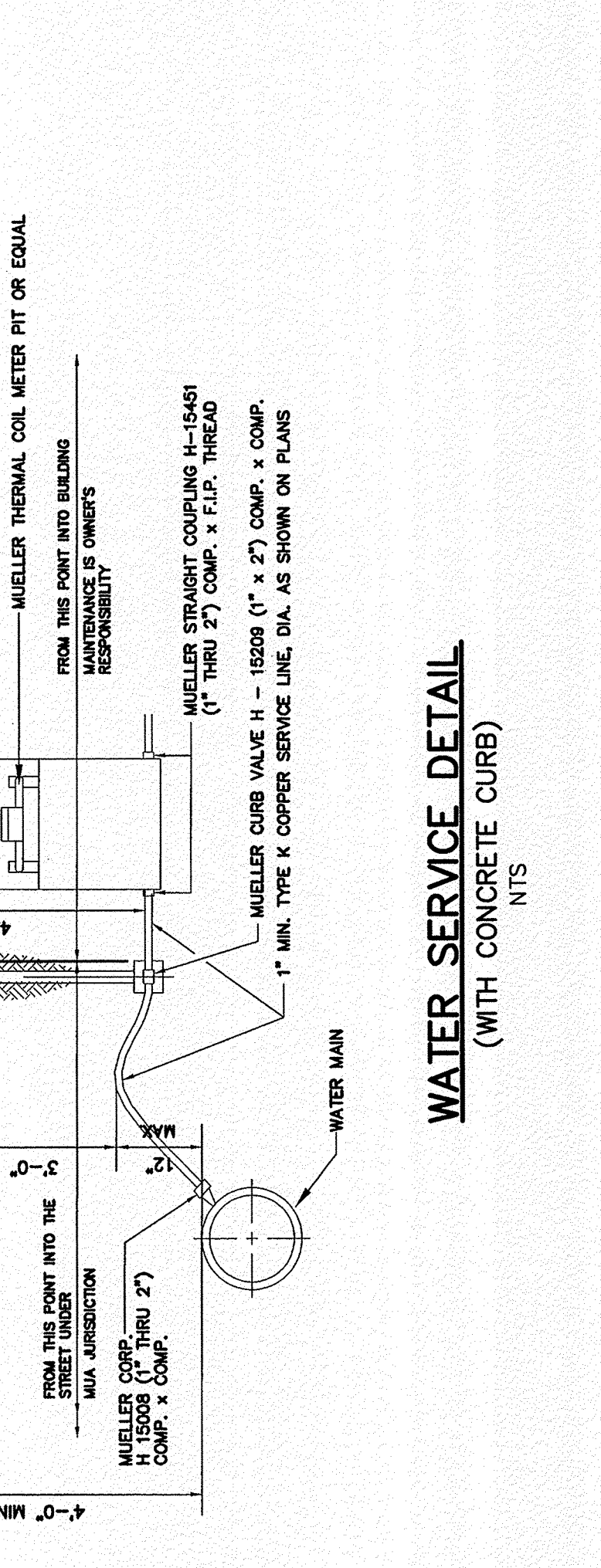
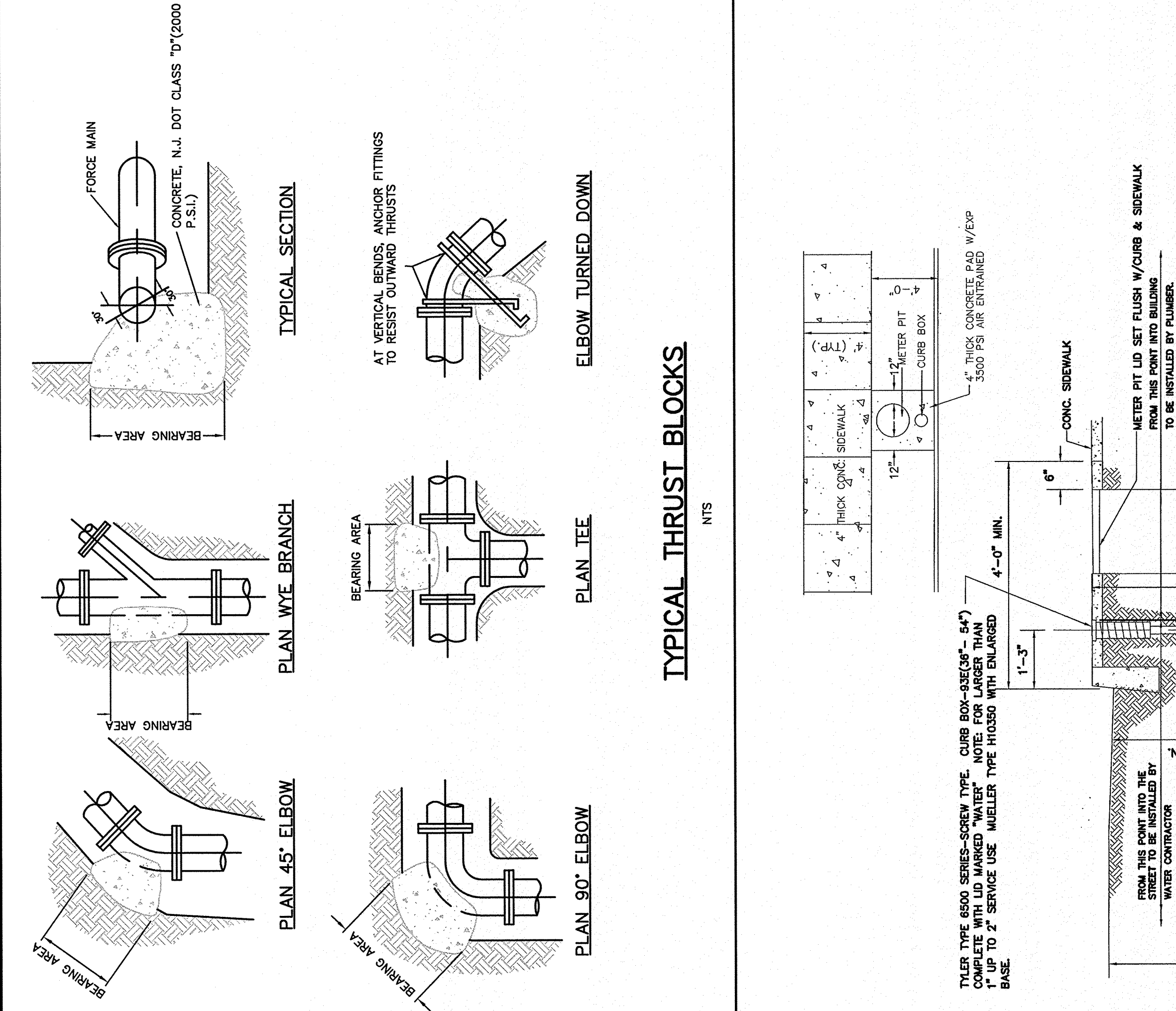
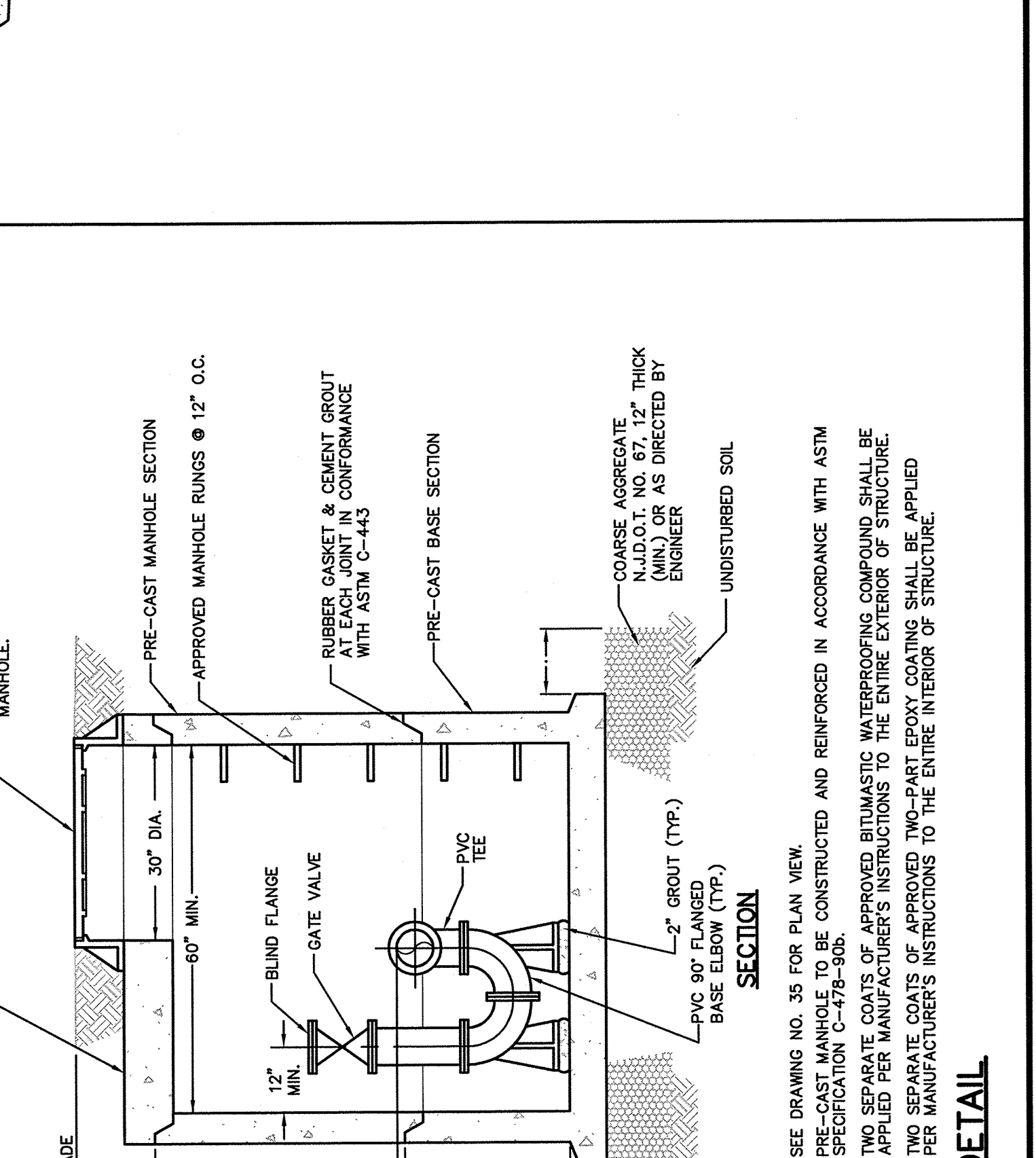
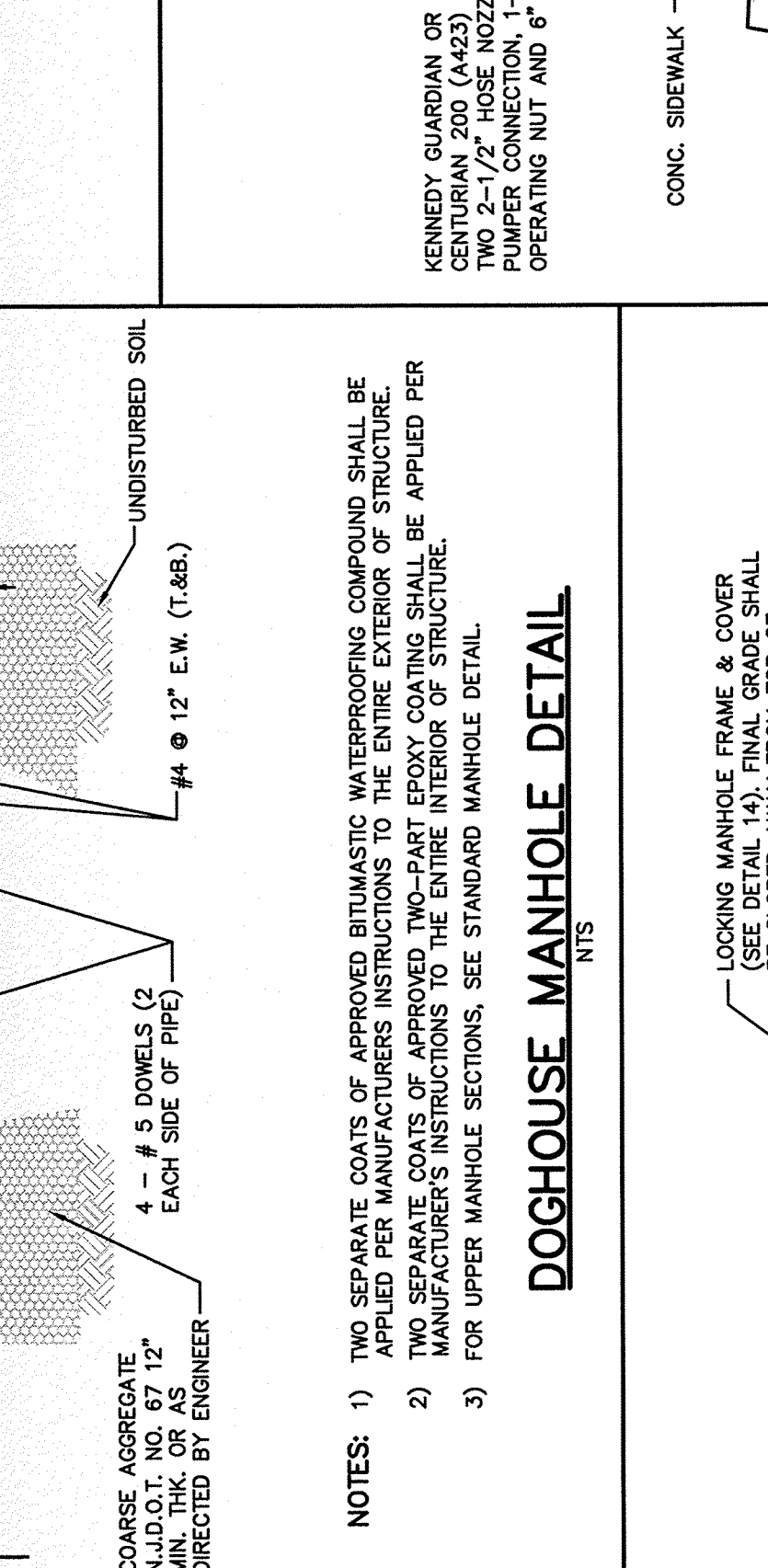
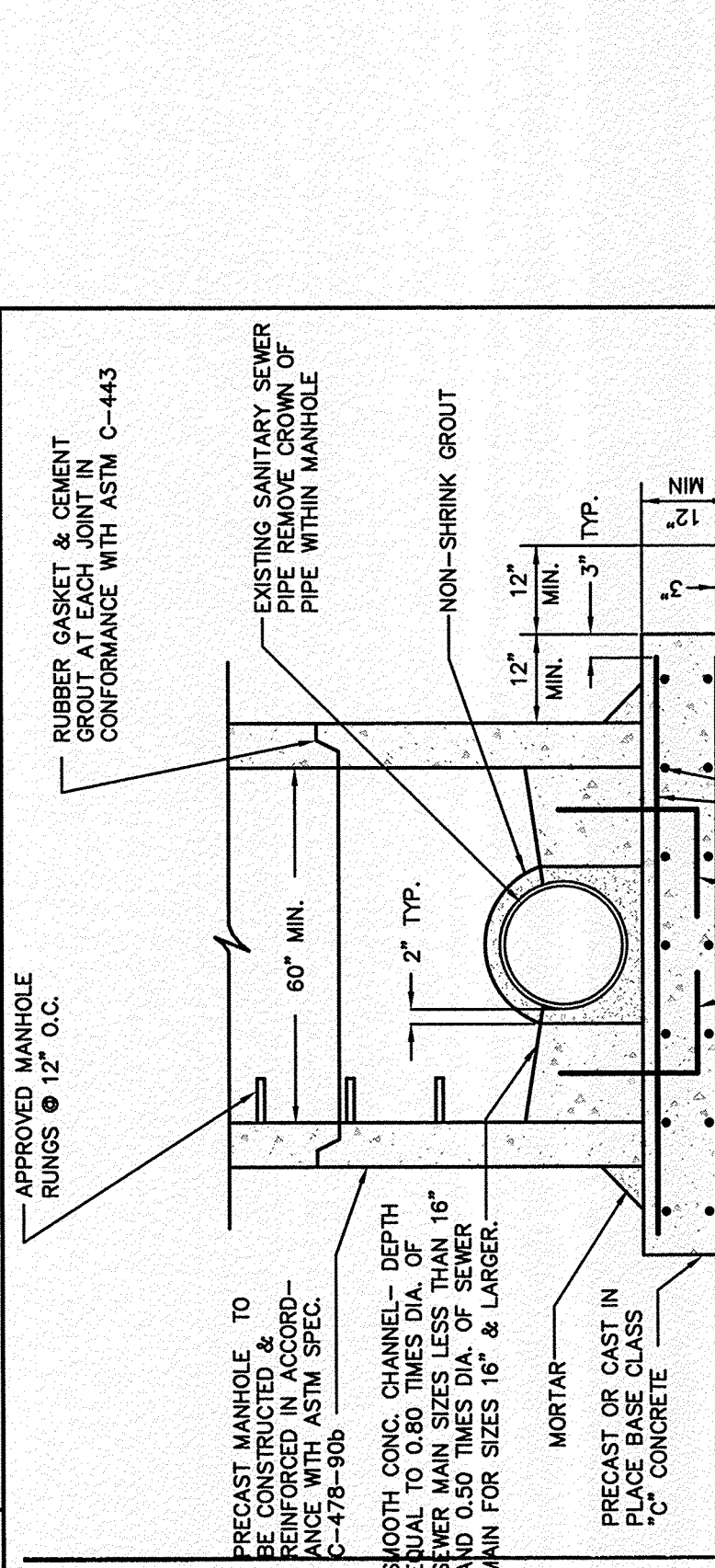
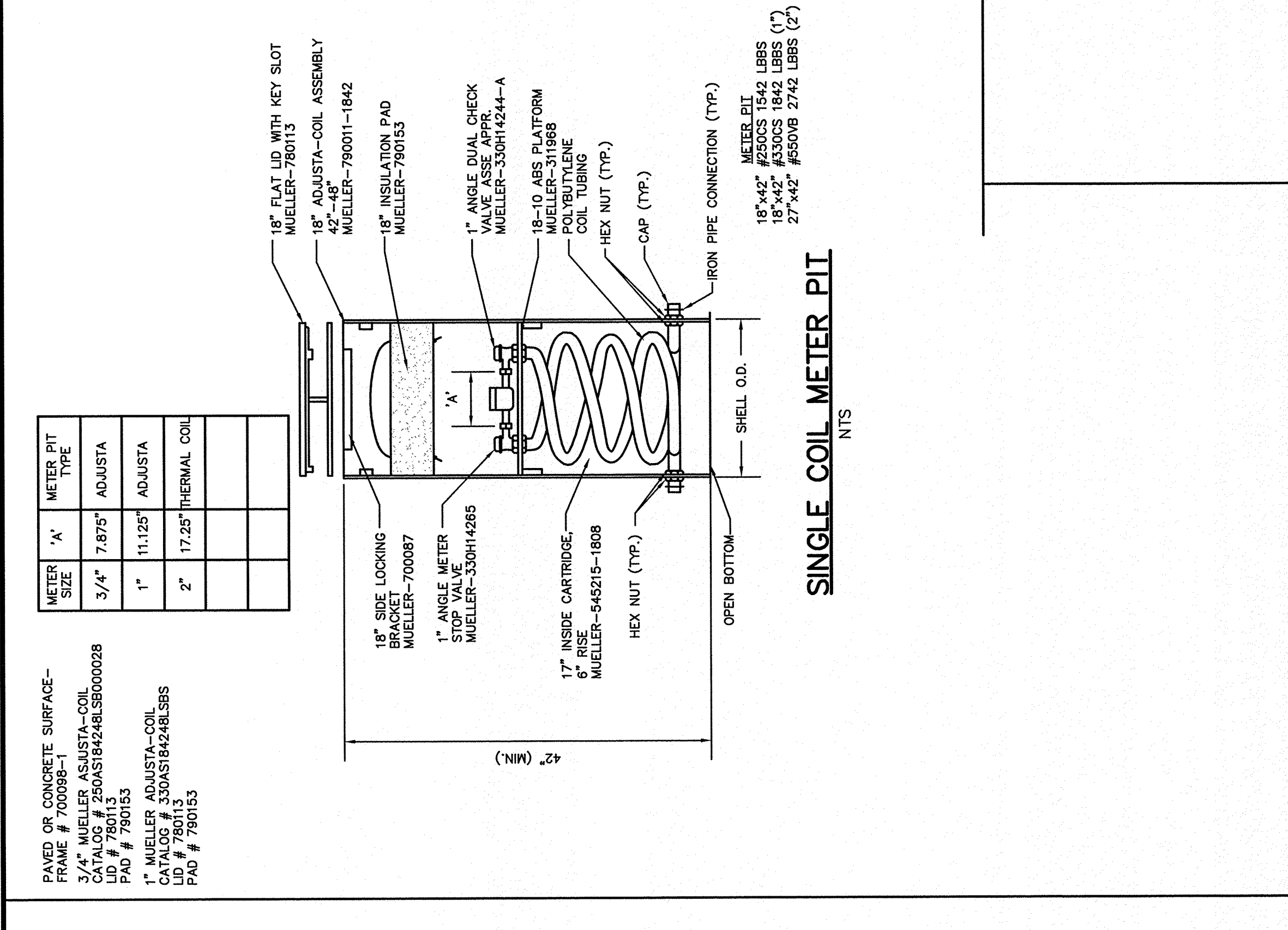
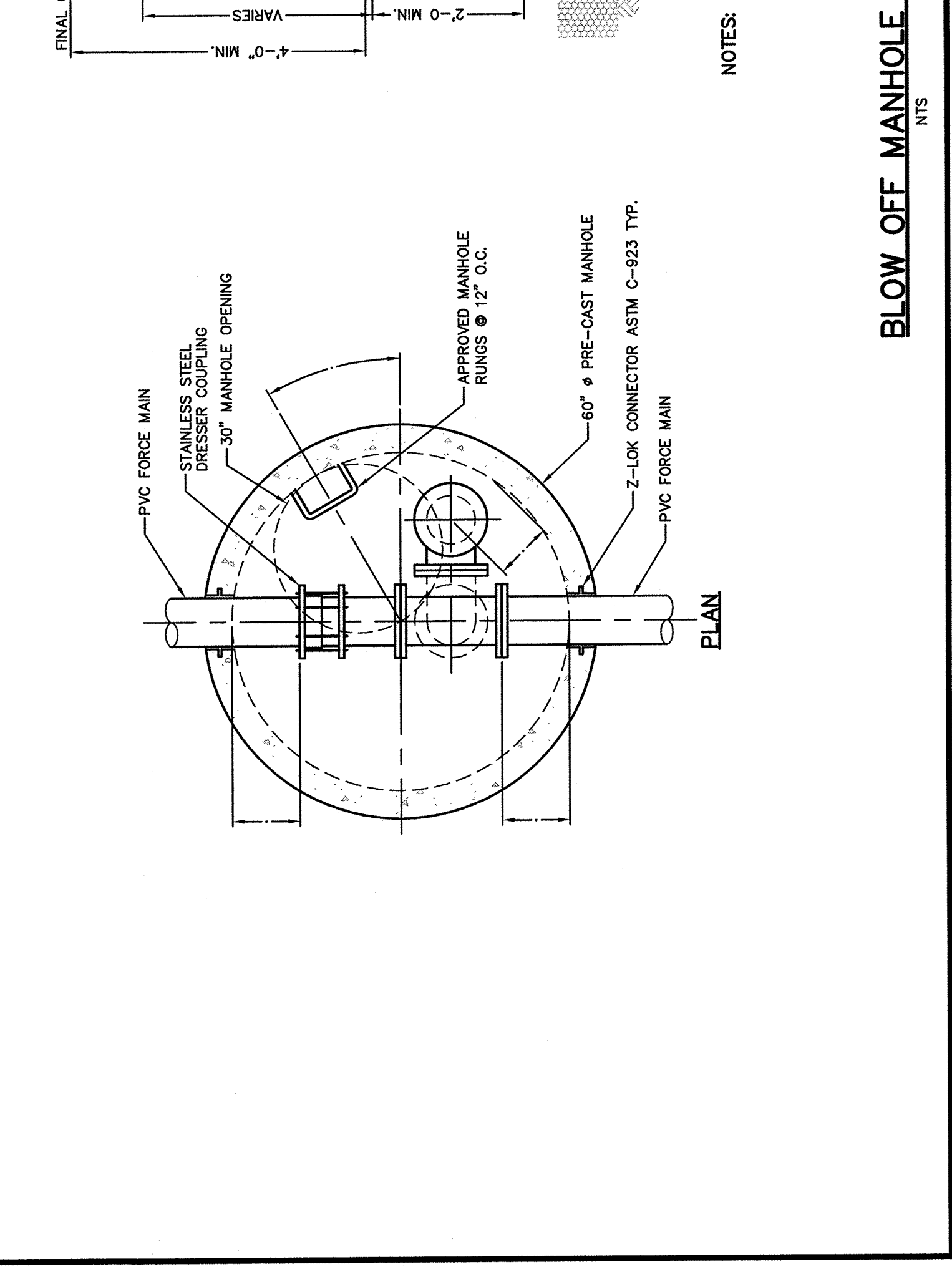
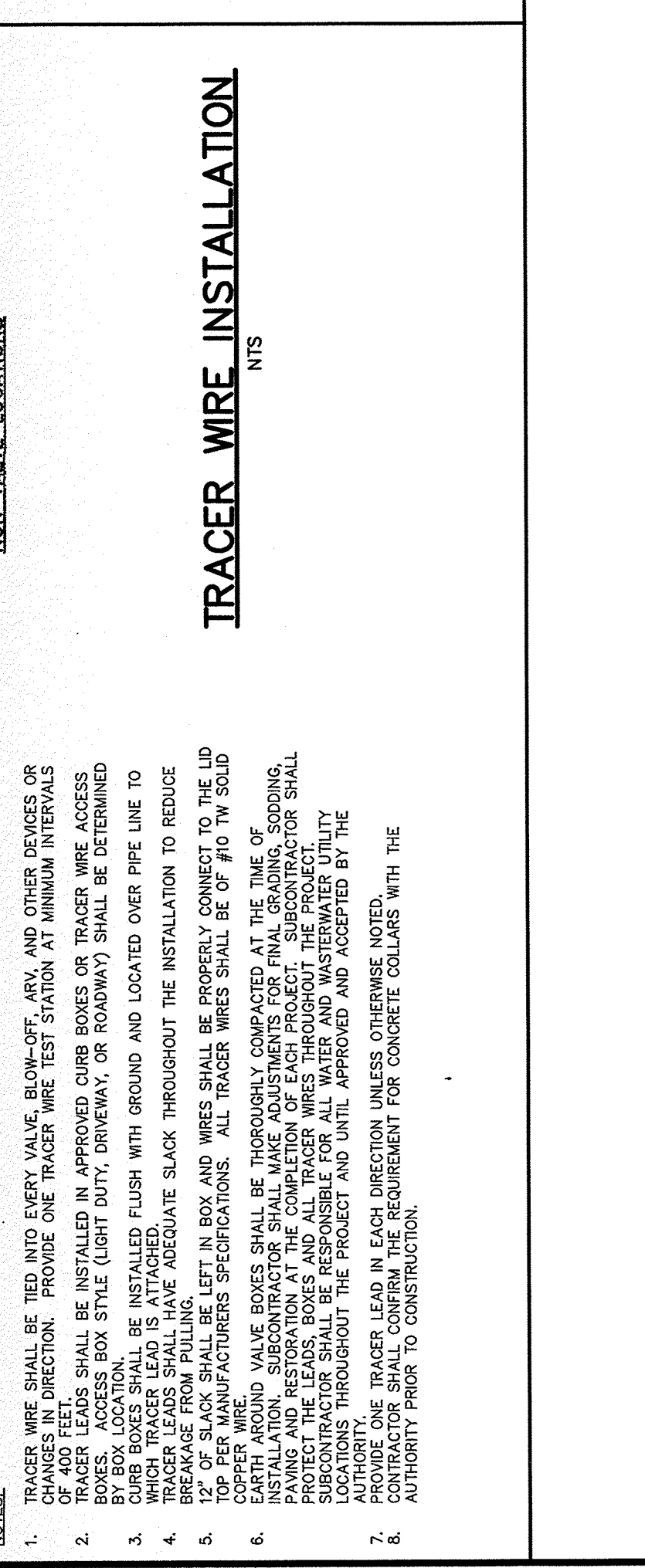
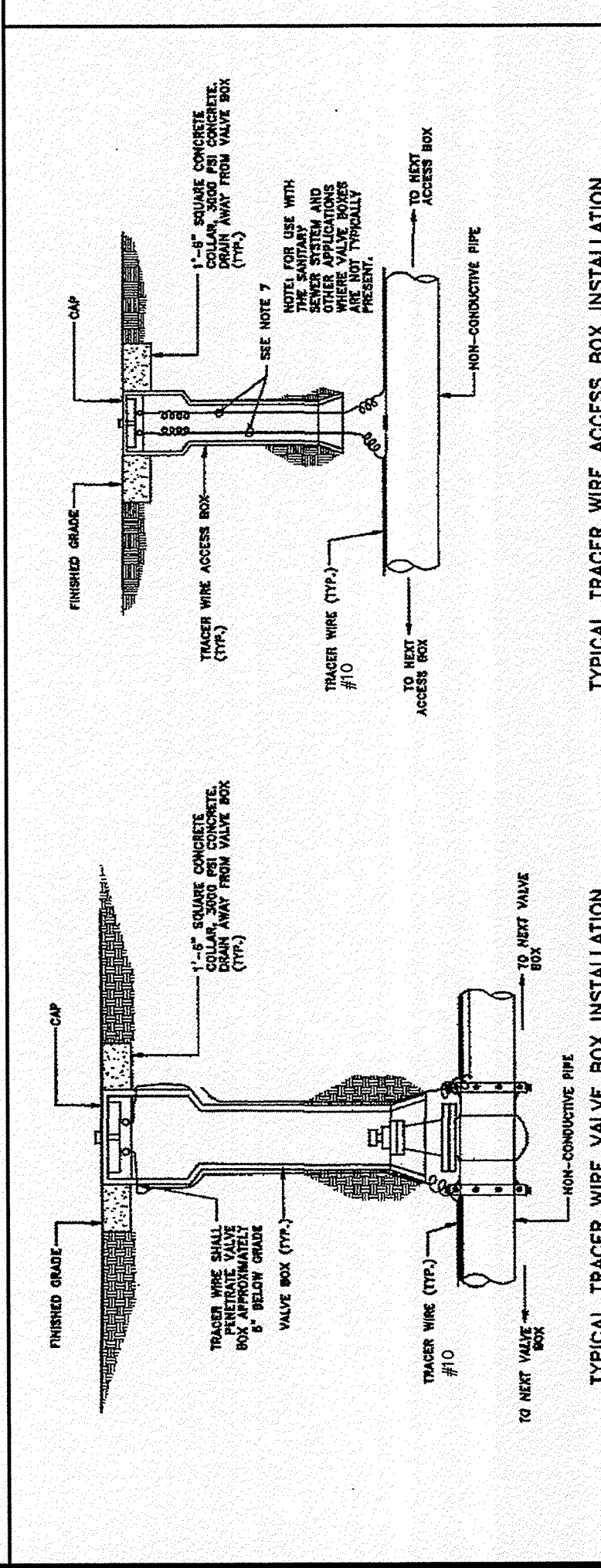
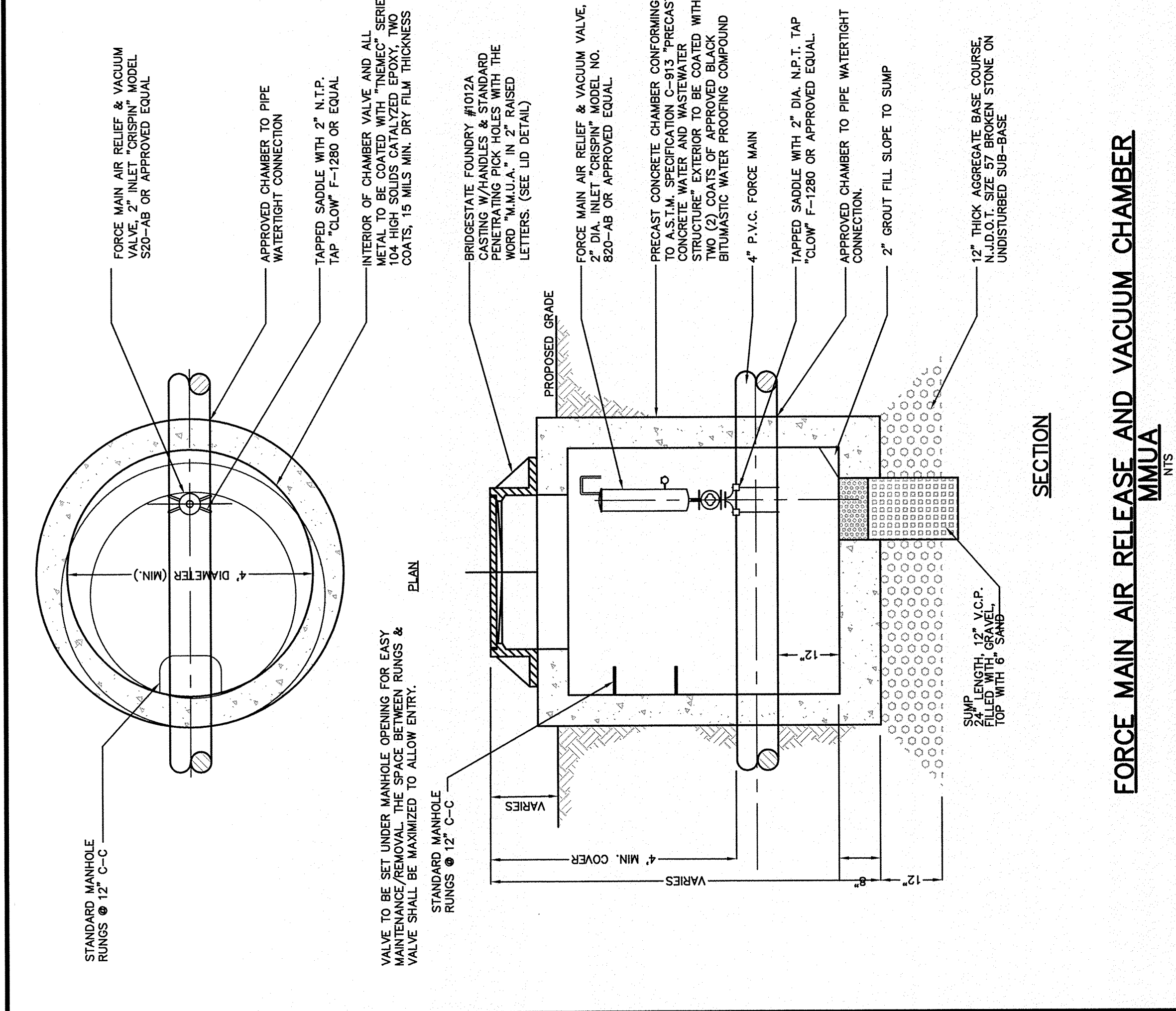
NOTES:

- ALL BACKFILL WITHIN AREAS OF ROADWAY RESTORATION AND UTILITY MAIN INSTALLATION ARE TO BE PLACED AND TAMPED IN EIGHT (8) INCH LIFTS TO A MINIMUM IN-SITU DRY DENSITY IN PAVED AREAS AND 90% OF THE MAXIMUM IN-SITU DRY DENSITY IN UNPAVED AREAS.
- ALL STABILIZED CONSTRUCTION ENTRANCES ARE LOCATED AND THE BEGINNING OF EACH DRIVEWAY AS SHOWN IN THE TYPICAL LOT DETAIL.
- IN THE EVENT THAT SOUTH CENTER STREET IS OPENED FOR UTILITY CONNECTIONS, IT SHOULD BE OPENED SO AS TO PERMIT THE FREE FLOW OF TRAFFIC.
- NO TRENCHES SHALL BE REMOVED FROM THE SITE OR USED AS SPILL TRENCHES DURING THE COURSE OF CONSTRUCTION. ANY TRENCHES SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- THE MUNICIPAL ENGINEER SHALL BE NOTIFIED AT LEAST FOUR (4) HOURS PRIOR TO THE START OF CONSTRUCTION.
- UPON COMPLETION OF CONSTRUCTION ACTIVITIES, A LICENSED SURVEYOR SHALL PREPARE AS-BUILT PLANS THAT DEPICT BOTH THE ORIGINAL AND EXISTING CONDITIONS OF THE PROJECT SITE.
- THE BASIN SHALL NOT BE PLACED INTO OPERATION UNTIL ITS DRAINAGE AREA IS COMPLETELY STABILIZED.
- SOIL CONSTRUCTION NOTES:
- A. A POST EXCAVATION PERCOLATION TEST MUST BE PERFORMED AT EACH BASIN TO CONFIRM THE DESIGN INFILTRATION RATE OF K-4 (8-20 IN/HR) AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- B. A POST EXCAVATION PERCOLATION TEST MUST BE PERFORMED AT EACH BASIN TO CONFIRM THE DESIGN INFILTRATION RATE OF K-4 (8-20 IN/HR) AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- C. THE INFILTRATION RATE OF THE EXCAVATION OPERATIONAL VALUE SHALL BE AT LEAST 10% OF THE DESIGN INFILTRATION RATE AND REPLACED TO OBTAIN THE INFILTRATION DESIGN RATE (K-4, 8-20 IN/HR).
- D. A BUREAU OF SOILS TEST REPORT FOR EACH EXCAVATION IS REQUIRED.
- E. THE BOTTOM OF THE STORMWATER BASIN IS NOT TO BE EXCAVATED UNTIL THE PROJECT SITE IS COMPLETELY STABILIZED.
- F. THE STORMWATER BASIN DURING INITIAL CONSTRUCTION SHALL BE EXCAVATED TO AN ELEVATION 15 FEET ABOVE THE PROJECT IS ELEVATION TO PROVIDE A MAJOR PER REMOVAL OF COLLECTED SEDIMENT AT THE BOTTOM OF BASIN WHEN THE ENTIRE PROJECT IS COMPLETED.
- G. WHEN THE PROJECT IS STABILIZED AND NEARLY COMPLETE AND WITH APPROVAL OF THE TOWNSHIP PLANNING BOARD ENGINEER, THE STORMWATER BASIN BOTTOM SHALL BE EXCAVATED TO THE FINAL DEPTH AS SHOWN ON THE DRAWINGS. A 6 INCH THICK LAYER OF SAND SHALL BE PLACED ON THE BOTTOM OF THE BASIN TO PROTECT THE UNDERLYING SOILS FROM THE STORMWATER. THE SAND SHALL BE A MINIMUM OF 10 INCHES PER HOUR (K-4).
- H. NO HEAVY EQUIPMENT, SUCH AS BACKHOES, DUMP TRUCKS, OR ROLLERS SHALL BE PERMITTED TO OPERATE WITHIN THE FOOTPRINT OF THE STORMWATER BASIN.
- I. ALL LAIN AREAS ARE TO BE GRADED WITH UNCOMPACTED CONSTRUCTION EQUIPMENT IN ORDER TO MAINTAIN SOIL COMPACTION.
- J. ALL UTILITY LINES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OPERATING WITHIN THE CONSTRUCTION AREA TO VERIFY THE LOCATIONS, SIZE, TYPE, AND DEPTHS OF ANY UTILITIES PRIOR TO COMMENCEMENT OF ANY EXCAVATION OR CONSTRUCTION ACTIVITIES. IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.
- K. ALL EXISTING UTILITIES SHALL BE SERVED PRIOR TO THE COMMENCEMENT OF EXCAVATION. THE CONTRACTOR SHALL NOTIFY THE UNDERGROUND UTILITIES LOCATION SERVICE AT 1-800-272-1100 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION OR CONSTRUCTION ACTIVITIES. IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.
- L. ALL EXISTING UTILITIES SHALL BE SERVED PRIOR TO THE COMMENCEMENT OF EXCAVATION. THE CONTRACTOR SHALL NOTIFY THE UNDERGROUND UTILITIES LOCATION SERVICE AT 1-800-272-1100 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION OR CONSTRUCTION ACTIVITIES. IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.
- M. THE CONTRACTOR SHALL DESIGNATE AN INDIVIDUAL AS SITE SUPERVISOR, RESPONSIBLE FOR SITE SAFETY DURING THE COURSE OF EXCAVATION OPERATIONS.
- N. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
- O. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
- P. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
- Q. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
- R. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
- S. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
- T. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
- U. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
- V. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
- W. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
- X. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
- Y. THE CONTRACTOR SHALL PAY ALL NECESSARY FEES AND GIVE NOTICES NECESSARY FOR THE DUE AND LAWFUL.
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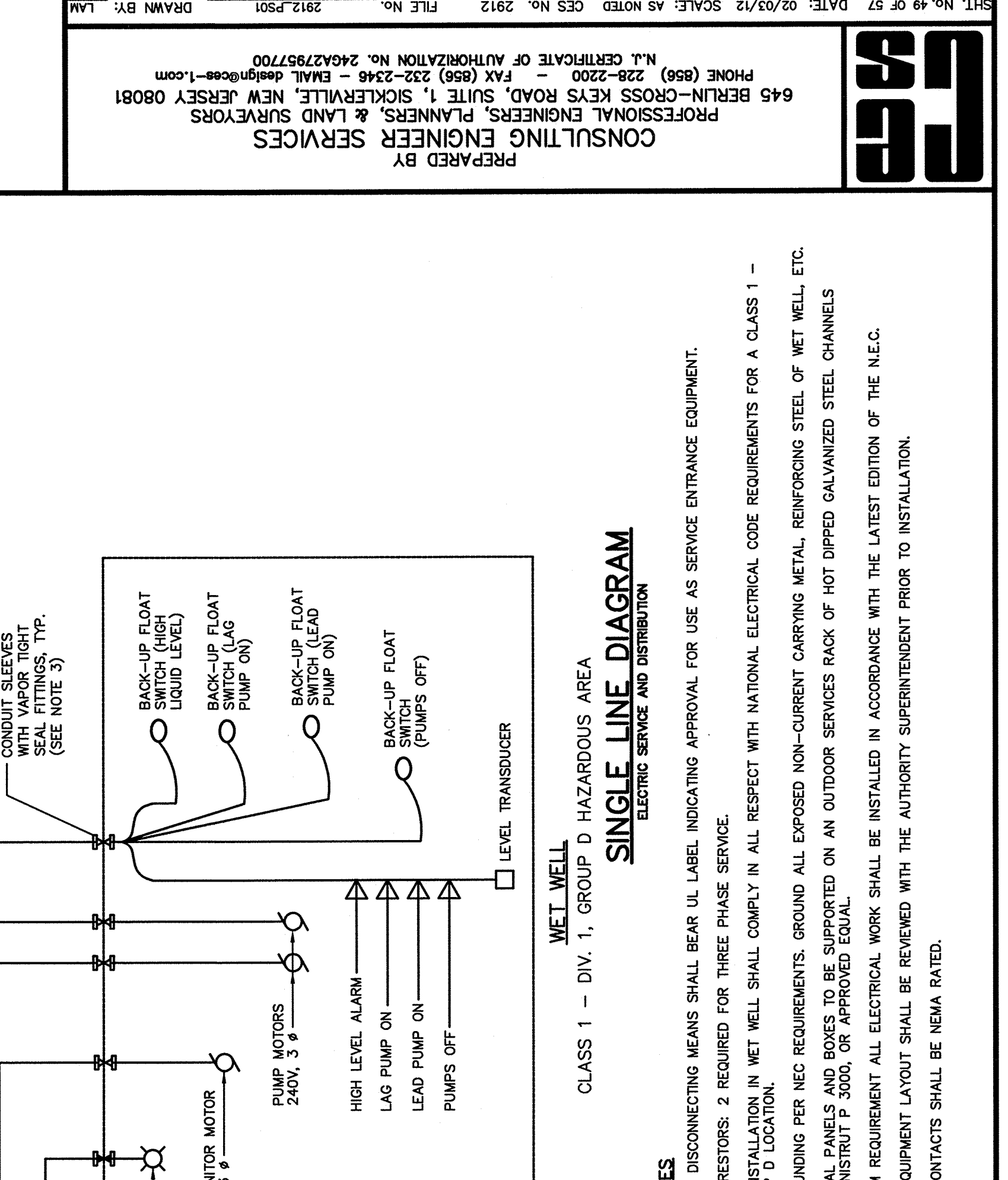
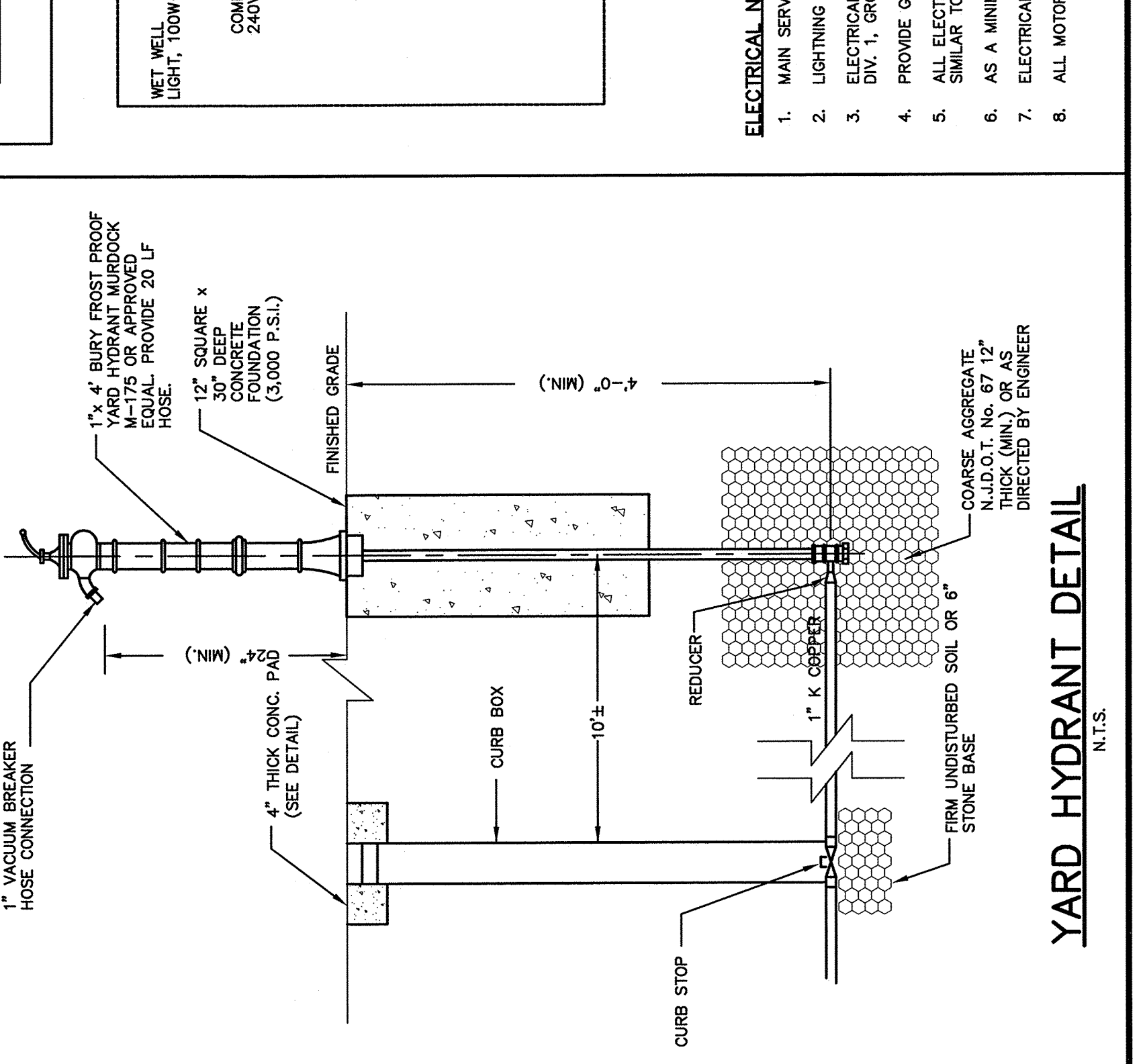
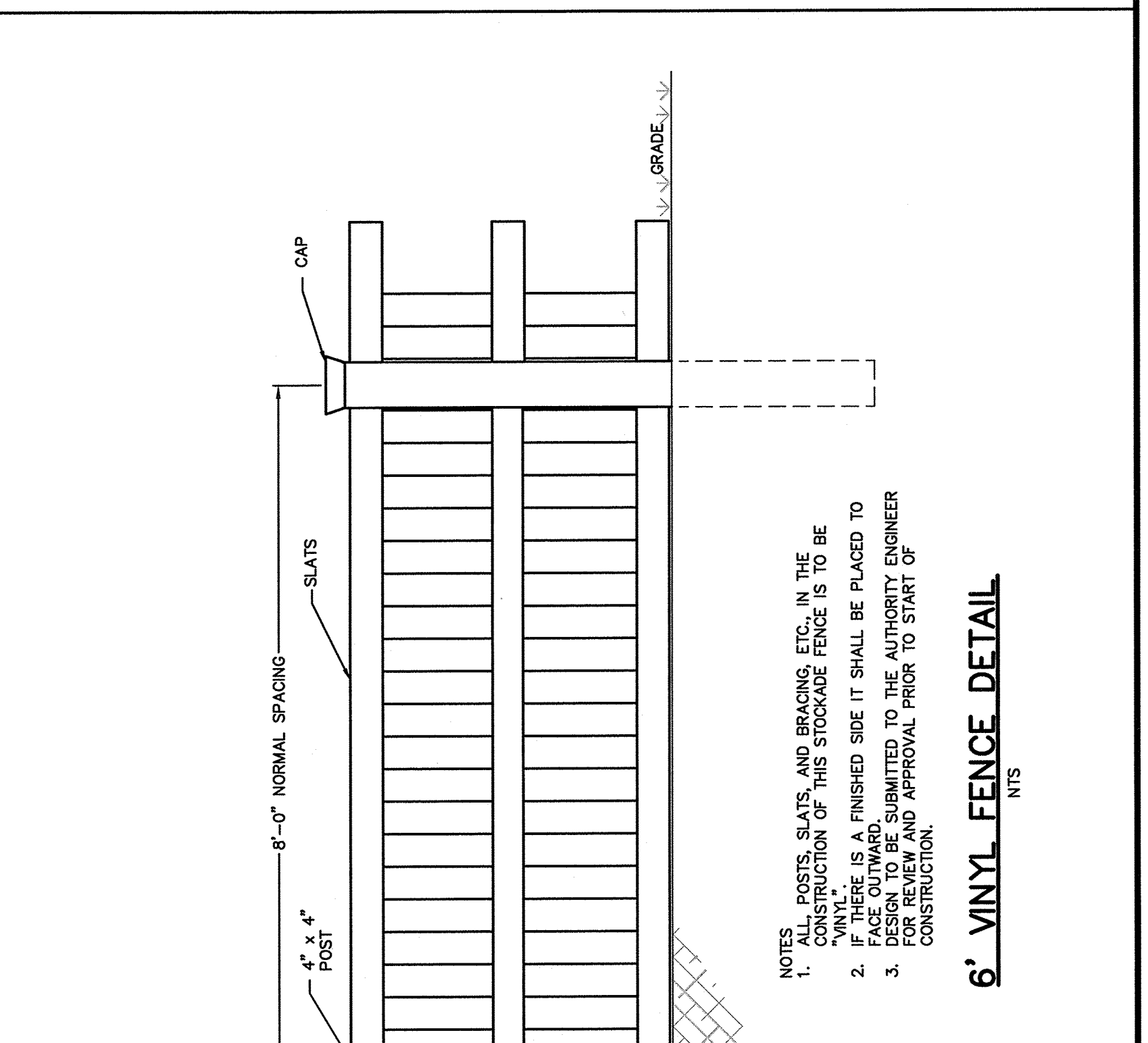
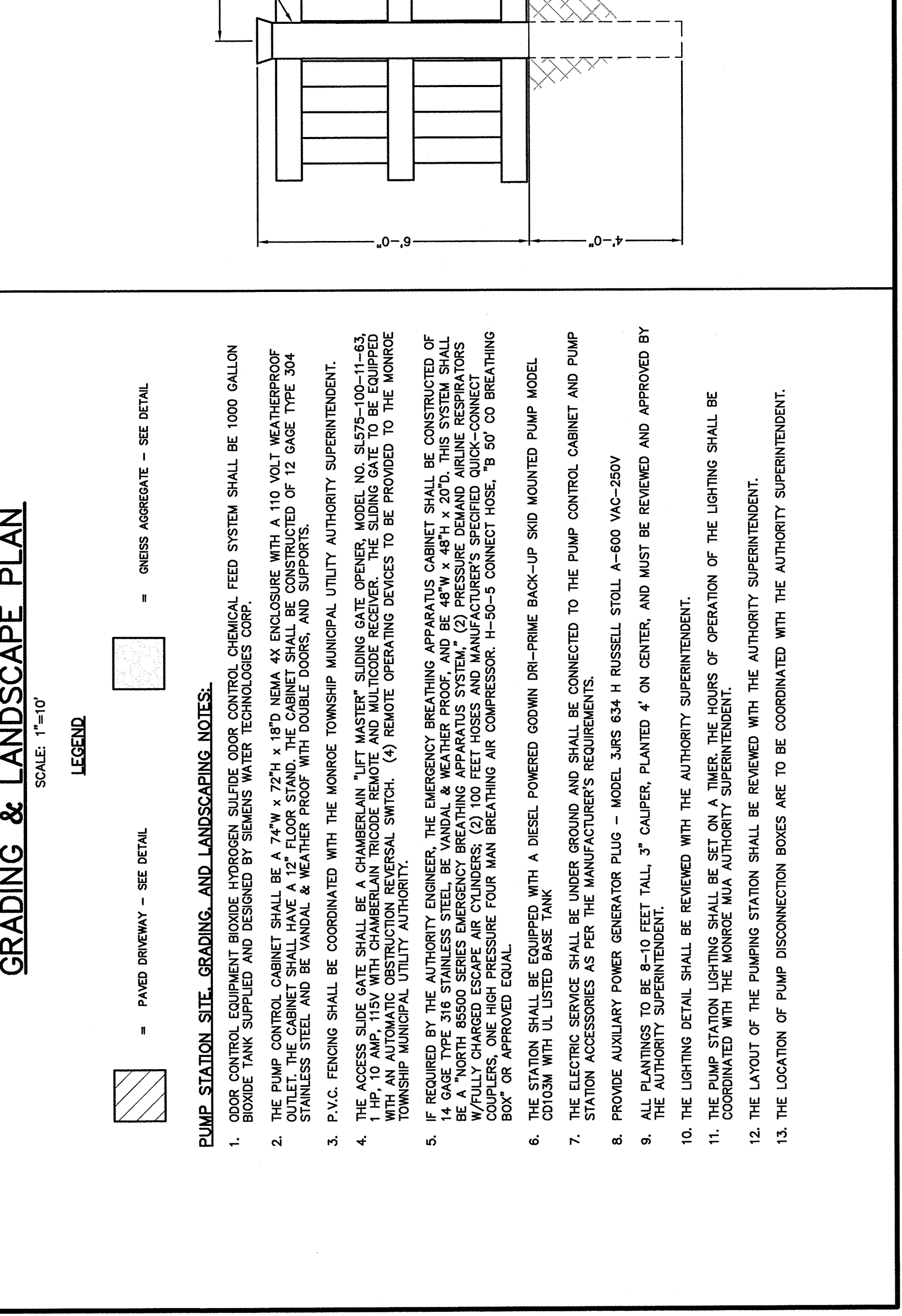
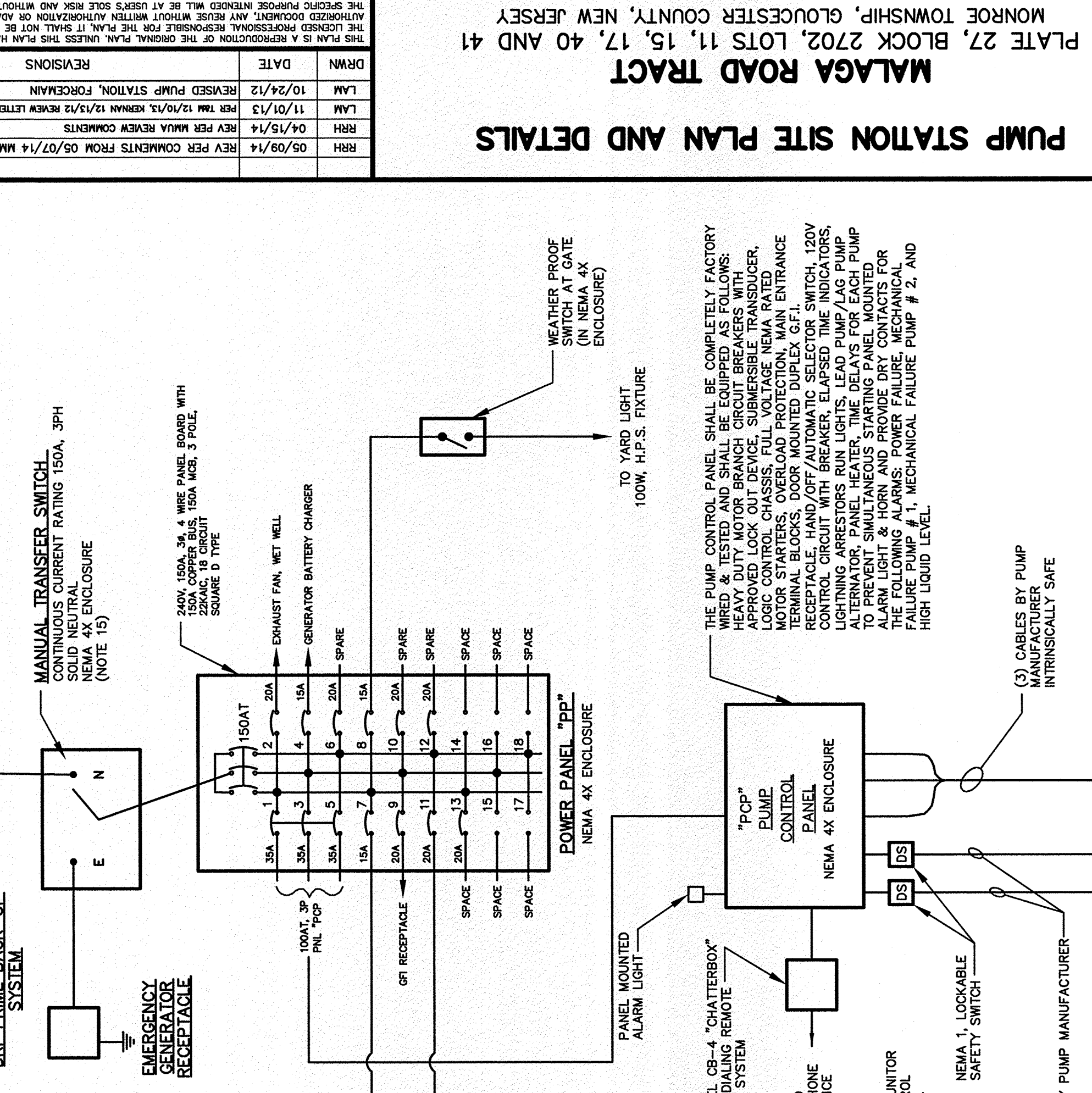
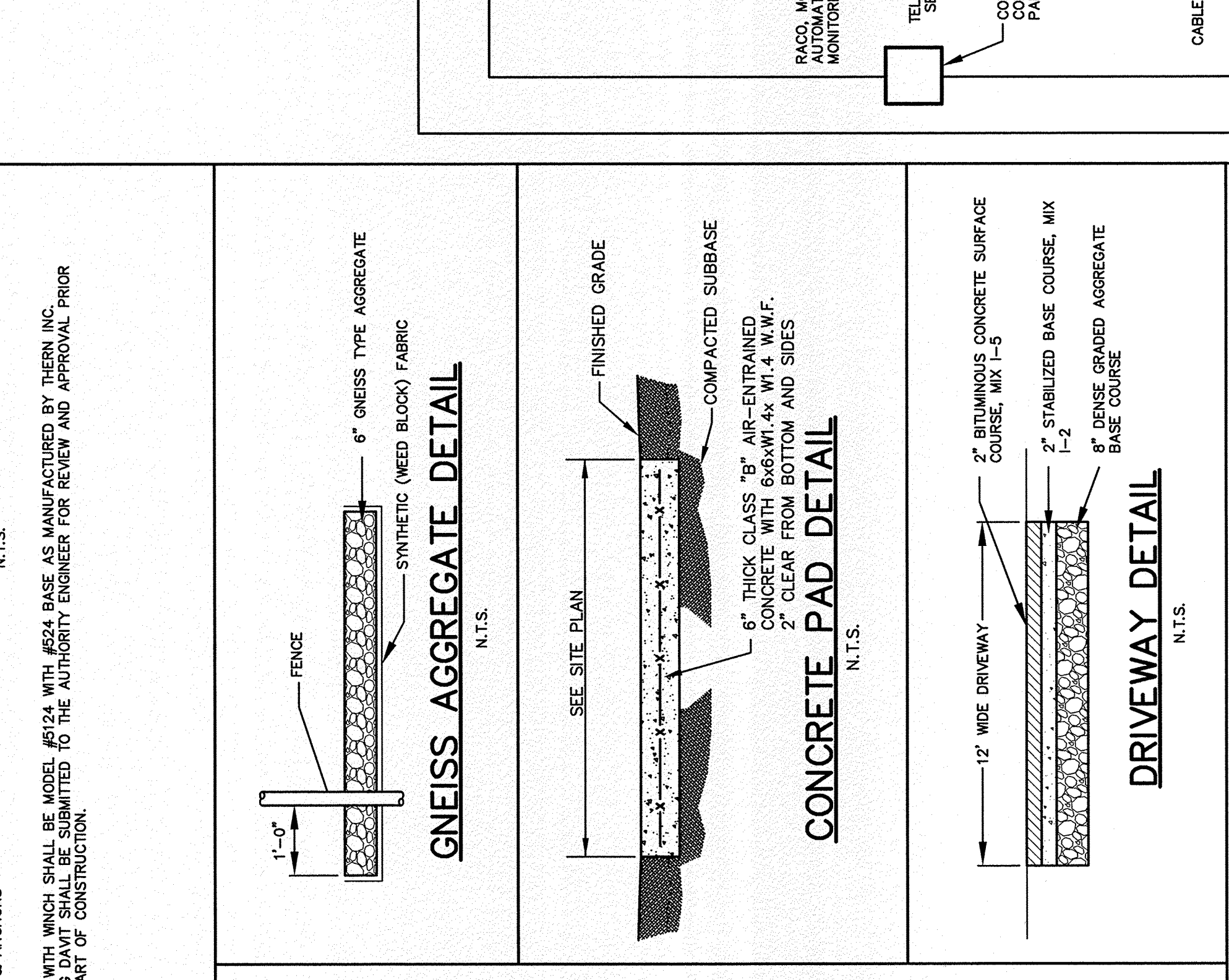
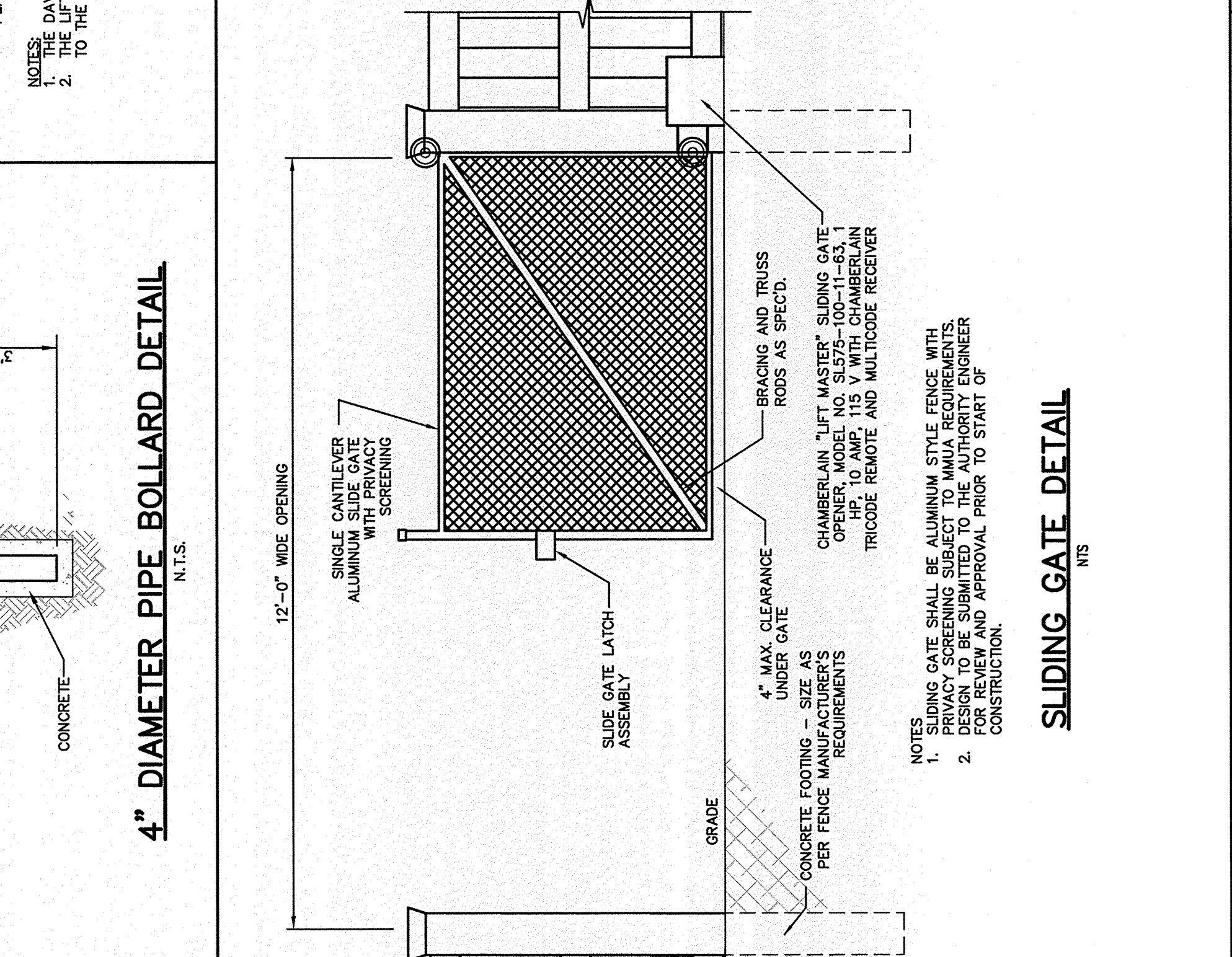
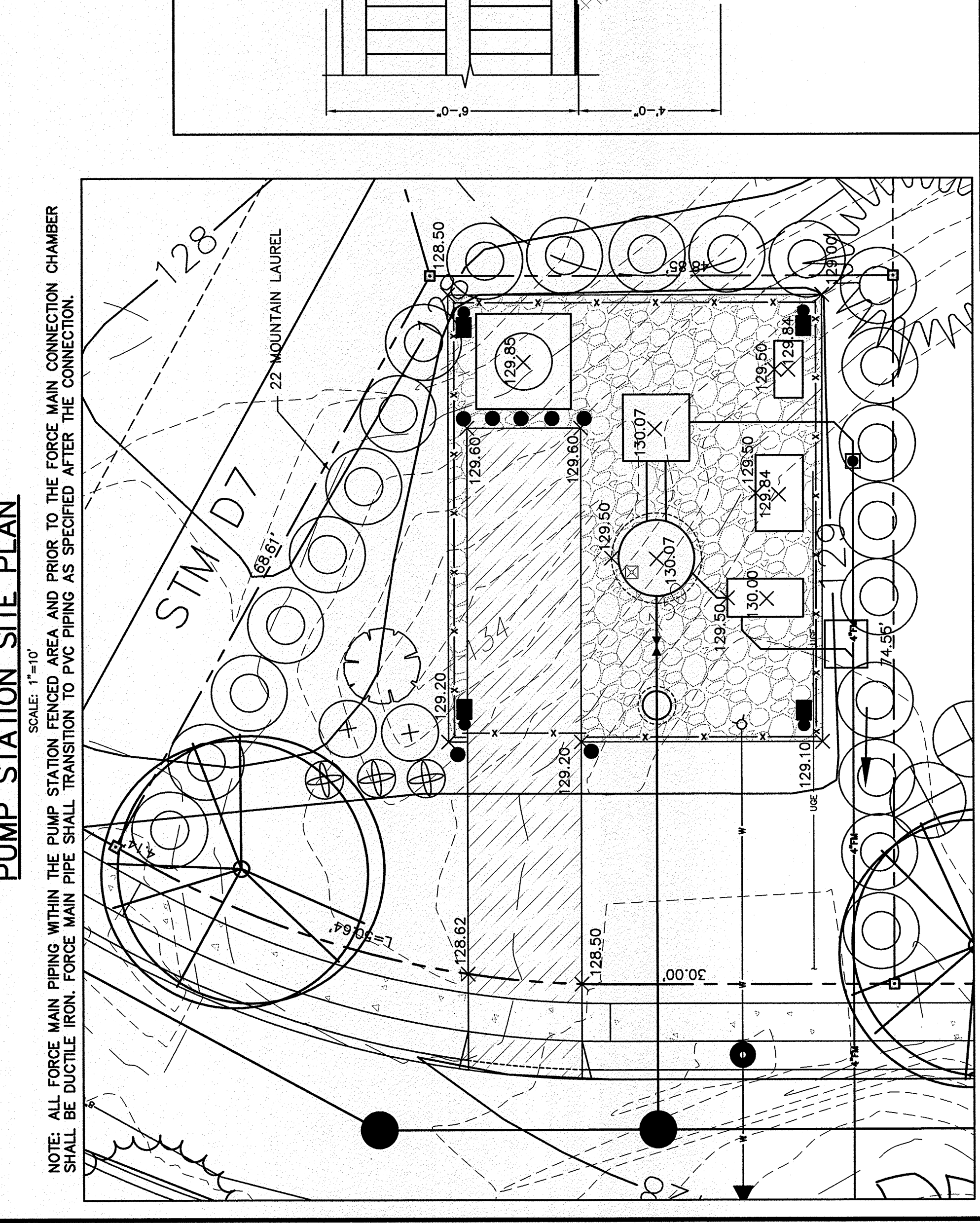
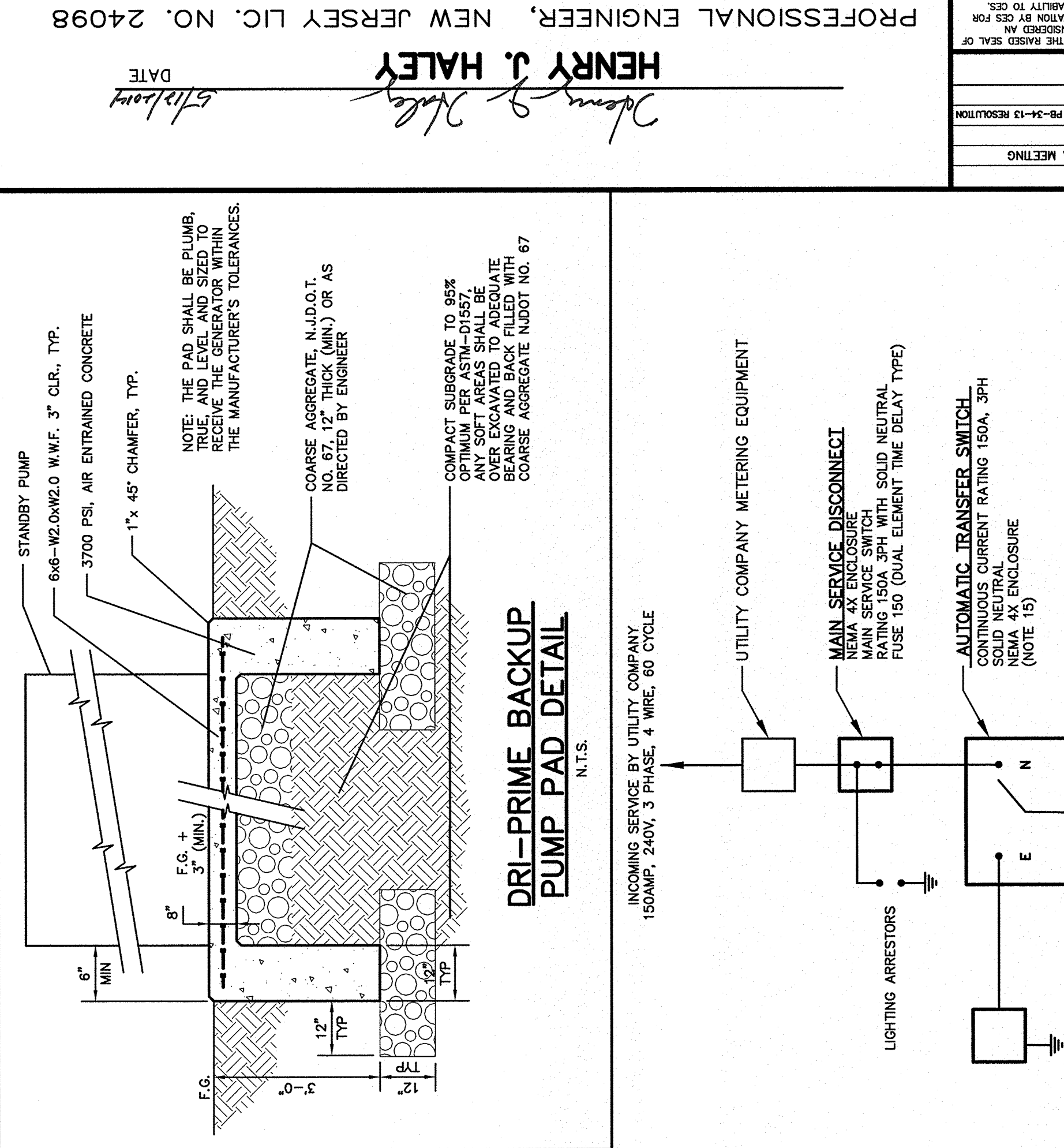
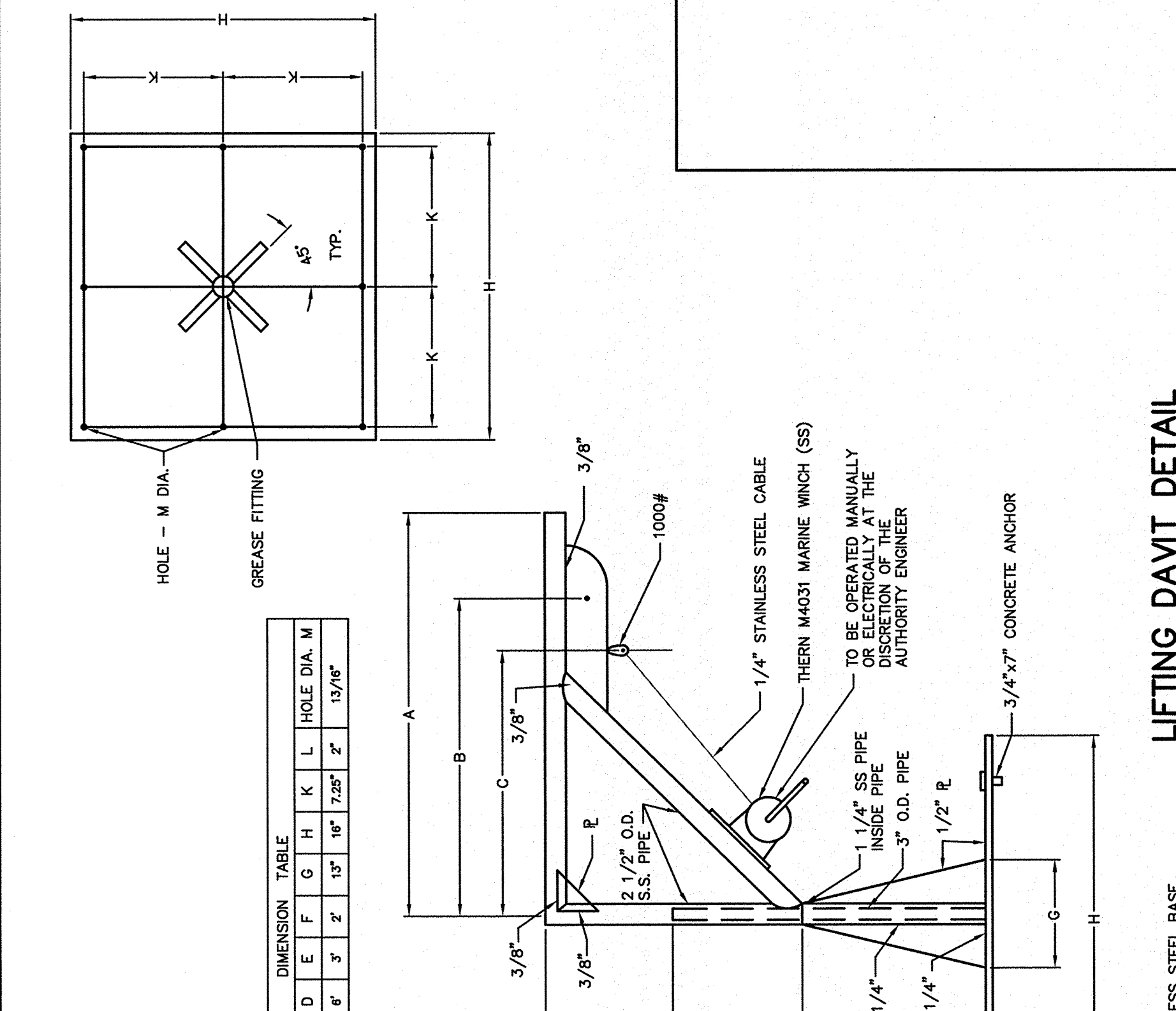
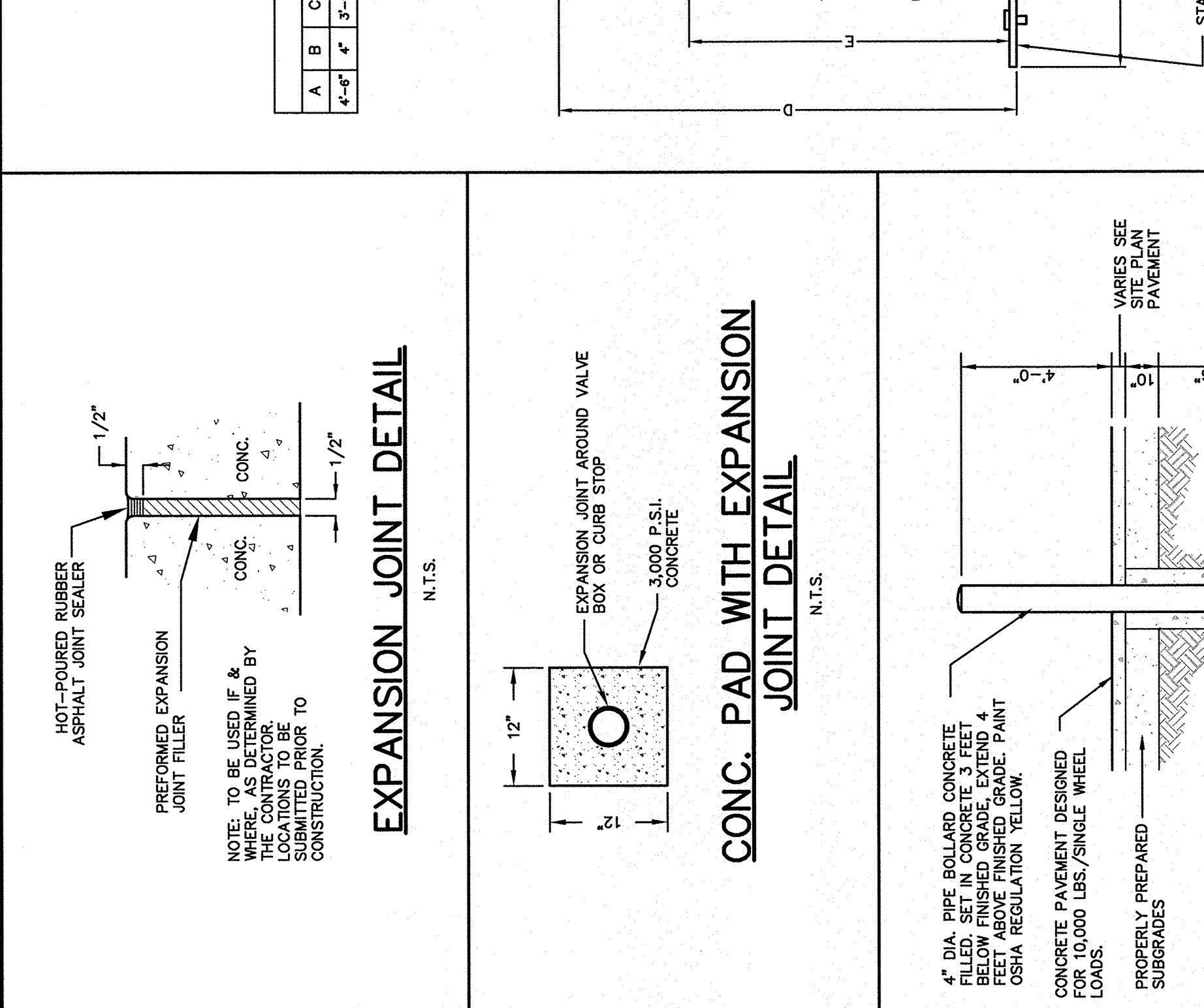
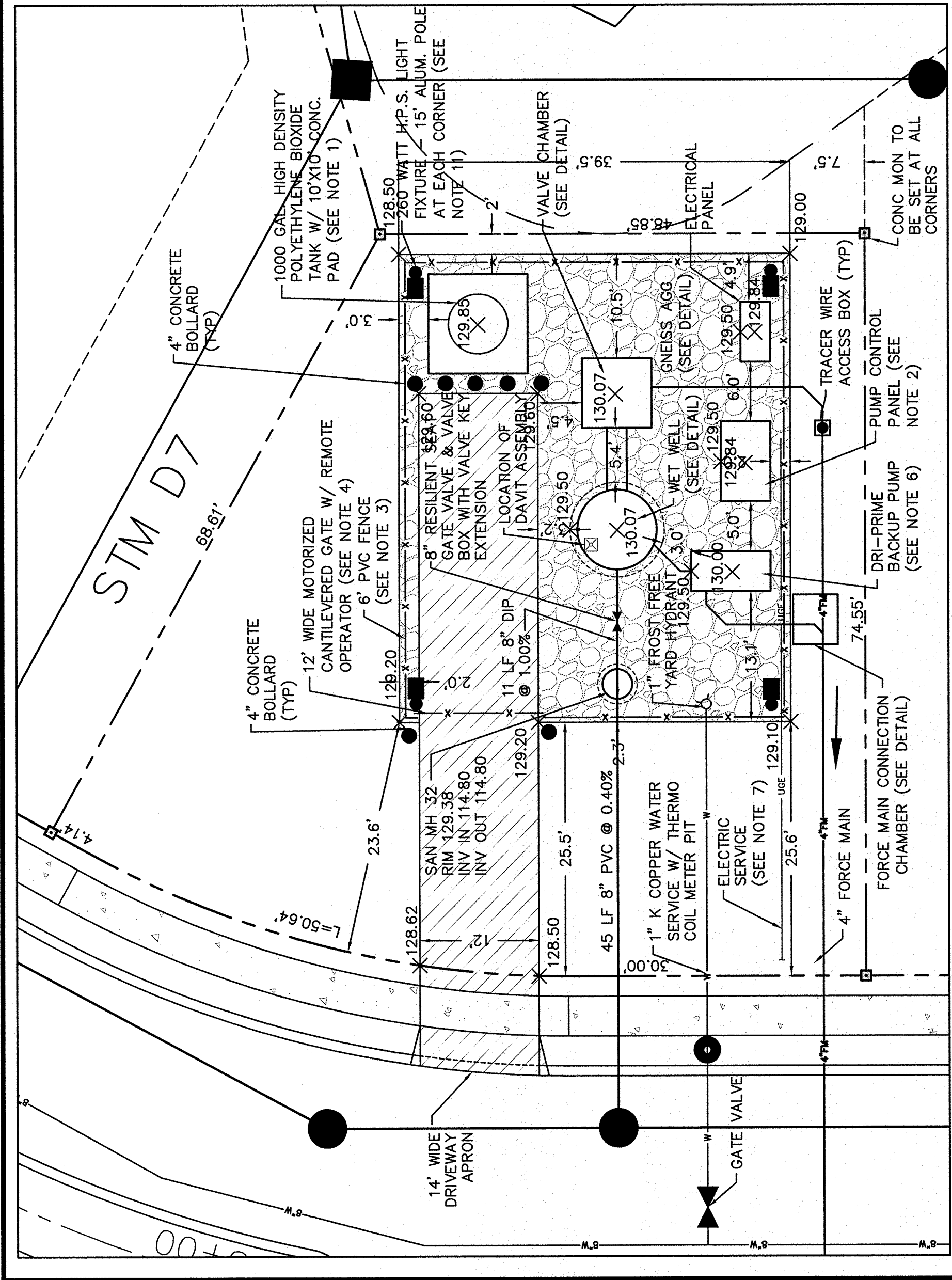
DATE	REVISIONS
10/24/12	LHM
11/17/13	LHM
04/15/14	RHR

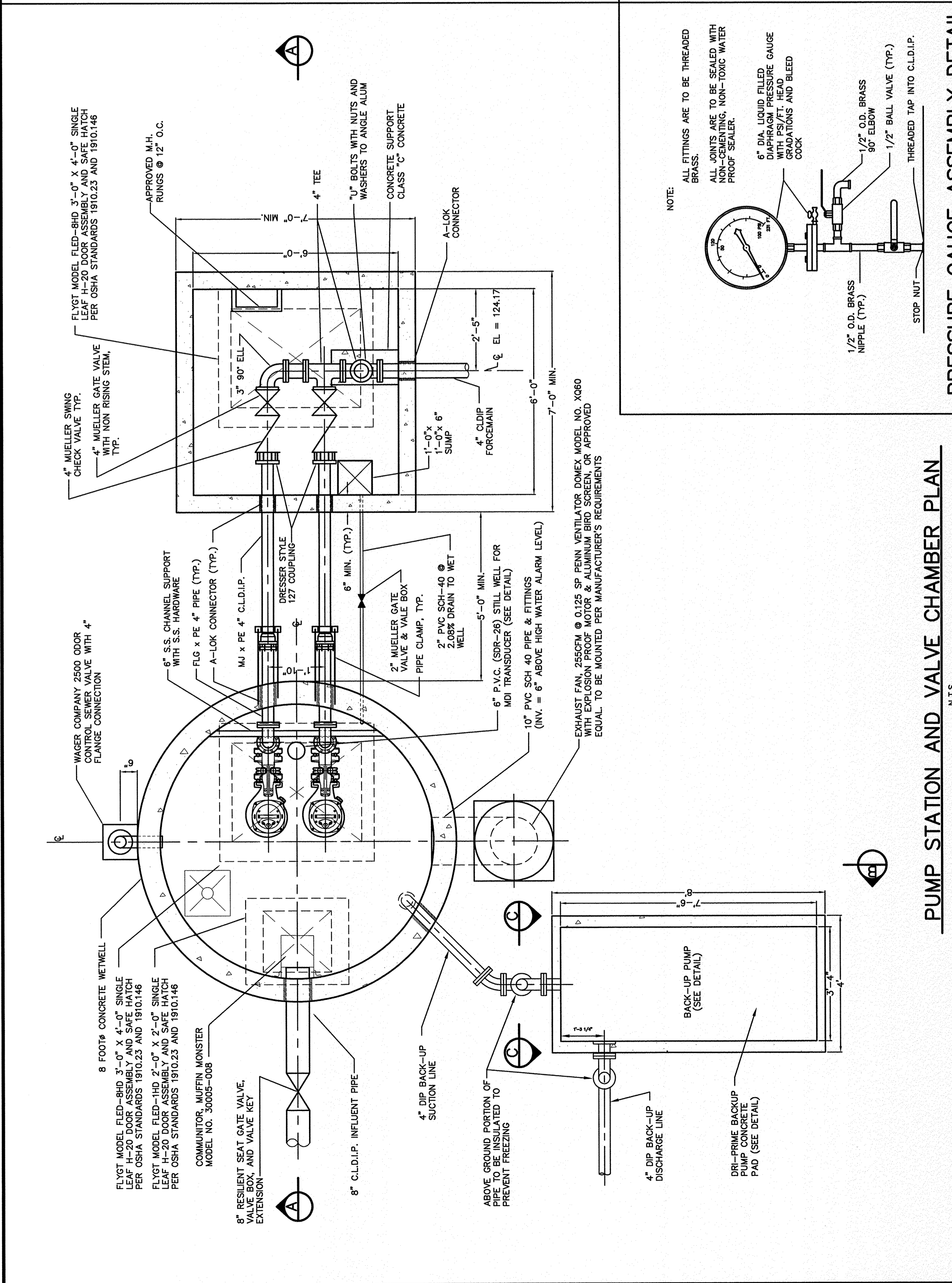




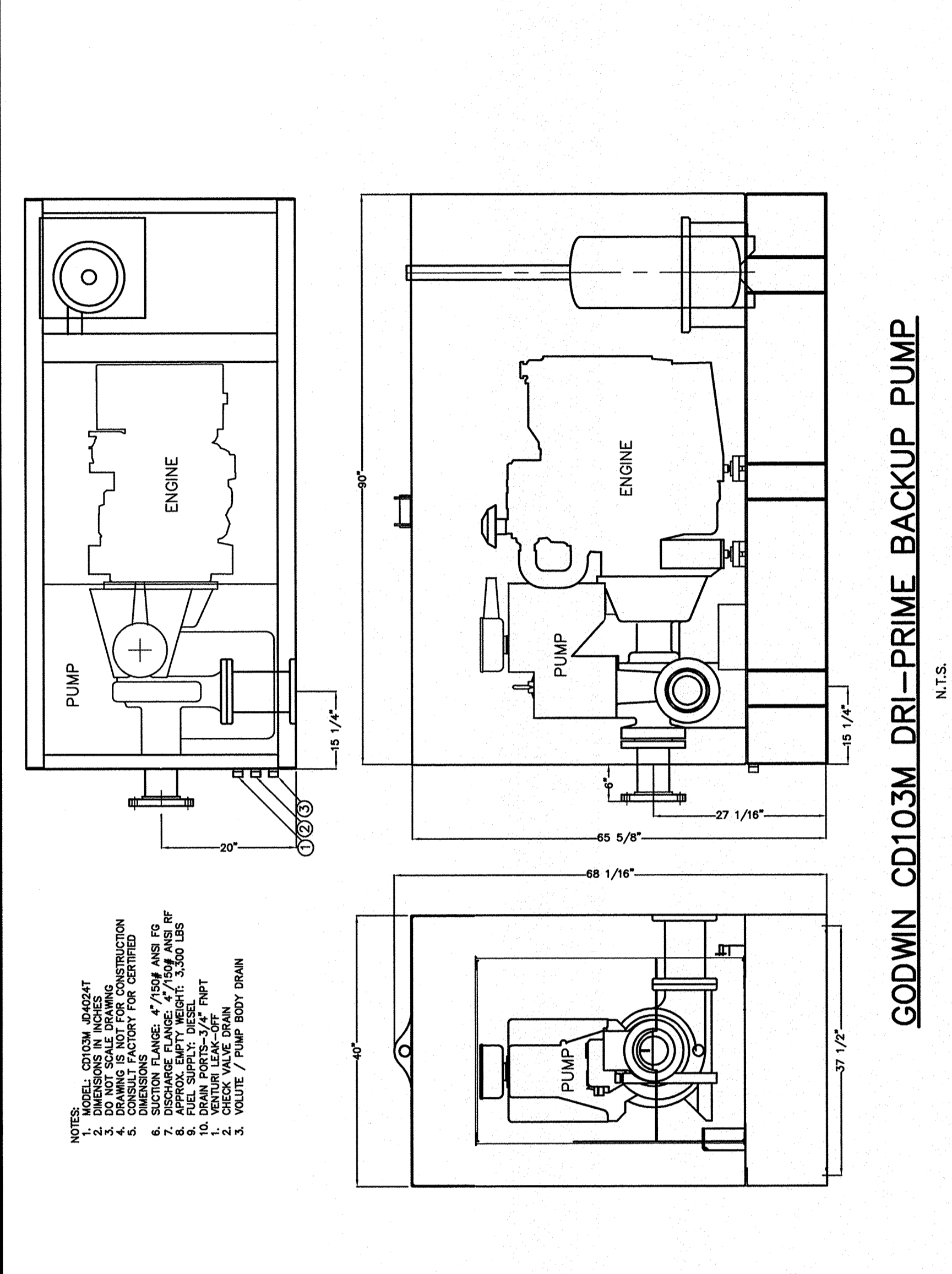
SAINTARY SEWER & WATER DETAILS
 MALAGA ROAD TRACT
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41

PREPARED BY
 CONSULTING ENGINEERS SERVICES
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 PREPARED FOR
 MALAGA ROAD TRACT
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY
 DATE: 02/02/2012 SCALE: AS NOTED CES No. 2872 FILE No. 2812.0703 DRAWN BY: LAM





PUMP STATION AND VALVE CHAMBER SECTION A-A



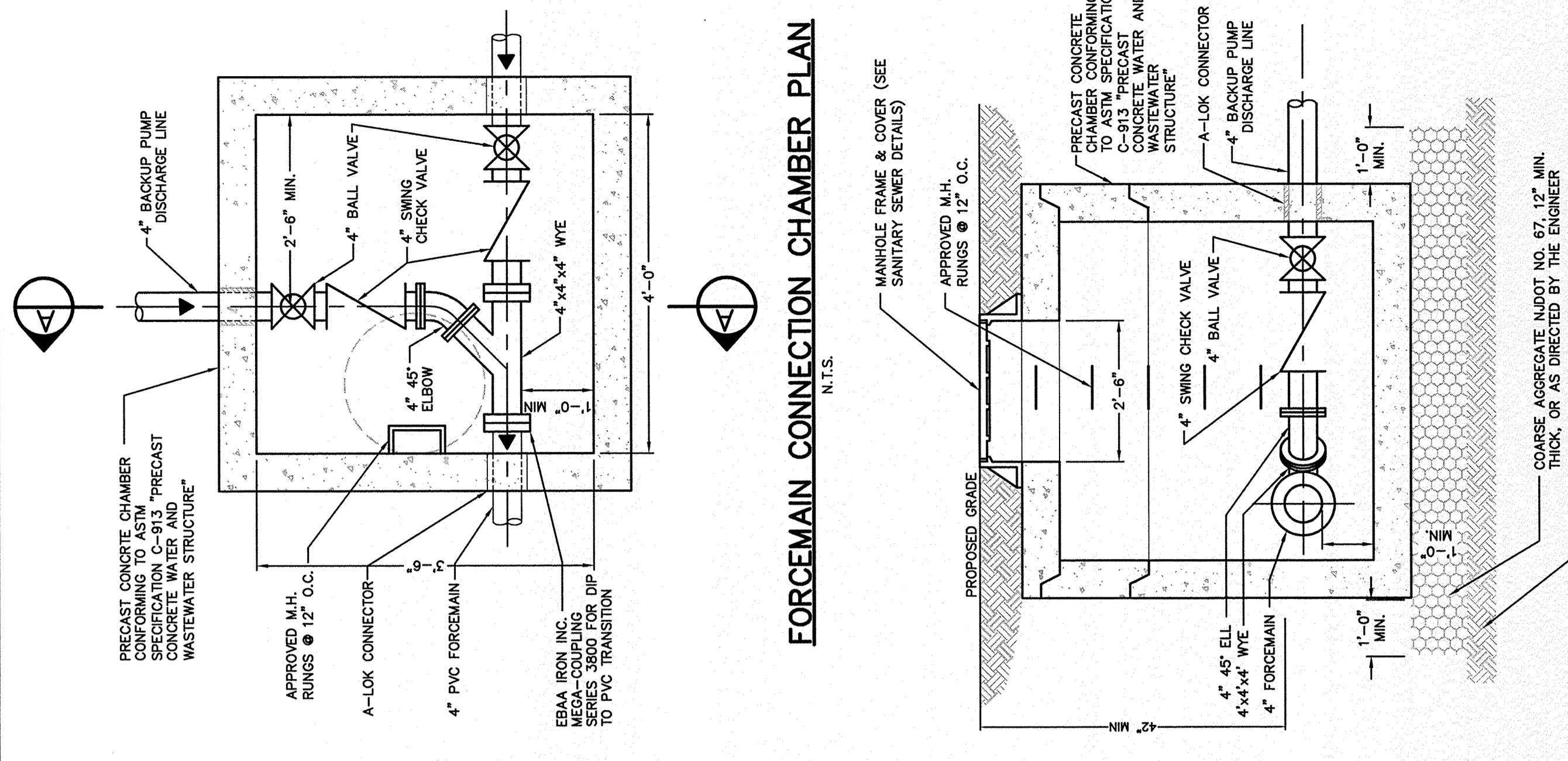
GODWIN_CD103M DRI-PRIME BACKUP PUMP

PUMP STATION NOTES:

- SUBMERSIBLE PUMPS AND MOTORS SHALL BE COMPLETELY SUBMERGED AT ALL TIMES.
- THE LEAD PUMP SELECTION SHALL ALTERNATE WITH EACH PUMPING CYCLE SO AS TO DISBURSE EVEN PUMP WEAR.
- THE PUMP CONTROL SYSTEM SHALL BE AN INVERTED SINK WITH A STAINLESS STEEL TRANSDUCER, MANUFACTURED BY MADRIVA, (INDY, PITTSFIELD, MA, OR APPROVED EQUAL). EACH PUMP SHALL BE FURNISHED WITH ONE COMPLETE KIT FLYGT-LIFT SYSTEM, OR APPROVED EQUAL. THE SYSTEM SHALL CONSIST OF 10 METERS NYLON LINE & A SHORT LENGTH OF 1/2\"/>
- THE PUMP CONTROL SYSTEM SHALL BE MANUFACTURED BY MADRIVA, (INDY, PITTSFIELD, MA, OR APPROVED EQUAL). THE SYSTEM SHALL BE APPROPRIATELY SIZED FOR THE WEIGHT OF THE PUMP TO BE LIFTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE ALARM SYSTEM SHALL BE RACS, MODEL 624, "DATA TRACK" AUTOMATIC DRAINAGE MONITORING SYSTEM OR APPROVED EQUAL. TO GIVE WARNING OF HIGH WATER, POWER FAILURE, MECHANICAL FAILURE AND LOW WATER LEVEL. THE SYSTEM SHALL TRANSMIT TO A LOCATION DETERMINED BY THE AUTHORITY SUPERINTENDING.
- THE INFLEUNT PIPE SHALL BE DUCTILE IRON PIPE FROM THE NEAREST STRUCTURE TO THE WELL TO AVOID DEFLECTION IN THE AREA OF THE WELL EXCAVATION.
- THE HATCHES FOR THE WELL AND VALVE PIT SHALL BE DESIGNED FOR H-20 LIVE LOADING.
- PERKS TO CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A PLAN INDICATING LOCATIONS FOR ALL APPLICABLE EXPANSION AND CONTRACTION JOINT LOCATIONS FOR ALL CONCRETE PARTS.
- CONTRACTOR SHALL FINISH AND INSTALL CONDUIT SEALING FITTINGS FOR CLASS 1, DIV 1, GROUP D HAZARDOUS LOCATIONS IN ACCORDANCE WITH THE NEC. SEALING FITTINGS SHALL BE MANUFACTURED BY CROUSE-HINDS, CAT #175, OR EQUAL, FILLED WITH AN APPROVED SEALING COMPOUND.
- ALL EXTERIOR ELECTRICAL ENCLOSURES AND BOXES SHALL BE NEMA 4X RATED STAINLESS STEEL WITH PADLOCKS OR RECESSED DOOR LOCKS TO PREVENT VANDALISM.
- THE PUMP STATION SHALL BE EQUIPPED WITH AN AUTOMATIC PUMP CLEANER SYSTEM, MODEL APT-CLEANER, MANUFACTURED BY FLYGT A XTLEM BRAND, THE APT-CLEANER SHALL BE INSTALLED INTO THE PUMPING STATION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND MONROE MIA REQUIREMENTS.
- THE PUMP STATION SHALL BE EQUIPPED WITH A COMMUNICATOR, "MUFFIN MONSTER" MODEL 3000S-008 MANUFACTURED BY JWC ENVIRONMENTAL. THE COMMUNICATOR SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- THE PUMP STATION SHALL BE EQUIPPED WITH A SEPARATE BALL COCK UP SYSTEM AT ALL REQUIRED LEVELS. THE PRESSURE TRANSDUCER SHALL BE THE PRIMARY SYSTEM WITH PURPOSED SELECTOR SWITCH. THIS SWITCH SHALL BE CAPABLE OF TERMINATING POWER FROM THE PRIMARY SYSTEM TO THE BACK UP SYSTEM FOR REMOVAL FOR MAINTENANCE.
- THE PUMP STATION SHALL CONFORM WITH ALL THE STANDARDS SET FORTH BY THE MAJLJA, RULES AND REGULATIONS.
- ALL MOUNTING, SUPPORTS, AND GROMMETS FOR CABLES WITHIN THE PUMP STATION SHALL BE STAINLESS STEEL UNLESS OTHERWISE NOTED.

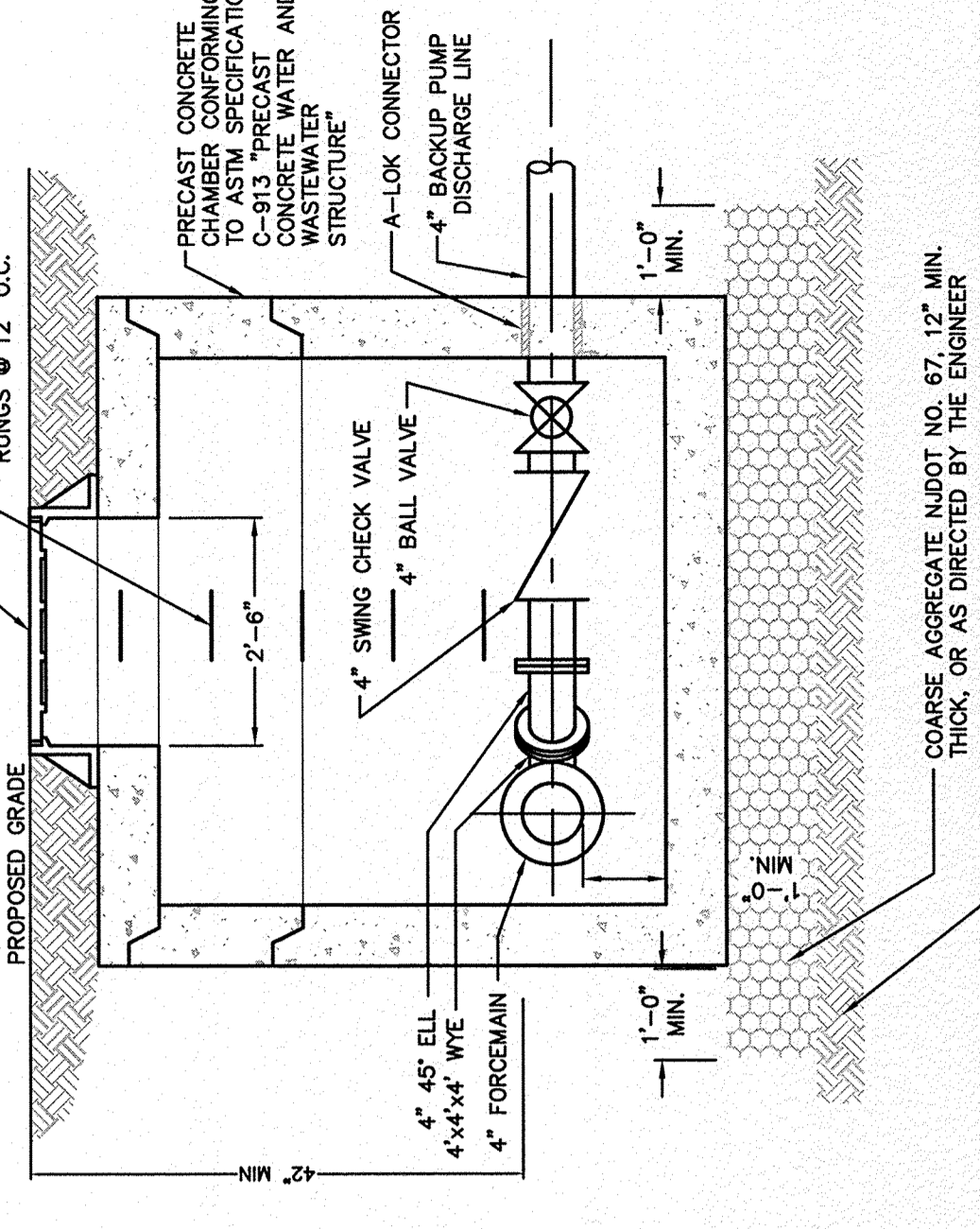
PRESSURE GAUGE ASSEMBLY DETAIL

N.T.S.



FORCEMAIN CONNECTION CHAMBER PLAN

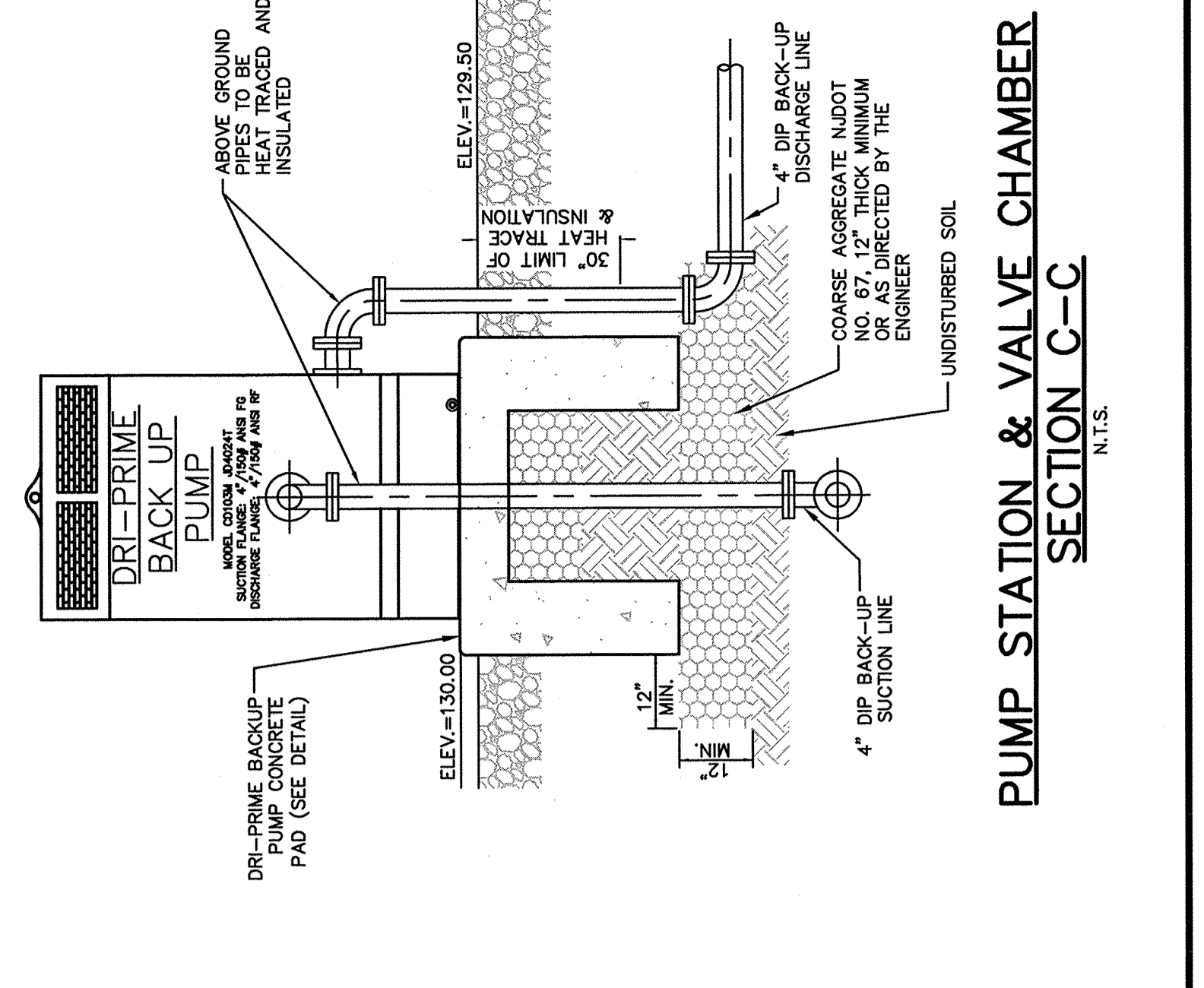
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FORCEMAIN CONNECTION CHAMBER SECTION A-A

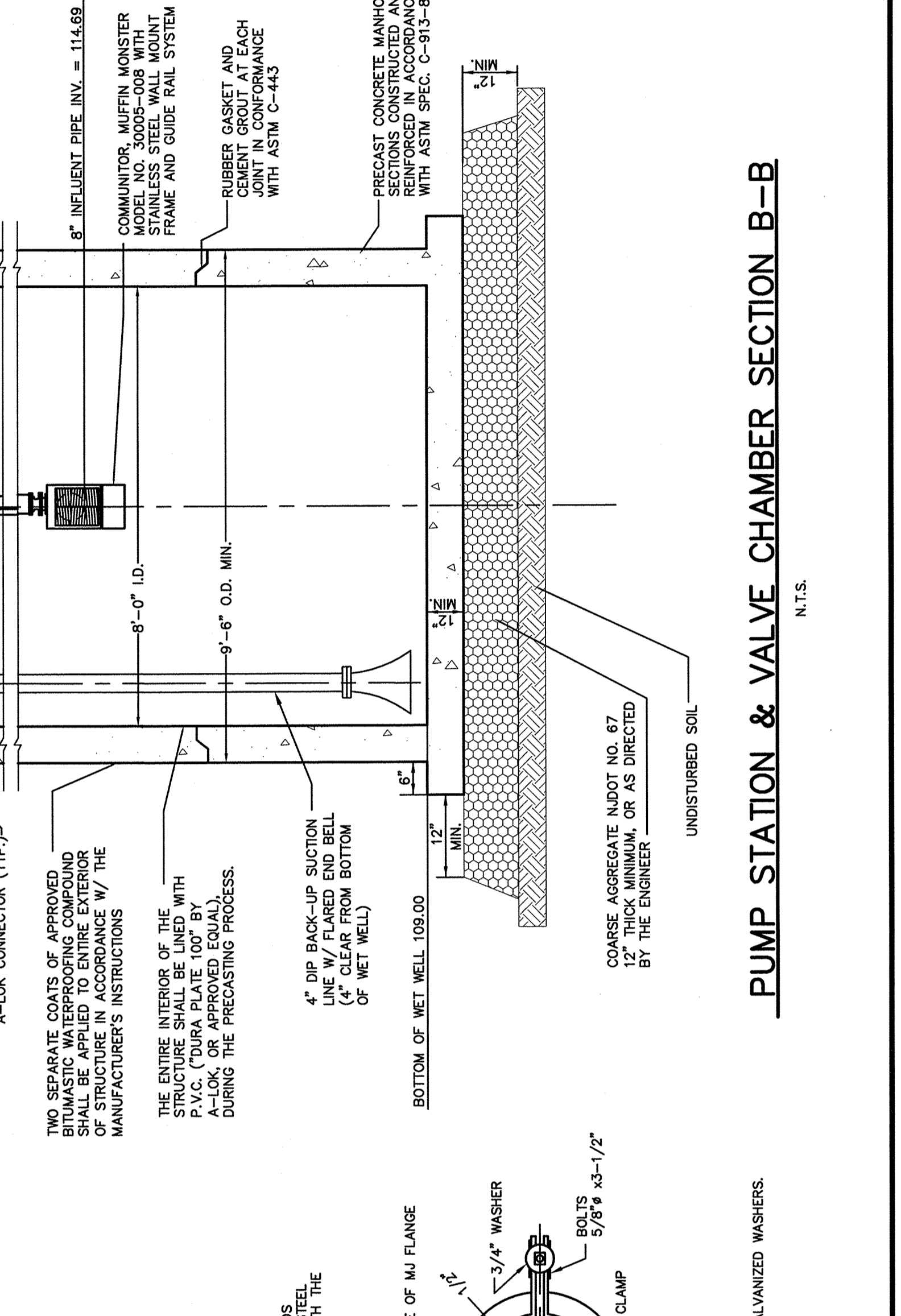
N.T.S.

PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41
MALAGA ROAD TRACT
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY



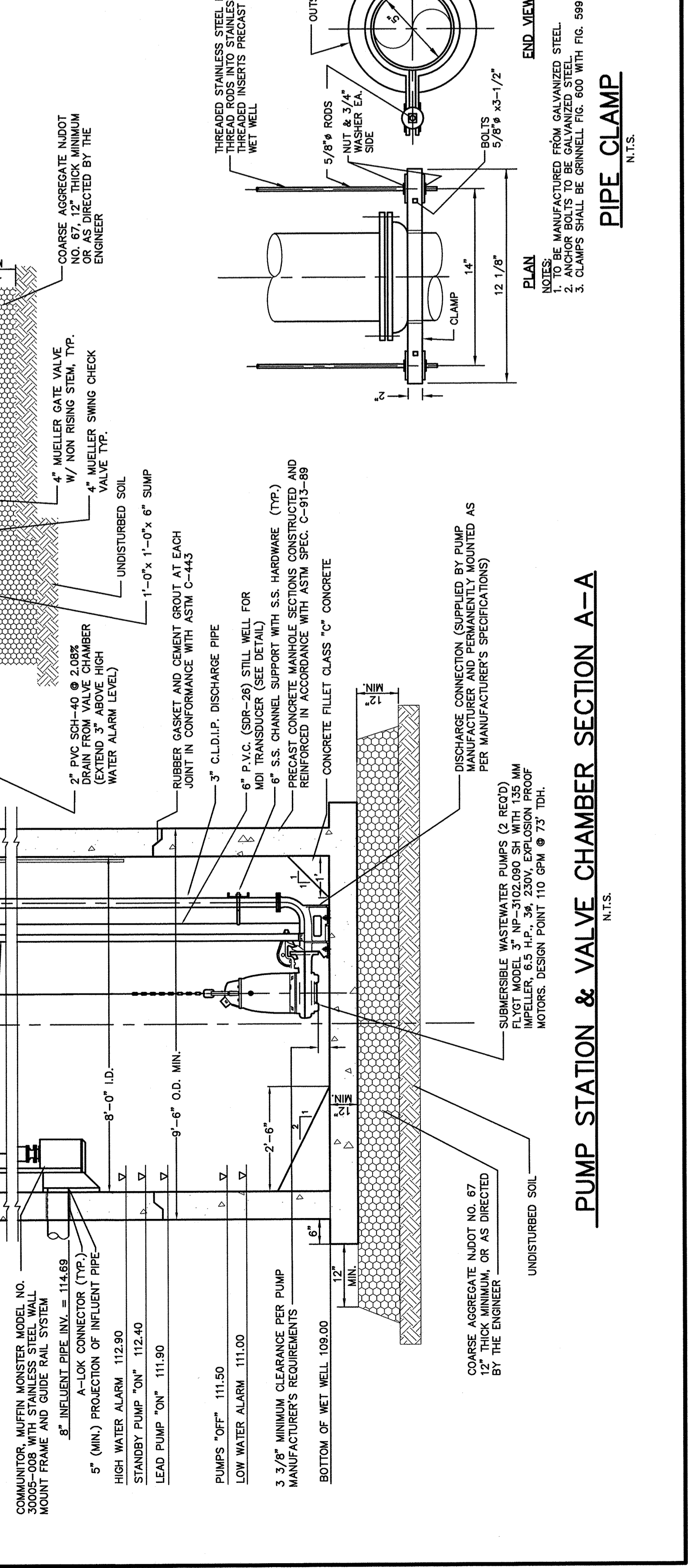
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N.T.S.



PUMP STATION & VALVE CHAMBER SECTION B-B

N.T.S.



PUMP STATION & VALVE CHAMBER SECTION A-A

N.T.S.

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
DATE

DRWN	DATE	REVISIONS
RMH	10/24/12	REVISION PUMP STATION FORCEMAIN
LJM	11/01/13	REV PER MVA REVIEW COMMENTS
RMH	04/15/14	REV PER MVA REVIEW COMMENTS
RMH	05/09/14	REV PER COMMENTS FROM 05/07/14 MVA MEETING

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645 BERLIN-CROSS KEYS ROAD, SUITE 11, SICKLEVILLE, NEW JERSEY 08081
PHONE (954) 228-2200 FAX (954) 228-2346
E-MAIL: geoff@practical-engineers.com

DATE: 02/02/12 SCALE: AS NOTED FILE NO.: 2912-0591
DRAWN BY: RMH

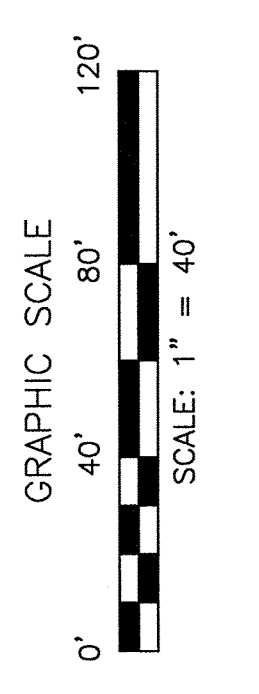


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 N.J. CERTIFICATE OF AUTHORIZATION NO. 2463497700
 FILE NO. 2912, SC501 DRAWN BY: LAM

SOIL EROSION AND SEDIMENT CONTROL PLAN
SHEET A
MALAGA ROAD TRACT
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41

DATE	REVISIONS
12/05/14	ISSUED FOR FINAL SUBMISSION
02/26/14	PER PERMANENT REVIEW LETTER #1-213 REVISION
11/07/13	PER PERMANENT REVIEW LETTER #1-213 REVISION
10/24/12	ADDED SHEETS TO SET
05/14/12	PER PERMANENT REVIEW LETTER #1-213 REVISION
03/14/12	PER PERMANENT REVIEW LETTER #1-213 REVISION

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
 DATE: 12/8/2014



LEGEND

---	PROPERTY OUTBOUND
---	EXISTING RIGHT OF WAY
---	PROPOSED RIGHT OF WAY
---	EXISTING CENTERLINE
---	PROPOSED CENTERLINE
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	EXISTING TRENCH
---	PROPOSED TRENCH
---	EXISTING CURB
---	PROPOSED CURB
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
---	EXISTING FENCE
---	PROPOSED FENCE
---	EXISTING CONTOUR 1' INTERVAL
---	PROPOSED CONTOUR 1' INTERVAL
---	EXISTING CONTOUR 5' INTERVAL
---	PROPOSED CONTOUR 5' INTERVAL
---	PROPOSED FINISHED FLOOR ELEVATION
---	PROPOSED SPOT ELEVATION
---	PROPOSED TOP OF CURB ELEVATION
---	PROPOSED BOTTOM OF CURB ELEVATION
---	EXISTING STORM SEWER AND INLET
---	PROPOSED STORM SEWER AND INLET
---	EXISTING STORM SEWER AND MANHOLE
---	PROPOSED STORM SEWER AND MANHOLE
---	LIMIT OF DISTURBANCE
---	SILT FENCE
---	REINFORCED SILT FENCE
---	SNOW FENCE
---	INLET FILTER PROTECTION
---	MATCHLINE





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 08083
 N.J. CERTIFICATE OF AUTHORIZATION NO. 24642987700
 08083
 DRAWN BY: LAM

SOIL EROSION AND SEDIMENT CONTROL PLAN
SHEET B
 MALAGA ROAD TRACT
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

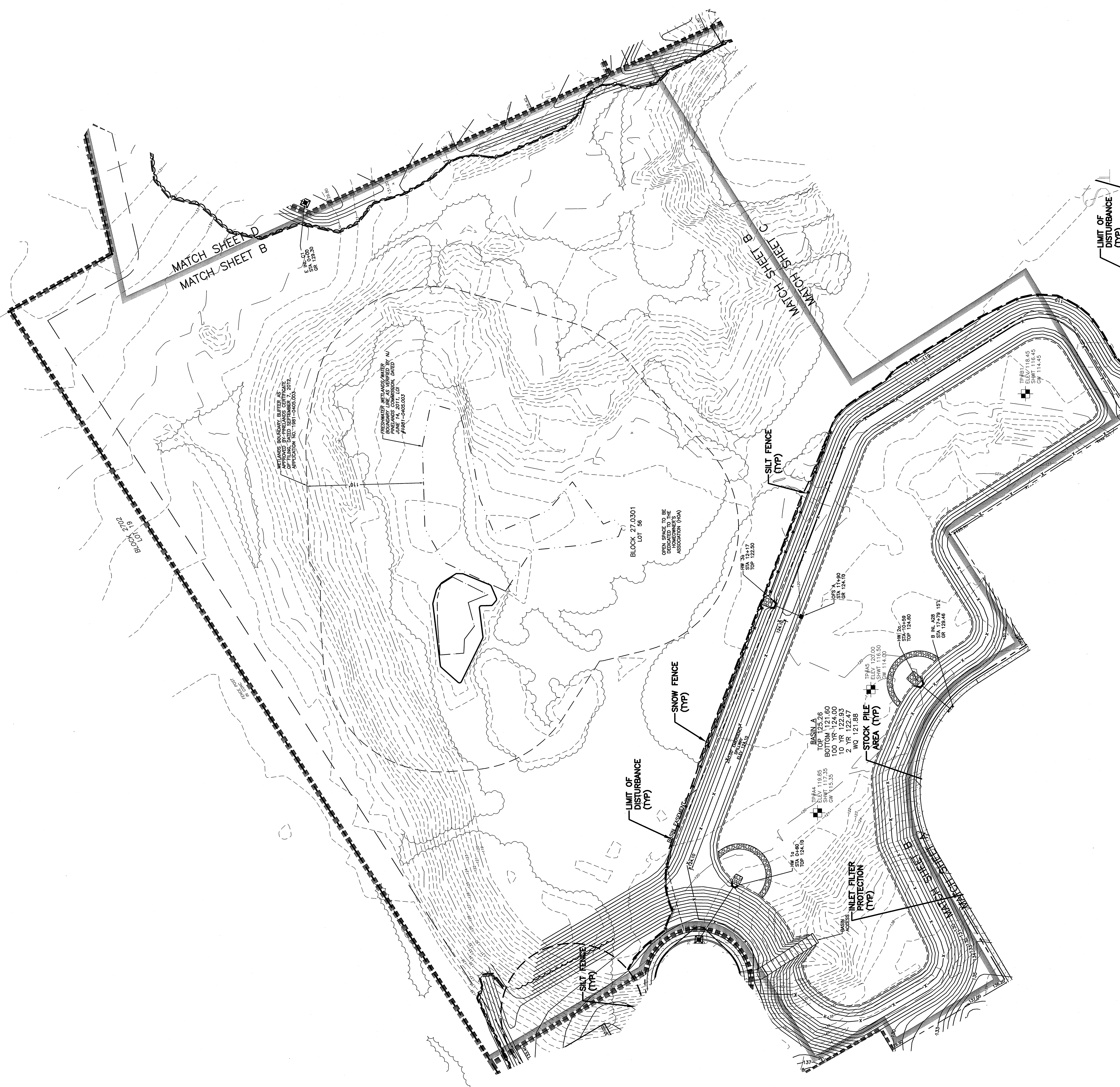
DATE	DESCRIPTION
12/05/14	ISSUED FOR FINAL SUBMISSION
02/26/14	PER KERNAN REVIEW LETTER 01/28/14
11/07/13	PER N.J. DEPT. OF ENVIRONMENTAL PROTECTION LETTER 10/21/13
10/24/12	ADDED SHEETS TO SET
09/17/12	PER PHILADELPHIA REVIEW LTR DATED MARCH 29 & 30, 2012

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
 DATE: 12/16/14



LEGEND

[Symbol]	PROPERTY OUTBOUND
[Symbol]	EXISTING RIGHT OF WAY
[Symbol]	PROPOSED RIGHT OF WAY
[Symbol]	EXISTING CENTERLINE
[Symbol]	PROPOSED CENTERLINE
[Symbol]	EXISTING LOT LINE
[Symbol]	PROPOSED LOT LINE
[Symbol]	EXISTING METLANDS BOUNDARY LINE
[Symbol]	PROPOSED METLANDS BOUNDARY LINE
[Symbol]	FRESHWATER/METLANDS TRANSITION
[Symbol]	EXISTING TIE LINE
[Symbol]	PROPOSED TIE LINE
[Symbol]	EXISTING CURB
[Symbol]	PROPOSED CURB
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	PROPOSED EDGE OF PAVEMENT
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING CONTOUR 1' INTERVAL
[Symbol]	PROPOSED CONTOUR 1' INTERVAL
[Symbol]	EXISTING CONTOUR 5' INTERVAL
[Symbol]	PROPOSED CONTOUR 5' INTERVAL
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED TOP OF CURB ELEVATION
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[Symbol]	EXISTING STORM SEWER AND MANHOLE
[Symbol]	PROPOSED STORM SEWER & INLET
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[Symbol]	SILT FENCE
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[Symbol]	INLET FILTER PROTECTION
[Symbol]	MATCHLINE



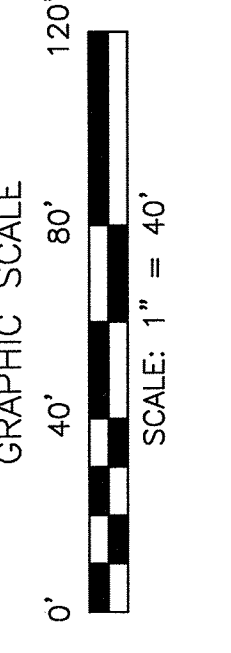


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 N.J. CERTIFICATE OF AUTHORIZATION NO. 24647927700

SOIL EROSION AND SEDIMENT CONTROL PLAN
SHEET C
 MALAGA ROAD TRACT
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41

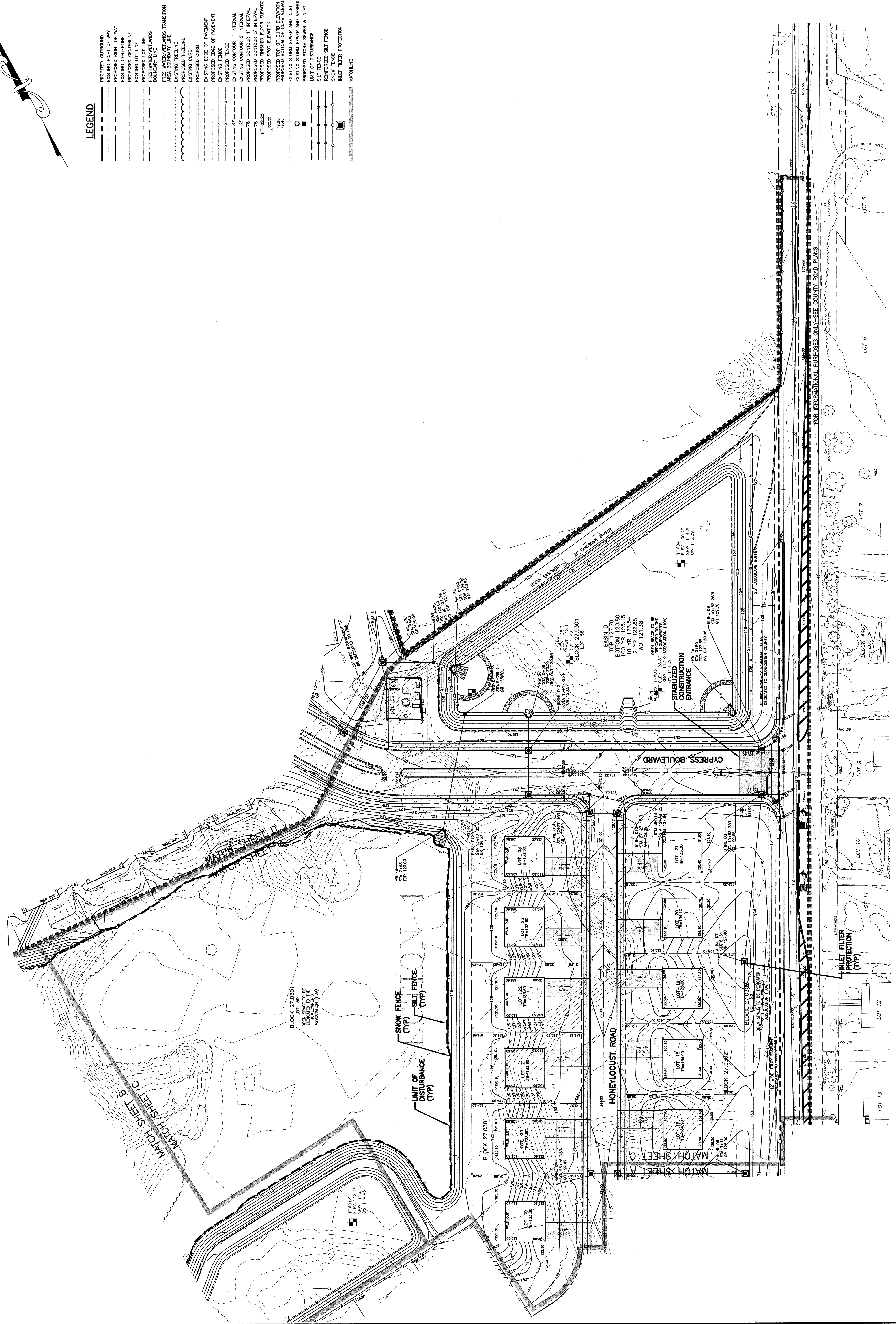
DATE	REVISIONS
12/29/14	ISSUED FOR FINAL SUBMISSION
02/26/14	PER KERMAN REVIEW LETTER DATED 01/29/14
11/01/13	PER TPA 13/13/13 PERMITS 13/13/13 PERMITS 13/13/13
10/24/12	ADDED ISLANDS OPENING ON RD A AT PS
05/14/12	PER PLANING REVIEW LTR DATED MARCH 28 & 30, 2012

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
 DATE: 12/18/2014



LEGEND

[Symbol]	PROPERTY OUTBOUND
[Symbol]	EXISTING RIGHT OF WAY
[Symbol]	PROPOSED RIGHT OF WAY
[Symbol]	EXISTING CENTERLINE
[Symbol]	PROPOSED CENTERLINE
[Symbol]	EXISTING LOT LINE
[Symbol]	PROPOSED LOT LINE
[Symbol]	FRESHWATER/WETLANDS BOUNDARY LINE
[Symbol]	FRESHWATER/WETLANDS TRANSITION BOUNDARY LINE
[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED TREELINE
[Symbol]	EXISTING CURB
[Symbol]	PROPOSED CURB
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	PROPOSED EDGE OF PAVEMENT
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING CONTOUR 1' INTERVAL
[Symbol]	EXISTING CONTOUR 5' INTERVAL
[Symbol]	EXISTING CONTOUR 10' INTERVAL
[Symbol]	PROPOSED CONTOUR 1' INTERVAL
[Symbol]	PROPOSED CONTOUR 5' INTERVAL
[Symbol]	PROPOSED CONTOUR 10' INTERVAL
[Symbol]	PROPOSED FINISHED FLOOR ELEVATION
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED TOP OF CURB ELEVATION
[Symbol]	PROPOSED BOTTOM OF CURB ELEVATION
[Symbol]	EXISTING STORM SEWER AND MANHOLE
[Symbol]	PROPOSED STORM SEWER & INLET
[Symbol]	PROPOSED STORM SEWER & INLET
[Symbol]	PROPOSED SILT FENCE
[Symbol]	REINFORCED SILT FENCE
[Symbol]	SNOW FENCE
[Symbol]	INLET FILTER PROTECTION
[Symbol]	MATCHLINE





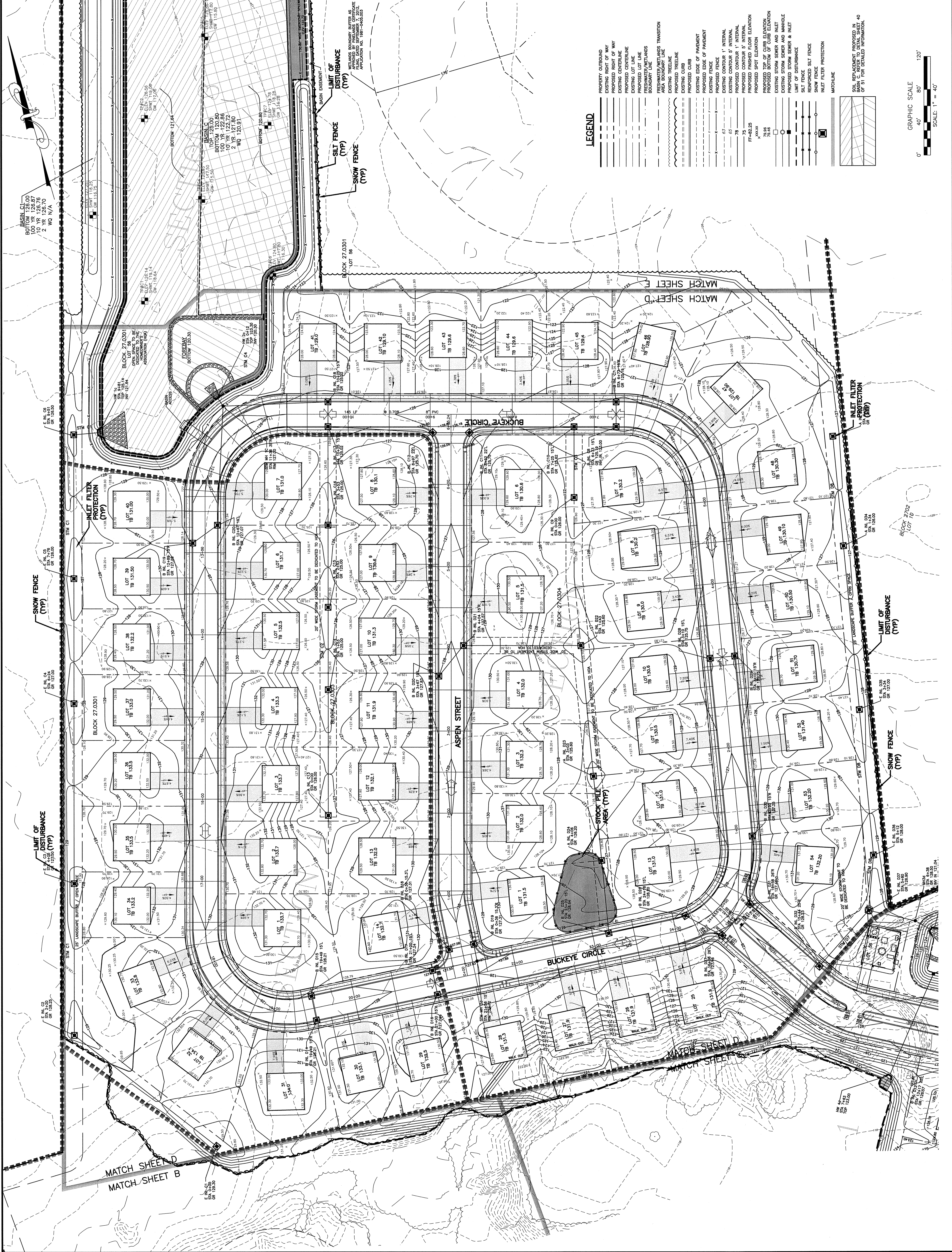
PREPARED BY
 CONSULTING ENGINEERS SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BRUNN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
 PHONE (866) 228-2200 - FAX (866) 232-2346 - EMAIL design@ces-1.com
 N.J. CERTIFICATE OF AUTHORIZATION NO. 246297700
 FILE NO. 2912.SCS01 DRAWING BY: LAM

SOIL EROSION AND SEDIMENT CONTROL PLAN
SHEET D
MALAGA ROAD TRACT
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

REVISIONS

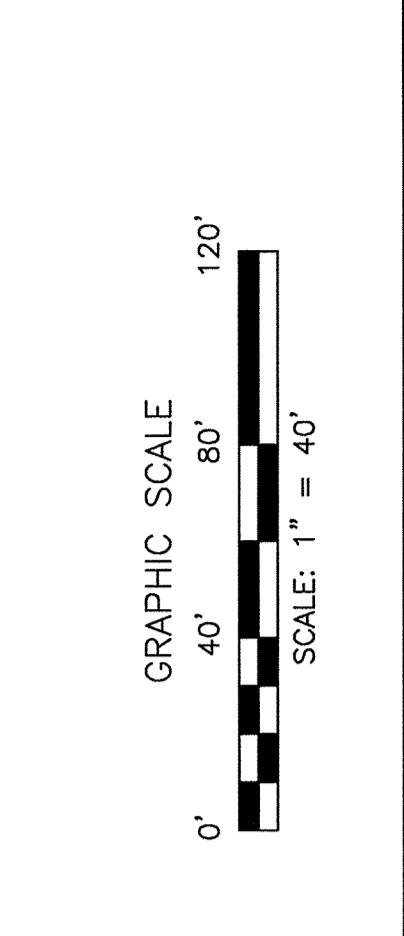
DATE	DESCRIPTION
12/05/14	ISSUED FOR FINAL SUBMISSION
11/07/13	PER N.J. DEPT. OF ENVIRONMENTAL PROTECTION (NJDEP) COMMENTS, PER 1-13-13 MEETING
10/24/13	ADDED ISLAND OPENING ON RD AT PS
07/03/12	PER PHILADELPHIA REVIEW, SOIL REPLACEMENT
06/14/12	PER PHILADELPHIA REVIEW, THIS DATED MARCH 29 & 30, 2012

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
 12/16/14 DATE



LEGEND

- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- FRESHWATER/WETLANDS BOUNDARY LINE
- FRESHWATER/WETLANDS TRANSITION AREA BOUNDARY LINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING CONTOUR 1' INTERVAL
- EXISTING CONTOUR 5' INTERVAL
- PROPOSED CONTOUR 1' INTERVAL
- PROPOSED CONTOUR 5' INTERVAL
- PROPOSED FINISHED FLOOR ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED BOTTOM OF CURB ELEVATION
- EXISTING STORM SEWER AND MANHOLE
- PROPOSED STORM SEWER & INLET
- EXISTING DISTURBANCE
- PROPOSED DISTURBANCE
- SNOW FENCE
- INLET FILTER PROTECTION
- MATCHLINE





CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BELMONT-CROSS KEYS ROAD, SUITE 11, SICKLEVILLE, NEW JERSEY
 PHONE (908) 228-2200 - FAX (908) 232-2346 - EMAIL ceps@ceps-1.com
 M.C. CERTIFICATE OF AUTHORIZATION NO. 2462787700
 08/08/11
 PREPARED BY
 CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS

SOIL EROSION AND SEDIMENT CONTROL PLAN
 SHEET E
 MALAGA ROAD TRACT
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41
 MORROE TOWNSHIP, LOUDESTON COUNTY, NEW JERSEY

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
 DATE 12/16/2014

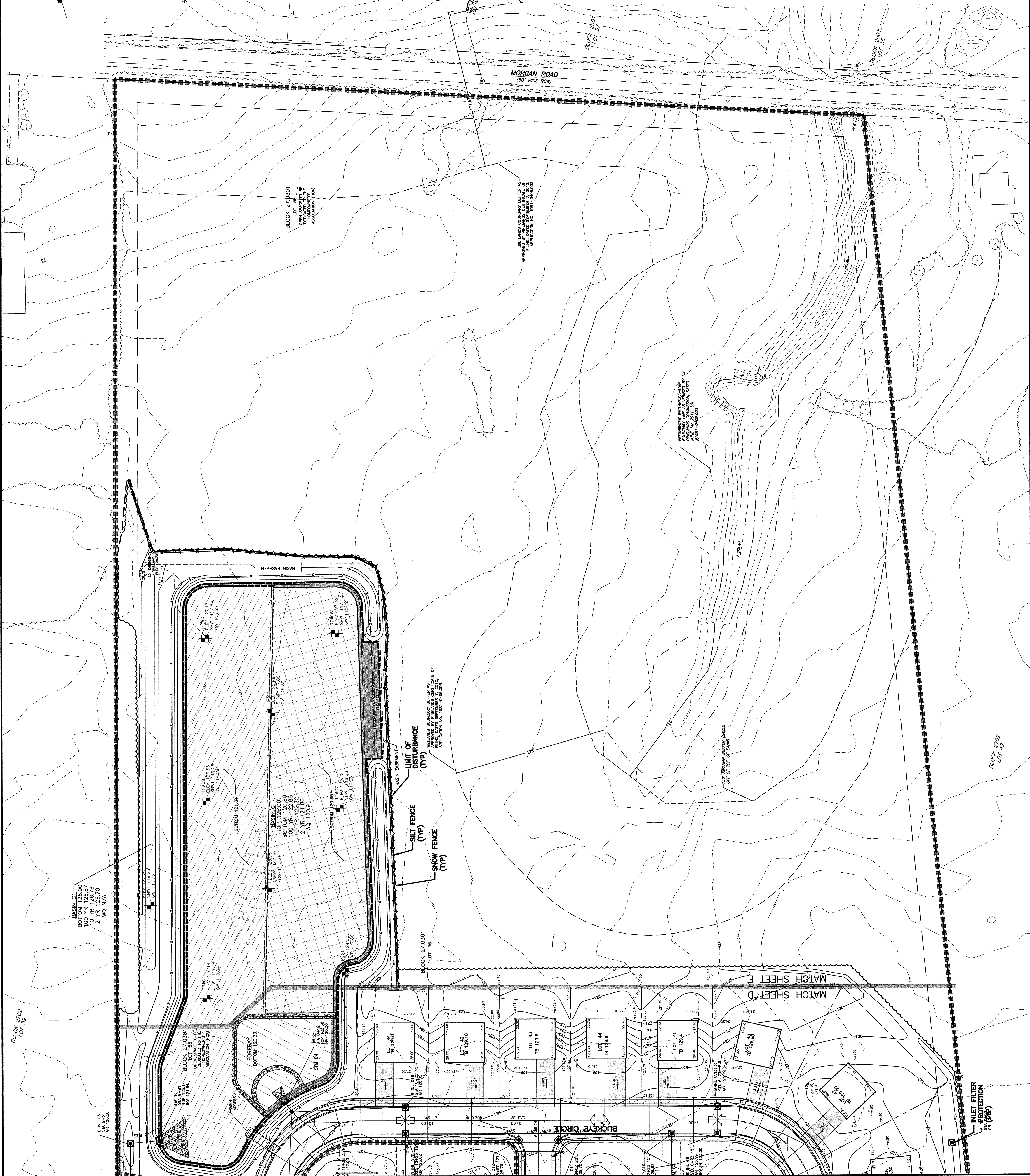
REVISIONS	DATE	DESCRIPTION
001	12/05/14	REVISED FOR FINAL SUBMISSION
002	02/28/14	PER KENNAN REVIEW LETTER DATED 01/23/14
003	11/01/13	PER 17/01/13 PER PLAN REVIEW LETTER DATED 10/23/13
004	10/29/13	ADDED METLANDS BUFFER CALL OUTS
005	07/03/12	PER PLAN REVIEW LETTER DATED 07/03/12
006	05/14/12	PER PLAN REVIEW LETTER DATED MARCH 29 & 30, 2012

LEGEND

	PROPERTY OUTBOUND
	EXISTING RIGHT OF WAY
	PROPOSED RIGHT OF WAY
	EXISTING CENTERLINE
	PROPOSED CENTERLINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	FRESHWATER/METLANDS BOUNDARY LINE
	FRESHWATER/METLANDS TRANSITION AREA BOUNDARY LINE
	EXISTING WETLINE
	PROPOSED WETLINE
	EXISTING CURB
	PROPOSED CURB
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING CONTOUR 1' INTERVAL
	PROPOSED CONTOUR 1' INTERVAL
	EXISTING CONTOUR 5' INTERVAL
	PROPOSED CONTOUR 5' INTERVAL
	PROPOSED FINISHED FLOOR ELEVATION
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED BOTTOM OF CURB ELEVATION
	EXISTING STORM SEWER AND MANHOLE
	PROPOSED STORM SEWER AND MANHOLE
	LIMIT OF DISTURBANCE
	SNOW FENCE
	REINFORCED SILT FENCE
	INLET FILTER PROTECTION
	MATCHLINE

SEE PERMITS PROCESSED IN SHEET C. REFER TO DETAIL SHEET 40 OF 51 FOR DETAILED INFORMATION.

GRAPHIC SCALE
 0' 40' 80' 120'
 SCALE: 1" = 40'



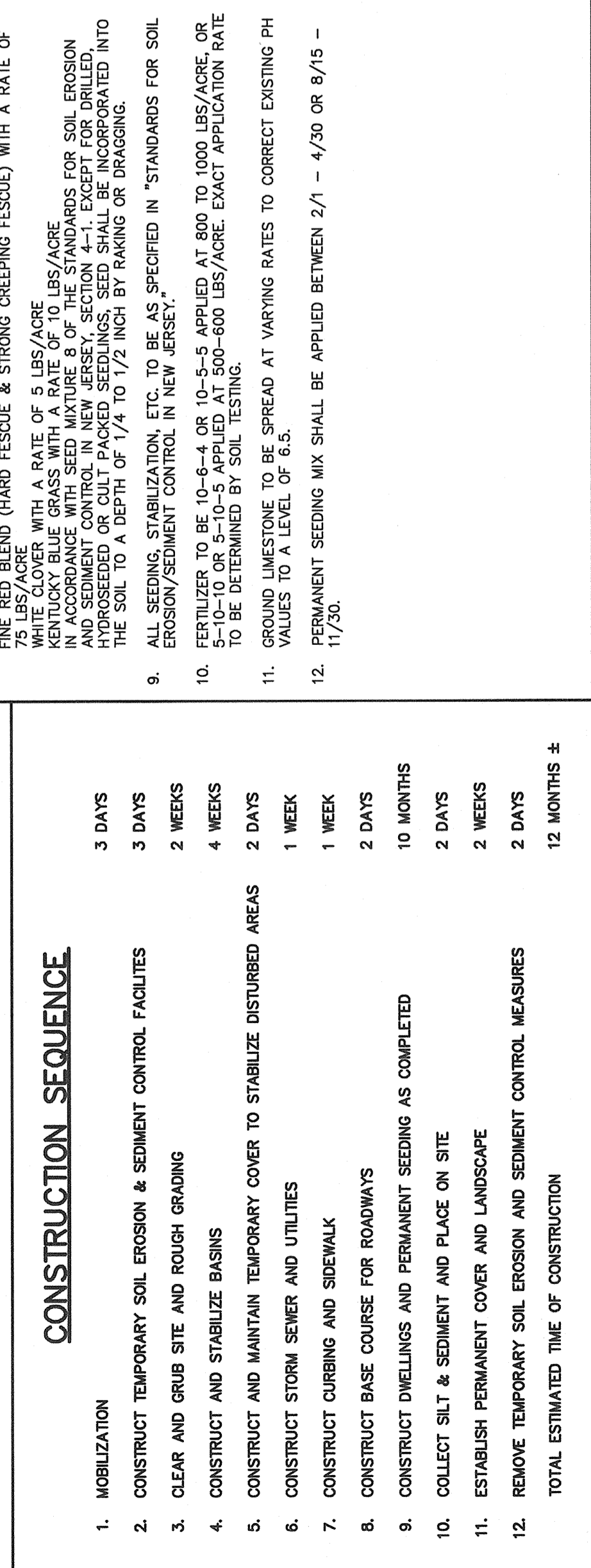
SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
- SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW JERSEY EROSION CONTROL ACT AND REGULATORY CODES THEREUNDER.
- APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
- THE CONTRACTOR SHALL PREPARE ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- CONSTRUCTION OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE NEW JERSEY EROSION CONTROL ACT AND REGULATORY CODES THEREUNDER. CONSTRUCTION OPERATIONS SHALL BE LIMITED TO THE NECESSARY AREAS AND NOT FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE MAINTAINED WITH SAFT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE COMPLETION OF LIQUID FERTILIZER AND MULCH BINDER APPLICATIONS AT THE REQUEST OF THE REGULATORY AGENCY.
- ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH MULCH BINDER AND STRAW MATS. MULCH BINDER AND STRAW MATS SHALL BE APPLIED AT THE RATES AND RATES RECOMMENDED BY THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
- A CRUSHED STONE, FINE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. CRUSHED STONE PAD WILL BE INSTALLED ACCORDING TO THE STANDARDS FOR STABILIZED CONSTRUCTION ACCESS.
- ALL DRIVEWAYS MUST BE STABILIZED WITH 2-3" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
- ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- ALL DRAINAGE OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE BASIN MUST BE DESIGNED TO NORMAL POOL WATER TO DATE OF THE DESIGN STORM. THE BASIN SHALL BE PROTECTED BY A CRUSHED STONE PAD TO PROTECT THE INLET FROM SEDIMENT.
- PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK ON THE PROJECT MUST BE COMPLETED PRIOR TO THE OCCUPANCY OF THE MUNICIPALITY. FURNISHING OR SPRINKLING FACILITY AND THE DATE MUST BE PROVIDED BY THE MUNICIPALITY.
- MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
- OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
- PROJECT SITE EROSION CONTROL MEASURES SHALL BE MAINTAINED ON THE PROJECT SITE UNTIL THE EROSION CONTROL MEASURES ARE MAINTAINED TO ANY (LAND) DISTURBANCE.
- ALL GLOUCESTER SOIL CONSERVATION DISTRICT SHALL BE NOTICED 48 HOURS PRIOR TO ANY (LAND) DISTURBANCE WITH THE CERTIFIED PLAN TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE COVERED WITH STRAW MULCH FOR PROTECTION. IF THE SEASON DOES NOT PERMIT THE APPLICATION AND STOCKPILING OF TOPSOIL, THE CONTRACTOR SHALL TAKE THE NECESSARY MEASURES TO PROTECT THE TOPSOIL STOCKPILE WITH A SEDIMENT BARRIER. FURNISHING OR SPRINKLING FACILITY AND THE DATE MUST BE PROVIDED BY THE MUNICIPALITY.
- ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN THAT COMPLETES ALL NECESSARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- METHODS FOR THE MANAGEMENT OF HIGH CAL PRODUCE SOILS SHALL BE IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. METHODS FOR THE MANAGEMENT OF HIGH CAL PRODUCE SOILS ARE THOSE FOUND TO CONTAIN IRON SULPHIDES OR HAVE A PH OF 4 OR LESS.
- TEMPORARY AND PERMANENT SEEDING MEASURES SHALL BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS AND MULCHED WITH SAFT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
- MAXIMUM SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE NOTED.
- ADJACENT PROPERTIES SHALL BE PROTECTED FROM EXCAVATING AND FILLING OPERATIONS ON THE PROPOSED SITE.
- USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
- ALL VEGETATION MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
- NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN, AS DIRECTED BY THE DESIGN PROFESSIONAL.

CONSTRUCTION SEQUENCE

- MOBILIZATION - 3 DAYS
- CONSTRUCT TEMPORARY SOIL EROSION & SEDIMENT CONTROL FACILITIES - 3 DAYS
- CLEAR AND GRUB SITE AND ROUGH GRADING - 2 WEEKS
- CONSTRUCT AND STABILIZE BASINS - 4 WEEKS
- CONSTRUCT STORM DRAINAGE AND UTILITIES - 2 DAYS
- CONSTRUCT CURBING AND SIDEWALK - 1 WEEK
- CONSTRUCT BASE COURSE FOR ROADWAYS - 10 MONTHS
- CONSTRUCT DWELLINGS AND PERMANENT SEEDING AS COMPLETED - 2 DAYS
- COLLECT SILT & SEDIMENT AND PLACE ON SITE - 2 DAYS
- ESTABLISH PERMANENT COVER AND LANDSCAPE - 2 WEEKS
- REMOVE TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES - 12 MONTHS ±

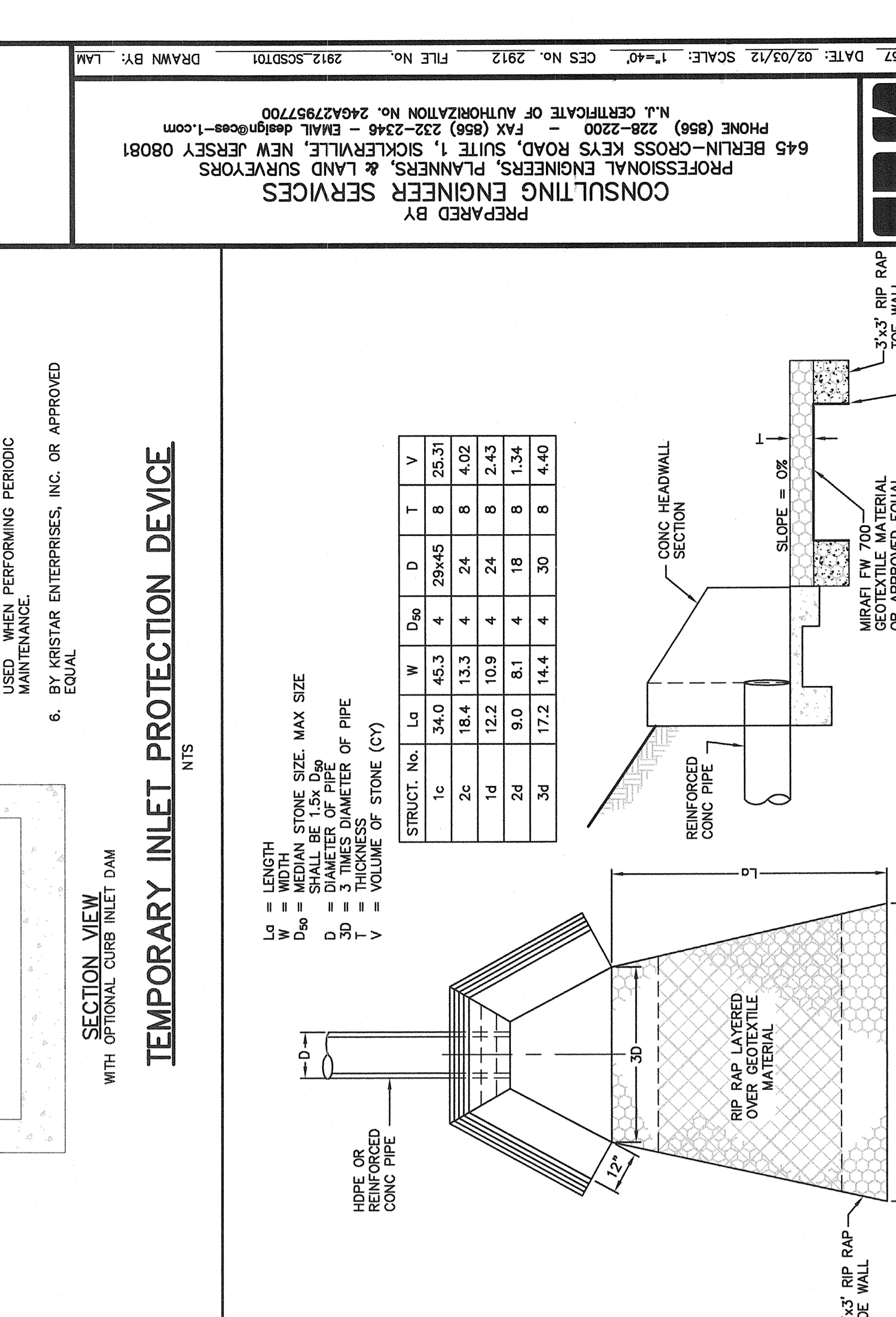
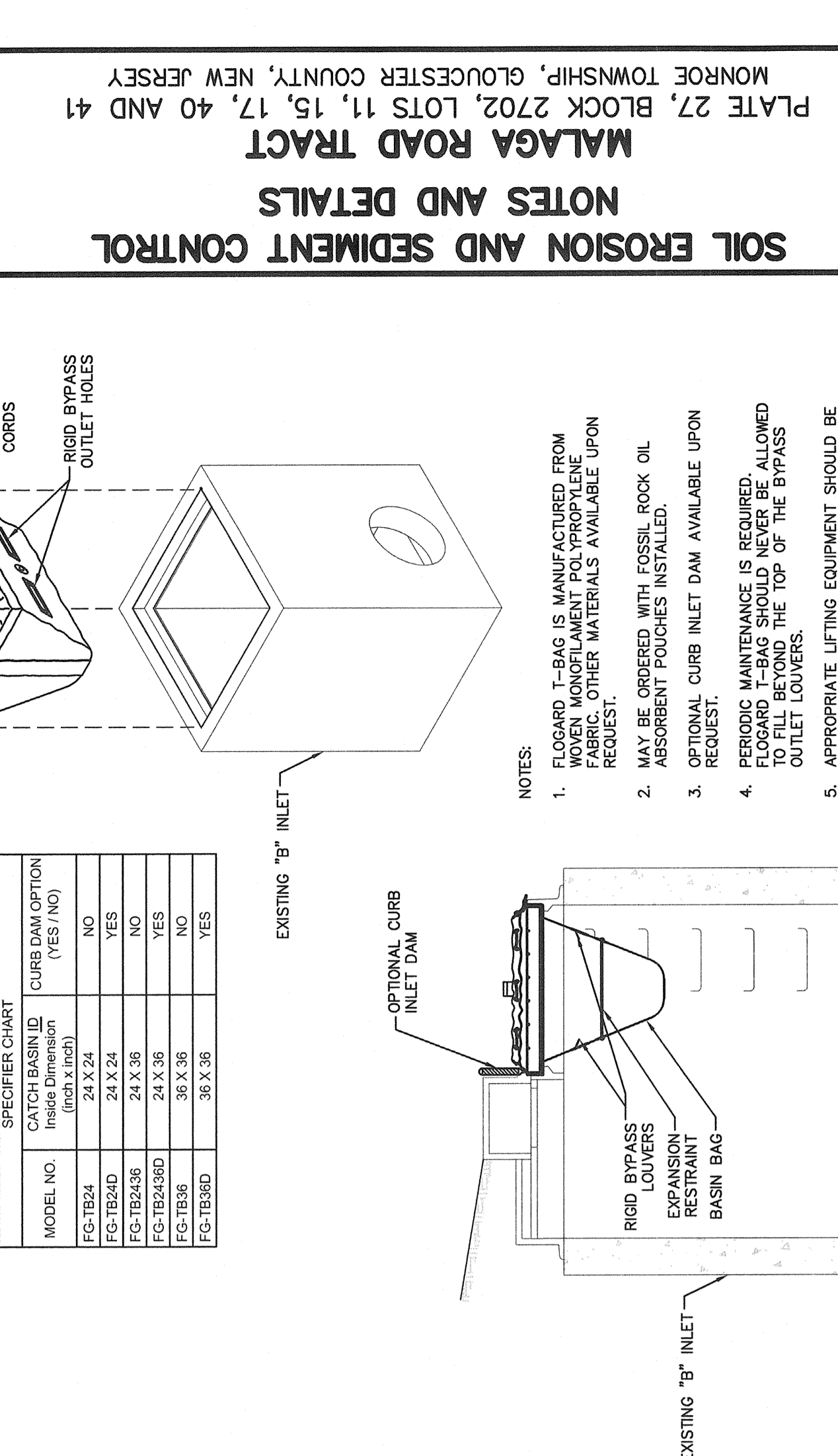
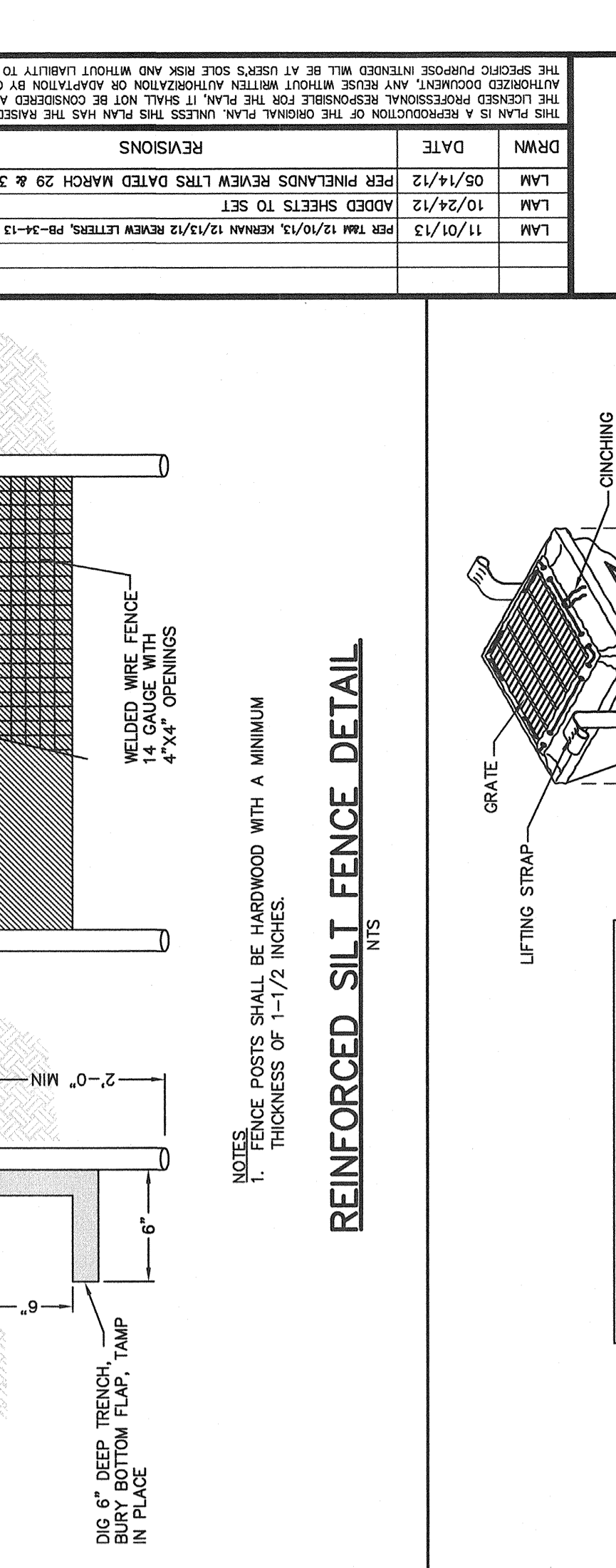
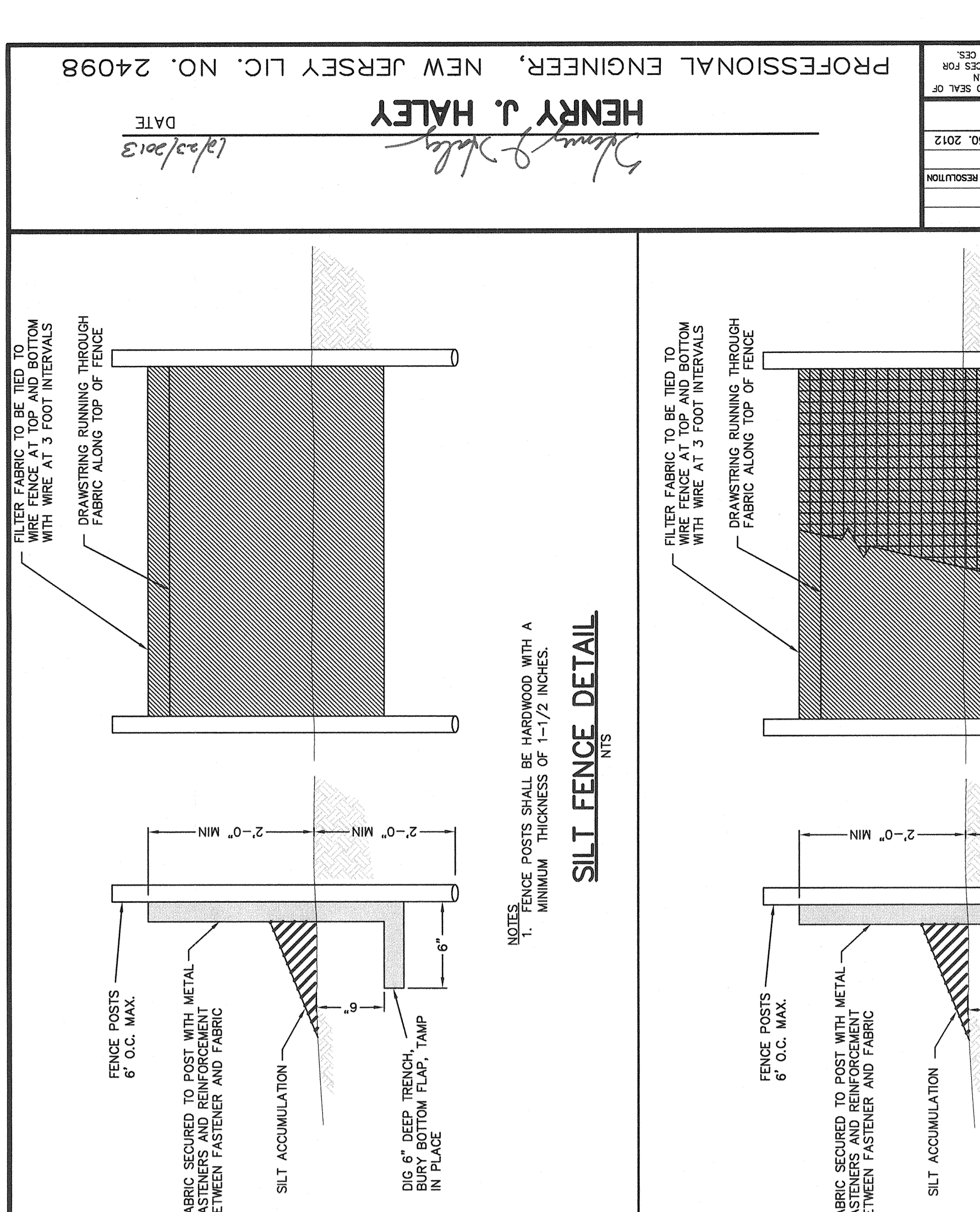
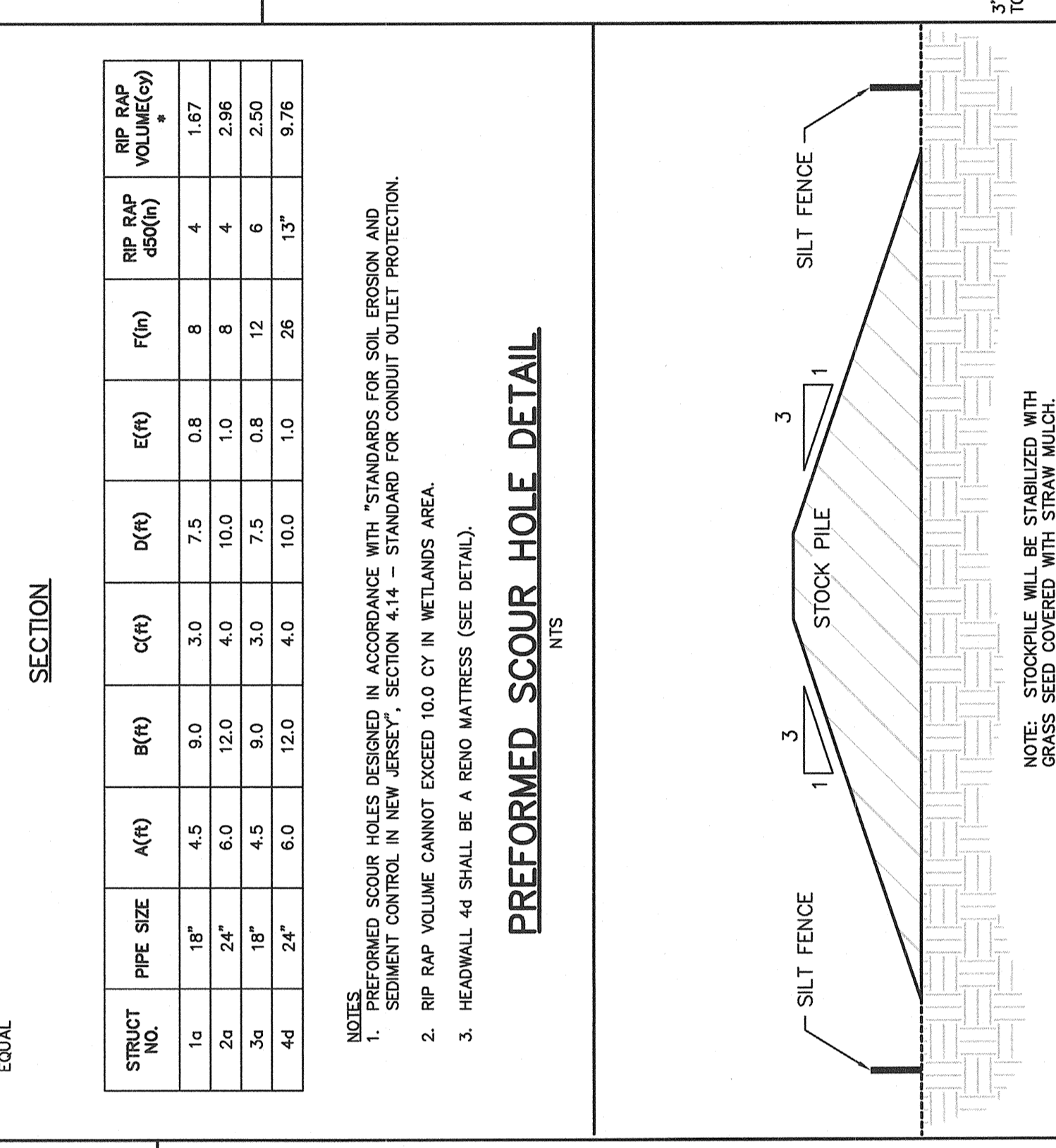
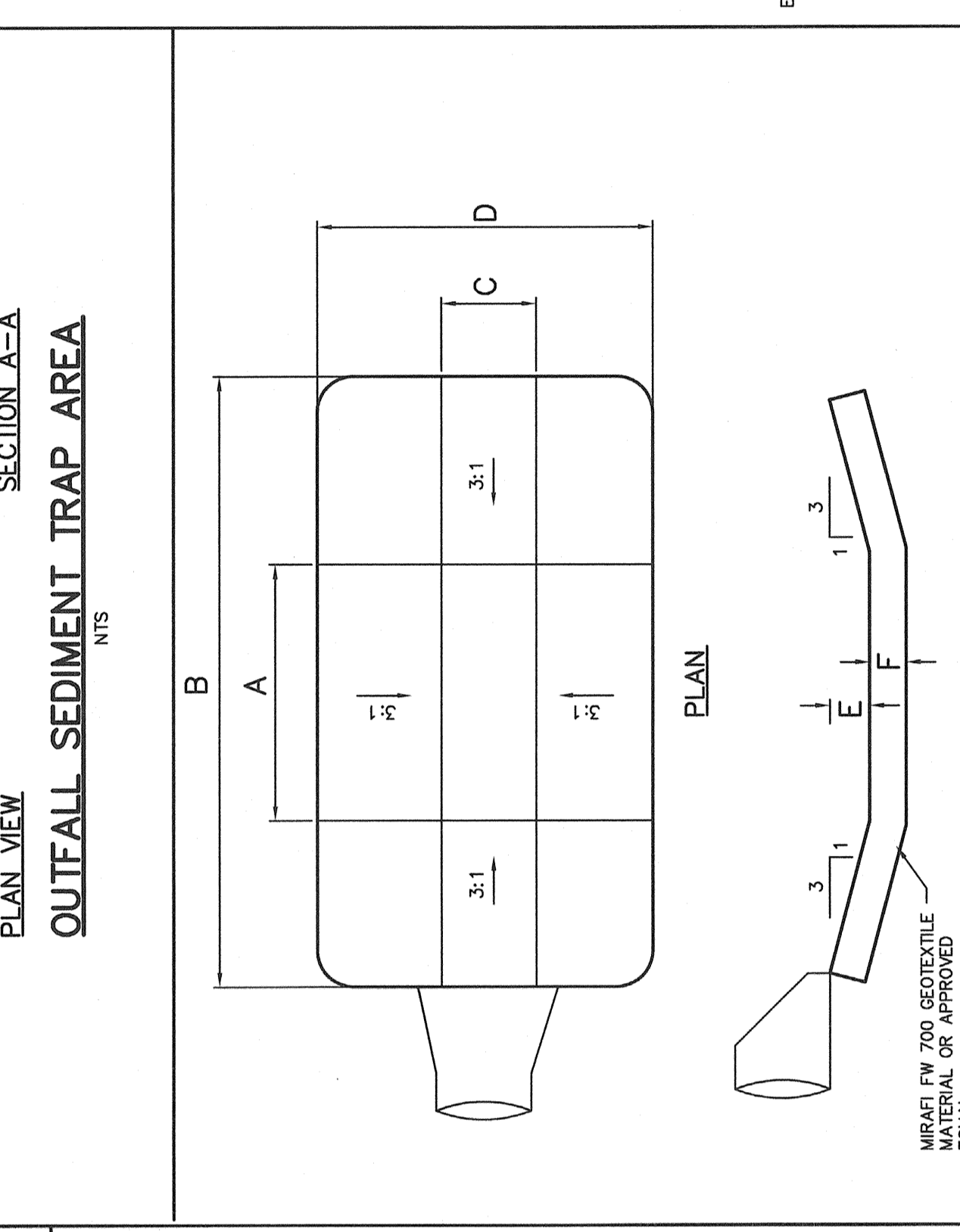
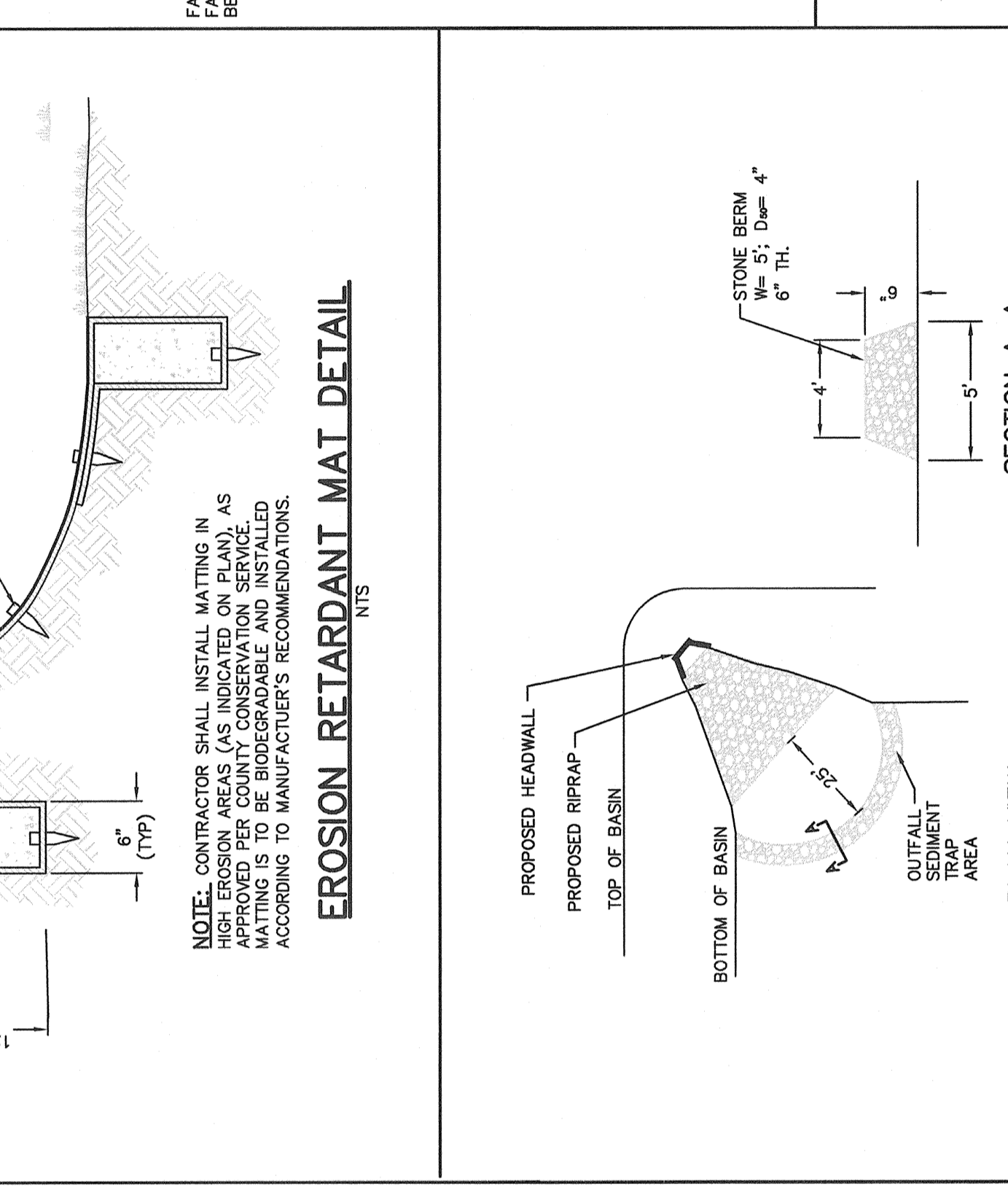
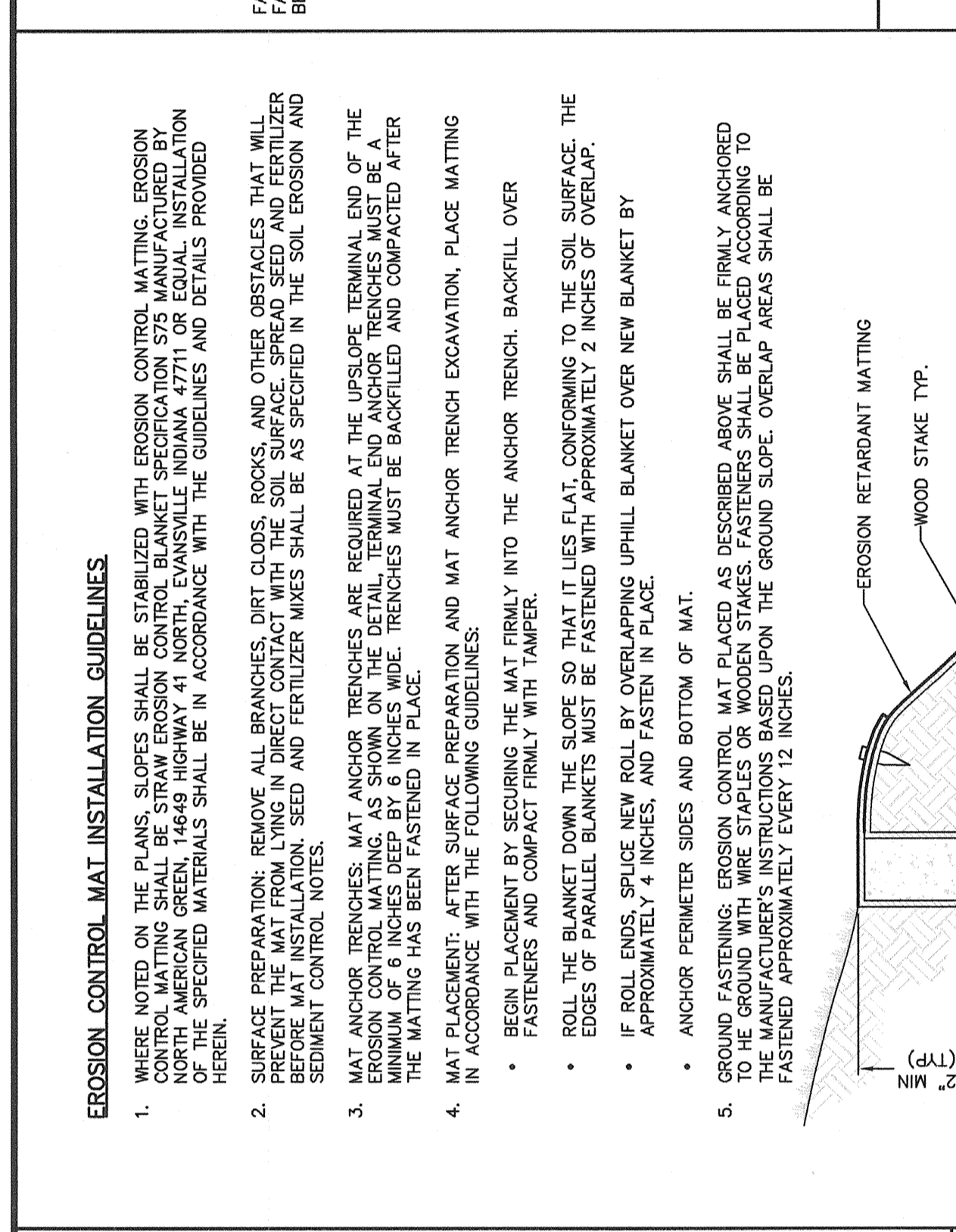
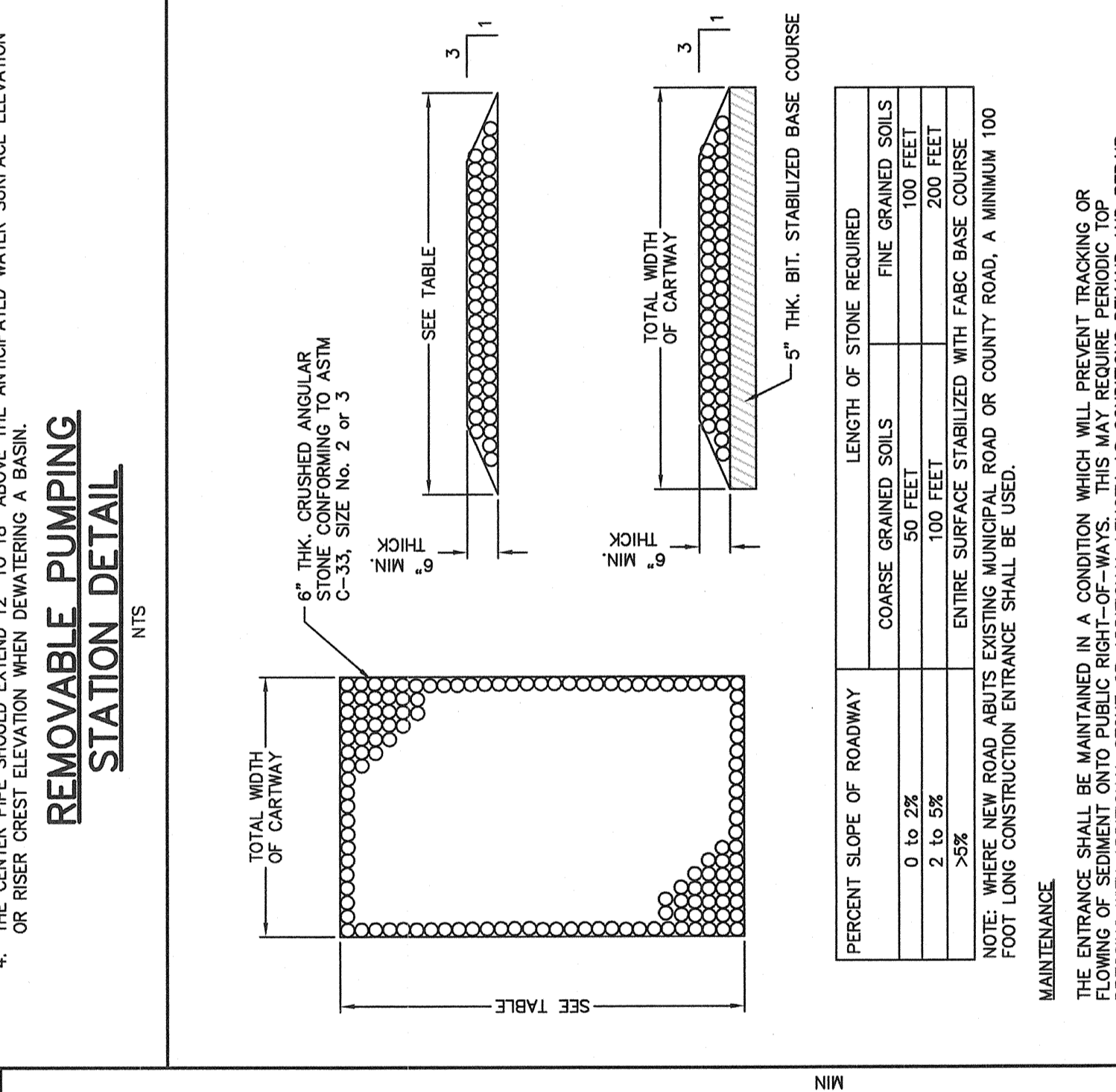
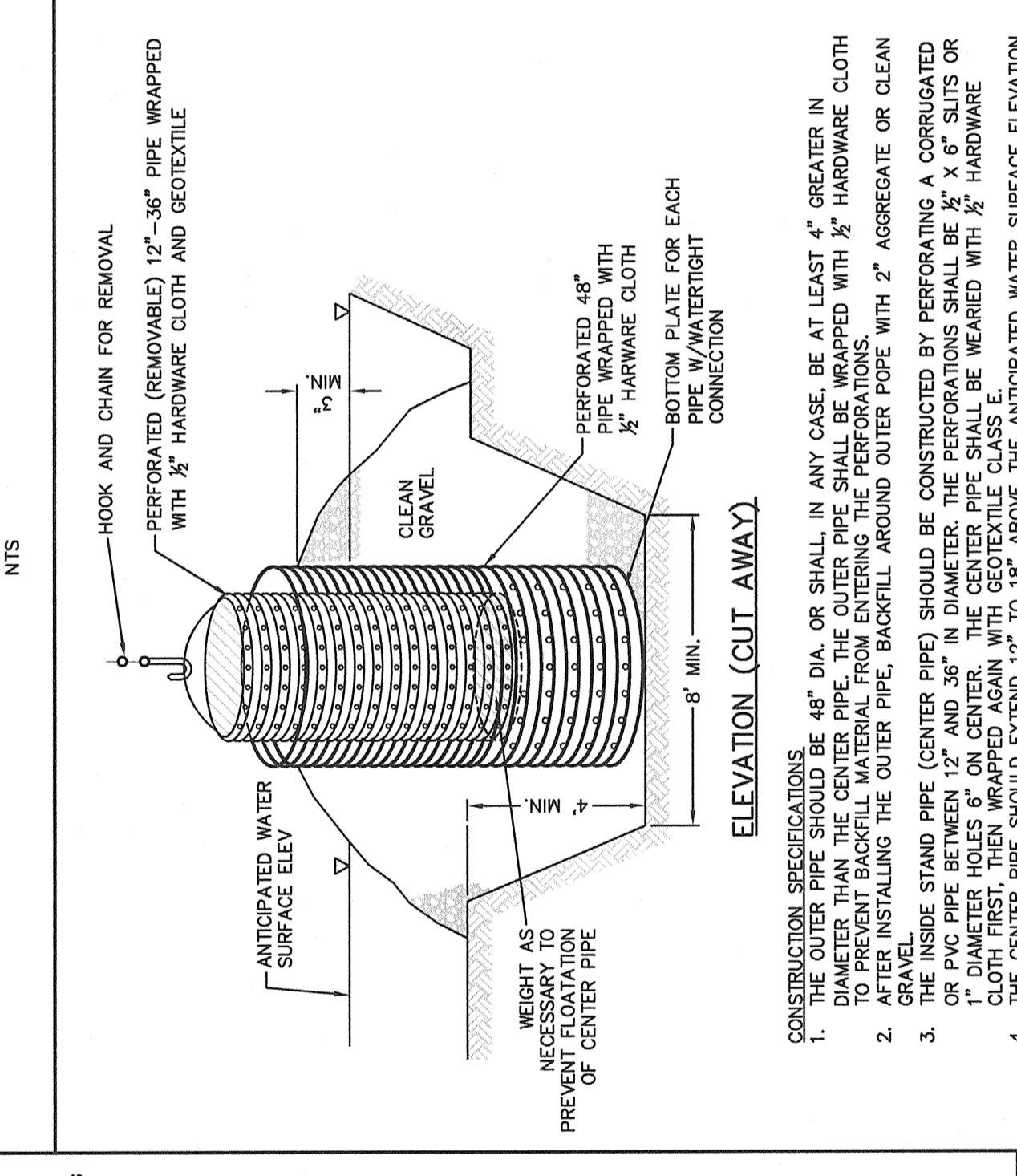
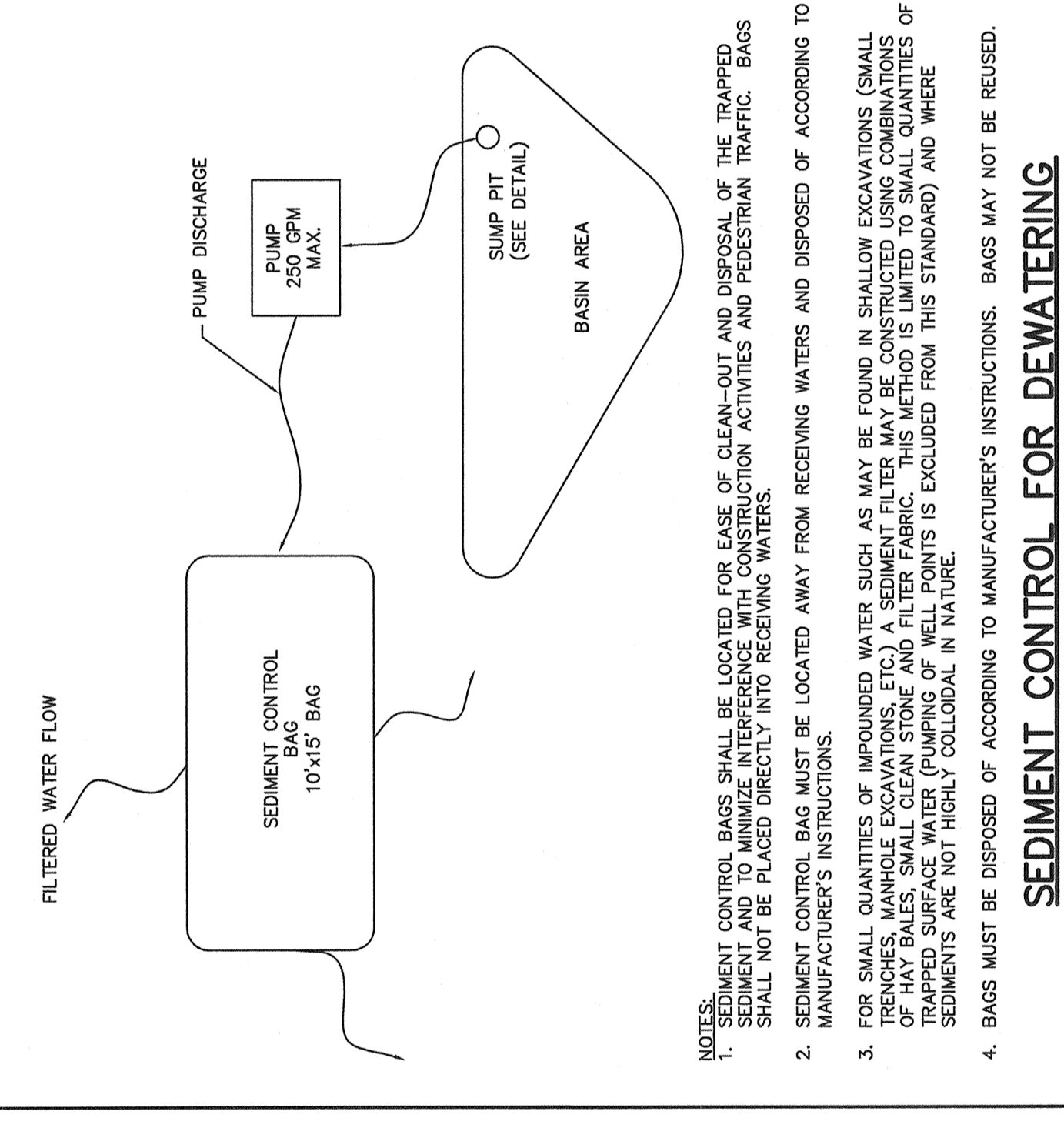
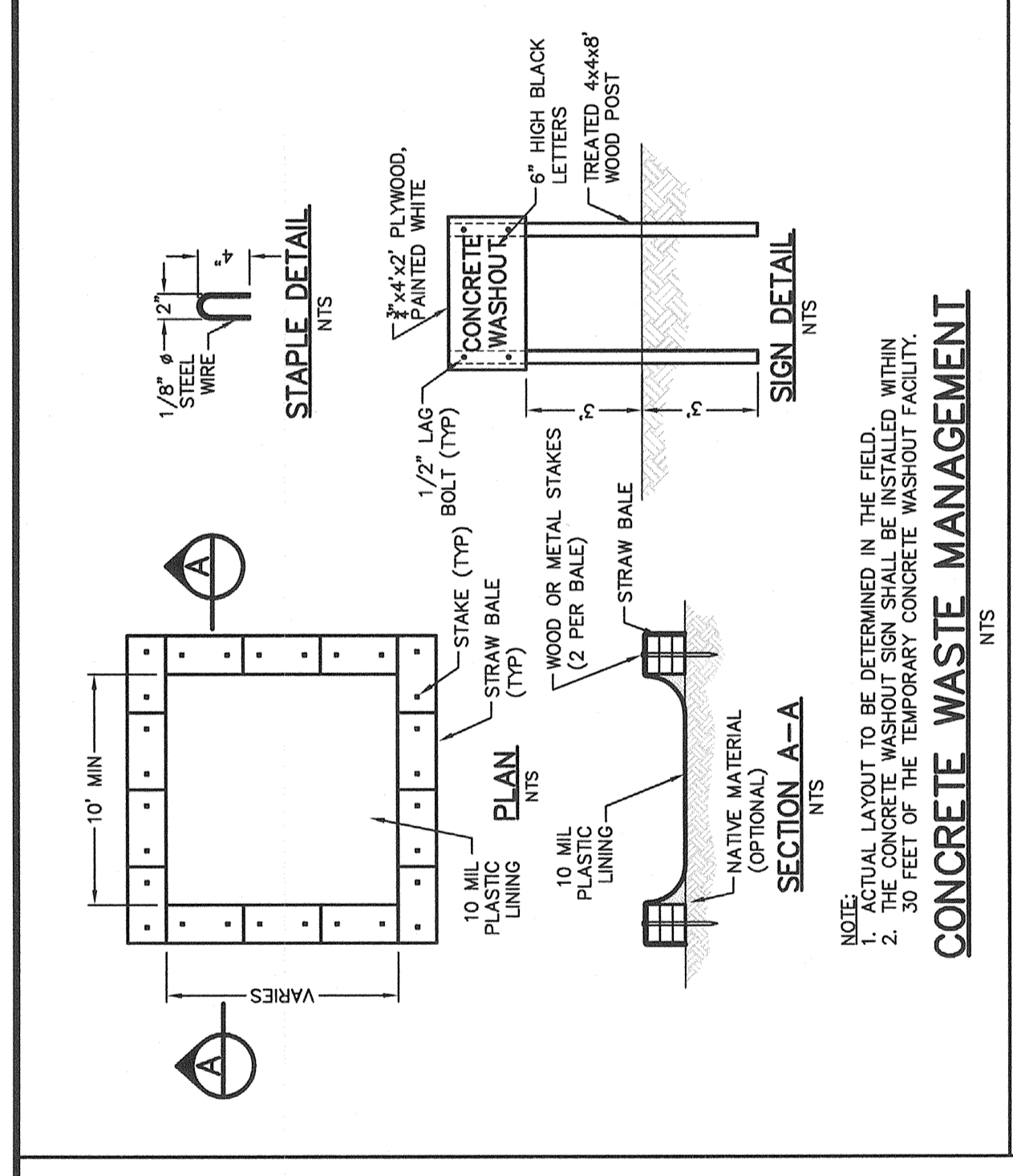
TOTAL ESTIMATED TIME OF CONSTRUCTION



RENO MATRESS DETAIL

RENO MATRESS DETAIL

NOTE:
 1. SHOWN ABOVE IS ONE RENO MATRESS UNIT. SEE SCOUR STOCKPILE DETAIL FOR ADDITIONAL INFORMATION.
 2. RENO MATRESS TO BE MAINTAINED OR APPROVED EQUAL.



DATE: 12/12/2012

HENRY J. HALEY

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098

DATE	REVISIONS
10/21/13	ADD SHEETS TO SET
05/14/13	PERMITS REVIEW LTRS DATED MARCH 28 & 30, 2012
LAM	
DMN	

NOTES AND DETAILS

MALAGA ROAD TRACT

PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41

PREPARED BY:
 CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
 PHONE (609) 226-2200
 FAX (609) 226-2200
 M. CENTRUP & ASSOCIATES, INC. (609) 226-2200

DATE: 02/27/2012 SCALE: 1"=40'

FILE NO.: 2012-SC50701

DRAWN BY: LAM

BORING LOGS

MALAGA ROAD TRACT PLANOZ, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098 HENRY J. HALEY

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-4 through TP-14.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-15 through TP-25.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-26 through TP-36.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-37 through TP-47.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-48 through TP-58.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-59 through TP-69.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-70 through TP-80.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-81 through TP-91.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-92 through TP-102.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-103 through TP-113.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-114 through TP-124.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-125 through TP-135.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-136 through TP-146.

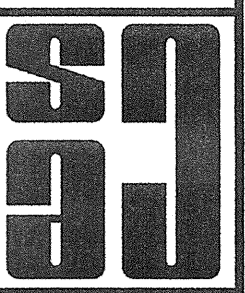
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Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-158 through TP-168.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-169 through TP-179.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-180 through TP-190.

Table with 5 columns: Test Pit No., Depth (ft), Soil Description, Saturated Unit Weight (pcf), and Permeability (cm/sec). Rows include test pits TP-191 through TP-201.



CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
150 DETSCA DRIVE, SUITE 1, SEWELL, NEW JERSEY 08080
PHONE (856) 228-2200
FAX (856) 252-2348
N.J. CERTIFICATE OF AUTHORIZATION NO. 2462875700

SHEET NO. 1 OF 2 DATE: 11/29/19 SCALE: 1"=60' FILE NO.: 2019-0501-049 DRAWN BY: AS

PLAN OF SURVEY

MORGAN & MALAGA - NEW BROOKLYN ROADS

PLATES 26 & 27, BLOCK 2702, LOTS 11, 15, 16, 17, 18, 40, & 41

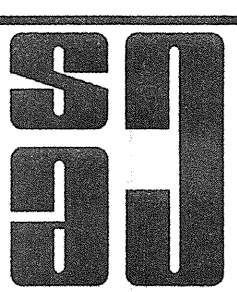
CD	DATE	REVISION PER PLANNING COMMISSION
02-26-11		REVISED PER PLANNING COMMISSION
DRWN		
DATE		

MARGARET KULIK
New Jersey
DATE 2/25/11

PROFESSIONAL LAND SURVEYOR, NEW JERSEY LIC. NO. 38943

LINE	LINE BEARING	LENGTH
L1	S92°46'07"W	45.05'
L2	S89°47'22"W	22.77'
L3	S16°10'58"W	42.35'
L4	S28°27'22"W	39.88'
L5	S89°47'22"W	31.86'
L6	S42°42'14"W	31.86'
L7	S54°36'01"W	58.34'
L8	S32°14'05"W	20.00'
L9	S38°55'26"W	12.80'
L10	S29°24'48"E	28.68'
L11	S51°14'13"W	8.88'
L12	S51°14'13"W	8.88'
L13	S72°03'46"W	21.05'
L14	N74°04'19"W	35.54'
L15	S74°04'19"W	35.54'
L16	S31°32'05"W	55.78'
L17	S31°32'05"W	55.78'
L18	S18°01'53"W	41.13'
L19	S72°03'46"W	33.34'
L20	S72°03'46"W	33.34'
L21	S72°03'46"W	55.54'
L22	S72°03'46"W	55.54'
L23	S20°09'52"E	39.81'
L24	S20°09'52"E	39.81'
L25	S86°07'30"E	21.97'
L26	S86°07'30"E	21.97'
L27	N31°44'42"E	62.72'
L28	N31°44'42"E	77.58'
L29	N29°42'58"E	55.15'
L30	N29°42'58"E	55.15'
L31	M22°15'24"E	62.05'
L32	M22°15'24"E	62.05'
L33	N82°27'15"E	45.93'
L34	N82°27'15"E	45.93'
L35	S65°37'21"E	45.89'
L36	S65°37'21"E	45.89'
L37	M49°40'38"E	8.91'
L38	M15°10'44"W	10.55'
L39	M15°10'44"W	10.55'
L40	N07°28'48"W	40.15'
L41	S88°48'41"W	35.23'
L42	N12°17'47"W	55.37'
L43	N10°08'05"E	38.32'
L44	N10°08'05"E	38.32'
L45	M12°29'22"E	45.54'
L46	M12°29'22"E	45.54'
L47	S42°01'30"W	40.56'
L48	S42°01'30"W	40.56'
L49	S20°03'47"E	63.57'
L50	S20°03'47"E	63.57'

- NOTES:
- THE PROPERTY LINES SHOWN HEREON ARE BASED ON THE FOLLOWING INFORMATION:
1. THE PROPERTY LINES SHOWN HEREON ARE BASED ON THE FOLLOWING INFORMATION:
a. METERS ACQUIRED FROM THE AUGUSTINE COUNTY CLERK'S OFFICE:
DEED BOOK 1863, PAGE 214 (BLOCK 2702, LOT 17)
DEED BOOK 1863, PAGE 219 (BLOCK 2702, LOTS 17 & 18)
DEED BOOK 1863, PAGE 218 (BLOCK 2702, LOTS 11 & 19)
DEED BOOK 1428, PAGE 50 (A.C.E. EASEMENT)
DEED BOOK 1388, PAGE 864 (ROAD EASEMENT)
DEED BOOK 2231, PAGE 139 (2702, LOT 8)
DEED BOOK 2144, PAGE 204 (BLOCK 2702, LOT 9)
DEED BOOK 2116, PAGE 82 (BLOCK 2702, LOT 10)
DEED BOOK 1248, PAGE 571 (BLOCK 2702, LOT 24)
DEED BOOK 2403, PAGE 239 (BLOCK 2702, LOT 13)
DEED BOOK 3441, PAGE 38 (BLOCK 2702, LOT 38)
b. THE HORIZONTAL DATUM SHOWN HEREON IS NAD 83 BASED ON GPS OBSERVATIONS.
c. THE VERTICAL DATUM SHOWN HEREON IS NAVD83 BASED ON GPS OBSERVATIONS.
d. THE PROPERTY LINES SHOWN HEREON WERE DERIVED FROM AERIAL PHOTOGRAPHY BY PROMAX, DATED 08/09/07.
e. THIS PROPERTY IS SUBJECT TO ANY EASEMENTS WHICH MAY OR MAY NOT BE OF THE PUBLIC RECORD, WHICH MAY BE LOCATED BELOW THE SURFACE OF THE LANDS AND NOT VISIBLE AT THE TIME OF THE SURVEY.
f. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF PREPARING THIS SURVEY TO LOCATE BURIED UTILITIES OR STRUCTURES. IF ANY EXCAVATIONS ARE MADE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES AND CONTACTED AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION ACTIVITIES IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.
g. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON OR ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN AND ARE BASED UPON FIELD OBSERVATIONS AT THE TIME OF THE SURVEY.
h. BLOCK AND LOT NUMBERS REFER TO THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF MONROE.
i. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY CLEARLY MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID COPIES.
j. WETLANDS LINE SHOWN HEREON WAS DELINEATED AND LOCATED BY CONSULTING ENGINEER SERVICES ON 05/04/10 AND SUBJECT TO VERIFICATION BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENT AND NATURE RESOURCES.
k. THIS DESCRIPTION PREPARED AS AN EXHIBIT TO DESCRIBE A PORTION OF LANDS TO BE ACQUIRED AND RESTRICTED FROM DEVELOPMENT IN ORDER TO MEET GROUNDWATER REQUIREMENTS.
l. REFER TO SHEETS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
 - THE ELEVATIONS SHOWN HEREON ARE ON NAVD83 VERTICAL DATUM BASED ON GPS OBSERVATIONS.
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CONSULTING ENGINEERS SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 150 DELSA DRIVE, SUITE 11, SEWELL, NEW JERSEY 08080
 PHONE (609) 228-2200
 FAX (609) 232-2348
 N.J. CERTIFICATE OF AUTHORIZATION NO. 06A2087700

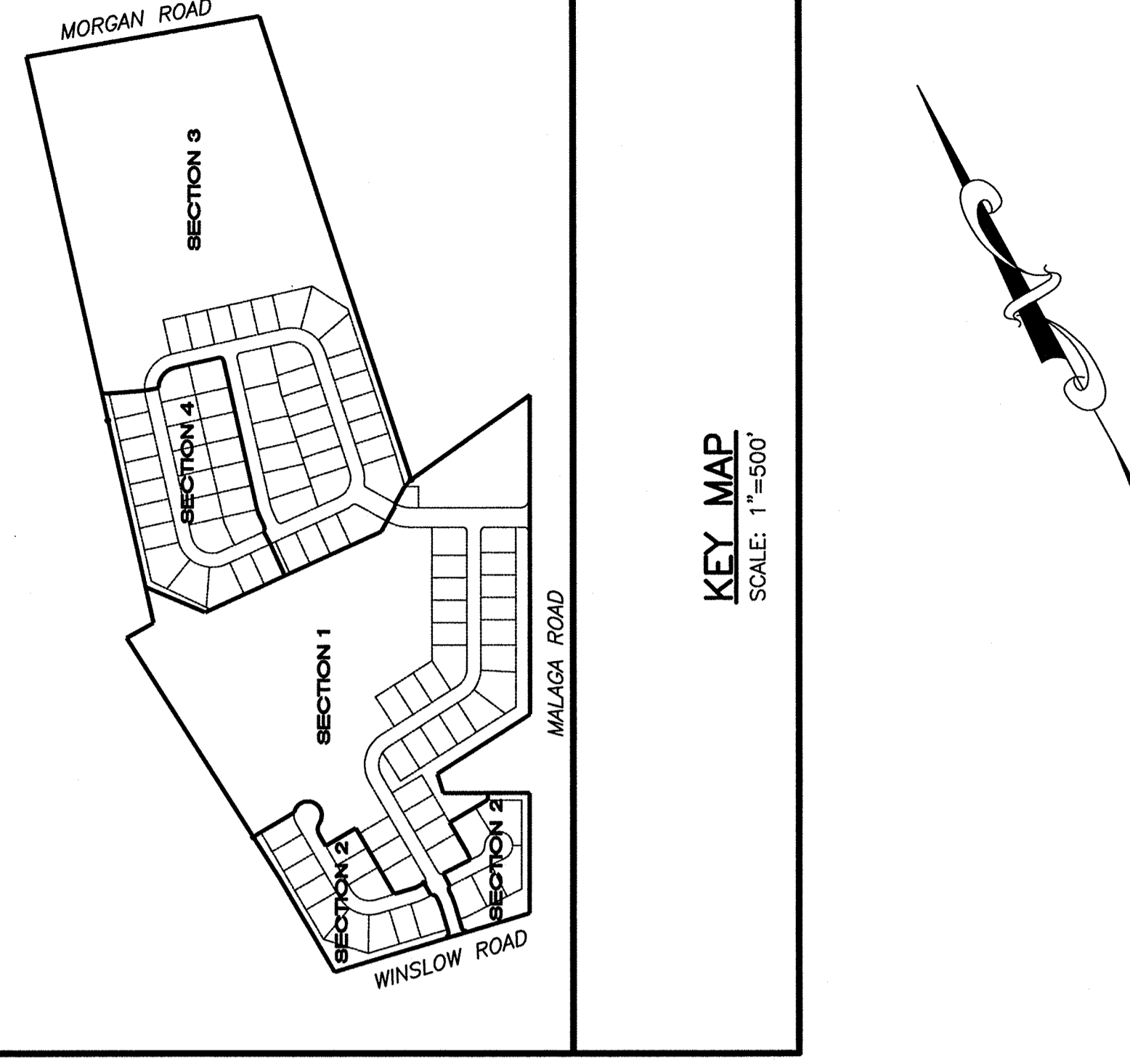
PREPARED BY
 MONROE TOWNSHIP, GLoucester COUNTY, NEW JERSEY
 PLATES 26 & 27, BLOCK 2702, LOTS 11, 15, 16, 17, 18, 40, & 41

CD	DATE	DESCRIPTION
02-29-11	REVISED PER PINELANDS COMMISSION	
DRWN	DATE	REVISIONS

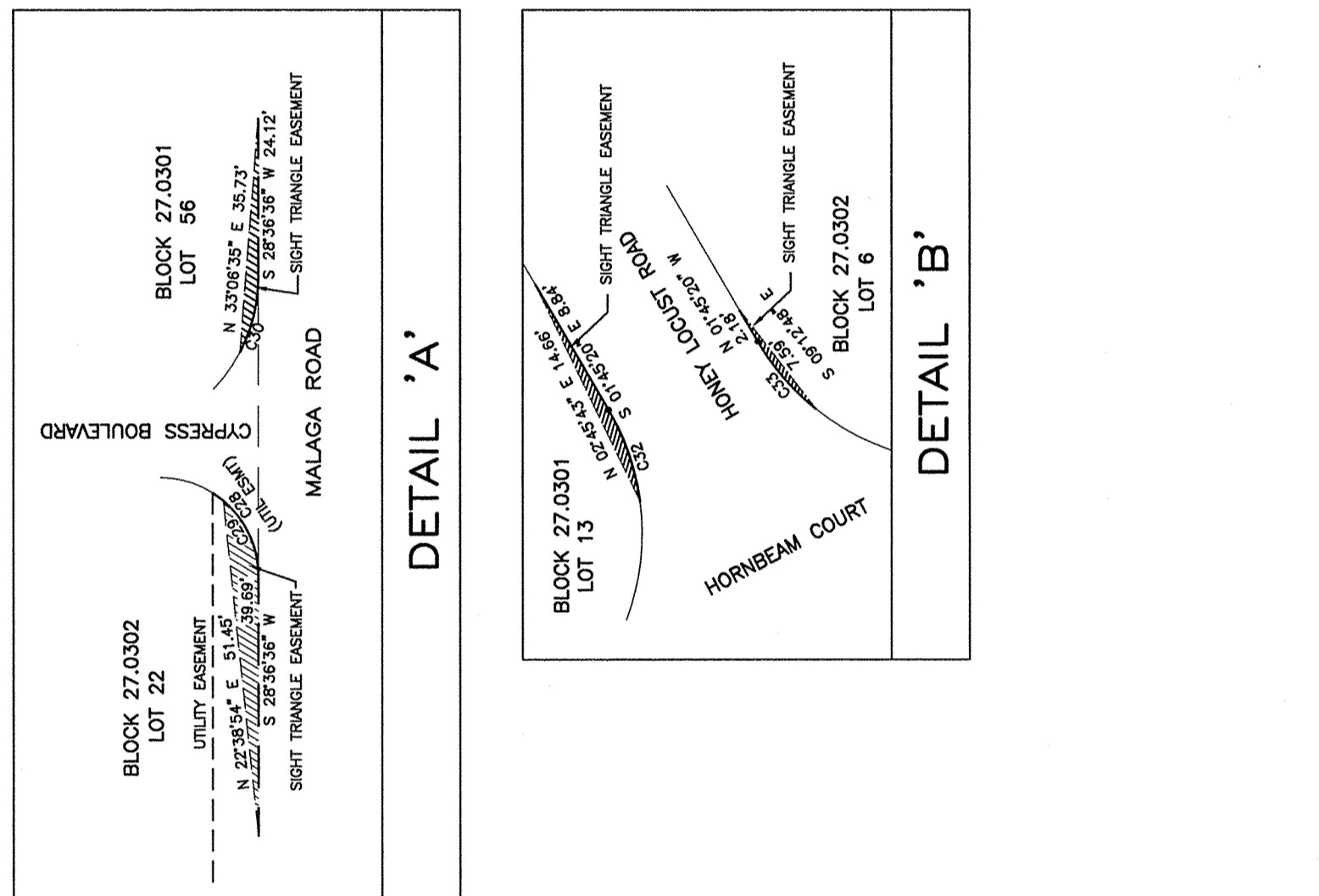
PROFESSIONAL LAND SURVEYOR, NEW JERSEY LIC. NO. 38943
 MARGARET KULK
 DATE 2/25/11



NO.	REVISIONS	DATE



CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	250.00	52.48	120.138	52.38	N 85°41'11" E
C2	250.00	52.48	120.138	52.38	S 85°41'11" W
C3	150.00	19.01	11.092	7.627	S 36°12'01" W
C4	200.00	24.97	14.837	10.252	N 62°58'07" E
C5	150.00	23.95	15.000	8.000	N 85°42'45" E
C6	50.00	7.74	4.539	2.634	N 85°42'45" E
C7	75.00	11.61	6.85	4.02	S 85°42'45" E
C8	150.00	23.95	15.000	8.000	S 85°42'45" E
C9	150.00	23.95	15.000	8.000	S 85°42'45" E
C10	150.00	23.95	15.000	8.000	S 85°42'45" E
C11	150.00	23.95	15.000	8.000	S 85°42'45" E
C12	150.00	23.95	15.000	8.000	S 85°42'45" E
C13	150.00	23.95	15.000	8.000	S 85°42'45" E
C14	150.00	23.95	15.000	8.000	S 85°42'45" E
C15	150.00	23.95	15.000	8.000	S 85°42'45" E
C16	150.00	23.95	15.000	8.000	S 85°42'45" E
C17	150.00	23.95	15.000	8.000	S 85°42'45" E
C18	150.00	23.95	15.000	8.000	S 85°42'45" E
C19	150.00	23.95	15.000	8.000	S 85°42'45" E
C20	150.00	23.95	15.000	8.000	S 85°42'45" E
C21	150.00	23.95	15.000	8.000	S 85°42'45" E
C22	125.00	18.89	10.43	6.24	N 82°03'27" W
C23	75.00	11.61	6.85	4.02	S 85°42'45" E
C24	75.00	11.61	6.85	4.02	S 85°42'45" E
C25	75.00	11.61	6.85	4.02	S 85°42'45" E
C26	75.00	11.61	6.85	4.02	S 85°42'45" E
C27	75.00	11.61	6.85	4.02	S 85°42'45" E
C28	75.00	11.61	6.85	4.02	S 85°42'45" E
C29	75.00	11.61	6.85	4.02	S 85°42'45" E
C30	75.00	11.61	6.85	4.02	S 85°42'45" E
C31	75.00	11.61	6.85	4.02	S 85°42'45" E
C32	75.00	11.61	6.85	4.02	S 85°42'45" E
C33	75.00	11.61	6.85	4.02	S 85°42'45" E
C34	75.00	11.61	6.85	4.02	S 85°42'45" E
C35	75.00	11.61	6.85	4.02	S 85°42'45" E
C36	75.00	11.61	6.85	4.02	S 85°42'45" E
C37	75.00	11.61	6.85	4.02	S 85°42'45" E
C38	75.00	11.61	6.85	4.02	S 85°42'45" E
C39	75.00	11.61	6.85	4.02	S 85°42'45" E
C40	75.00	11.61	6.85	4.02	S 85°42'45" E
C41	75.00	11.61	6.85	4.02	S 85°42'45" E
C42	75.00	11.61	6.85	4.02	S 85°42'45" E
C43	75.00	11.61	6.85	4.02	S 85°42'45" E
C44	75.00	11.61	6.85	4.02	S 85°42'45" E
C45	75.00	11.61	6.85	4.02	S 85°42'45" E
C46	75.00	11.61	6.85	4.02	S 85°42'45" E
C47	75.00	11.61	6.85	4.02	S 85°42'45" E
C48	75.00	11.61	6.85	4.02	S 85°42'45" E
C49	75.00	11.61	6.85	4.02	S 85°42'45" E
C50	75.00	11.61	6.85	4.02	S 85°42'45" E
C51	75.00	11.61	6.85	4.02	S 85°42'45" E
C52	75.00	11.61	6.85	4.02	S 85°42'45" E
C53	75.00	11.61	6.85	4.02	S 85°42'45" E
C54	75.00	11.61	6.85	4.02	S 85°42'45" E
C55	75.00	11.61	6.85	4.02	S 85°42'45" E
C56	75.00	11.61	6.85	4.02	S 85°42'45" E
C57	75.00	11.61	6.85	4.02	S 85°42'45" E
C58	75.00	11.61	6.85	4.02	S 85°42'45" E
C59	75.00	11.61	6.85	4.02	S 85°42'45" E
C60	75.00	11.61	6.85	4.02	S 85°42'45" E
C61	75.00	11.61	6.85	4.02	S 85°42'45" E
C62	75.00	11.61	6.85	4.02	S 85°42'45" E
C63	75.00	11.61	6.85	4.02	S 85°42'45" E
C64	75.00	11.61	6.85	4.02	S 85°42'45" E
C65	75.00	11.61	6.85	4.02	S 85°42'45" E
C66	75.00	11.61	6.85	4.02	S 85°42'45" E
C67	75.00	11.61	6.85	4.02	S 85°42'45" E
C68	75.00	11.61	6.85	4.02	S 85°42'45" E
C69	75.00	11.61	6.85	4.02	S 85°42'45" E
C70	75.00	11.61	6.85	4.02	S 85°42'45" E
C71	75.00	11.61	6.85	4.02	S 85°42'45" E
C72	75.00	11.61	6.85	4.02	S 85°42'45" E
C73	75.00	11.61	6.85	4.02	S 85°42'45" E
C74	75.00	11.61	6.85	4.02	S 85°42'45" E
C75	75.00	11.61	6.85	4.02	S 85°42'45" E
C76	75.00	11.61	6.85	4.02	S 85°42'45" E
C77	75.00	11.61	6.85	4.02	S 85°42'45" E
C78	75.00	11.61	6.85	4.02	S 85°42'45" E
C79	75.00	11.61	6.85	4.02	S 85°42'45" E
C80	75.00	11.61	6.85	4.02	S 85°42'45" E



OWNERS CERTIFICATION:
 I, THE UNDERSIGNED, OWNER OF THE PROPERTY SHOWN ON THIS MAP, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN ON THIS MAP AND THAT I AM NOT PROVIDING ANY INFORMATION ON THIS MAP THAT IS FALSE OR MISLEADING AND THAT I AM NOT PROVIDING ANY INFORMATION ON THIS MAP THAT IS FALSE OR MISLEADING AND THAT I AM NOT PROVIDING ANY INFORMATION ON THIS MAP THAT IS FALSE OR MISLEADING.

DATE: 12-9-14
OWNER: ROBERT V. NICOLETTI

INDEXES:
 1. NUMBER OF BUILDING LOTS = 28
 2. TOTAL AREA OF THIS SECTION = 30.93 AC.±
 3. TOTAL AREA OF OPEN SPACE IN THIS SECTION = 20.98 AC.±
 4. SIGHT TRIANGLE EASEMENTS GRANTED TO THE MONROE TOWNSHIP
 5. PROPERTY BOUNDARY INFORMATION BASED UPON:
 a) PLAN ENTITLED: PLAN OF SURVEY, MONROE & MALAGA - NEW BROOKLYN ROADS MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY 08033, DATED 11/02/2010, REVISION DATED 02/25/2011
 6. PROPERTY IN QUESTION IS ZONED: RG-MR, REGIONAL GROWTH MODERATE RESIDENTIAL DISTRICT
 7. PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
 8. BULK REQUIREMENTS:
 DESCRIPTION: 10,000 SF
 MINIMUM LOT AREA: 75 SF
 MINIMUM LOT FRONTAGE: 15 SF
 MINIMUM FRONT YARD SETBACK: 40 FT
 MINIMUM REAR YARD SETBACK: 10 FT
 MINIMUM SIDE YARD SETBACK: 25 FT
 MAXIMUM LOT COVERAGE: 30%

BY THE FILING OF THIS MAP IN ACCORDANCE WITH THE PROVISIONS OF THE MAP FILING LAW, THE UNDERSIGNED CERTIFIES THAT THE INFORMATION ON THIS MAP IS TRUE AND CORRECT AND THAT THE UNDERSIGNED HAS NO KNOWLEDGE OF ANY FALSE OR MISLEADING INFORMATION ON THIS MAP.

DATE: 12-9-14
MUNICIPAL CLERK: SUSAN MCCORMICK

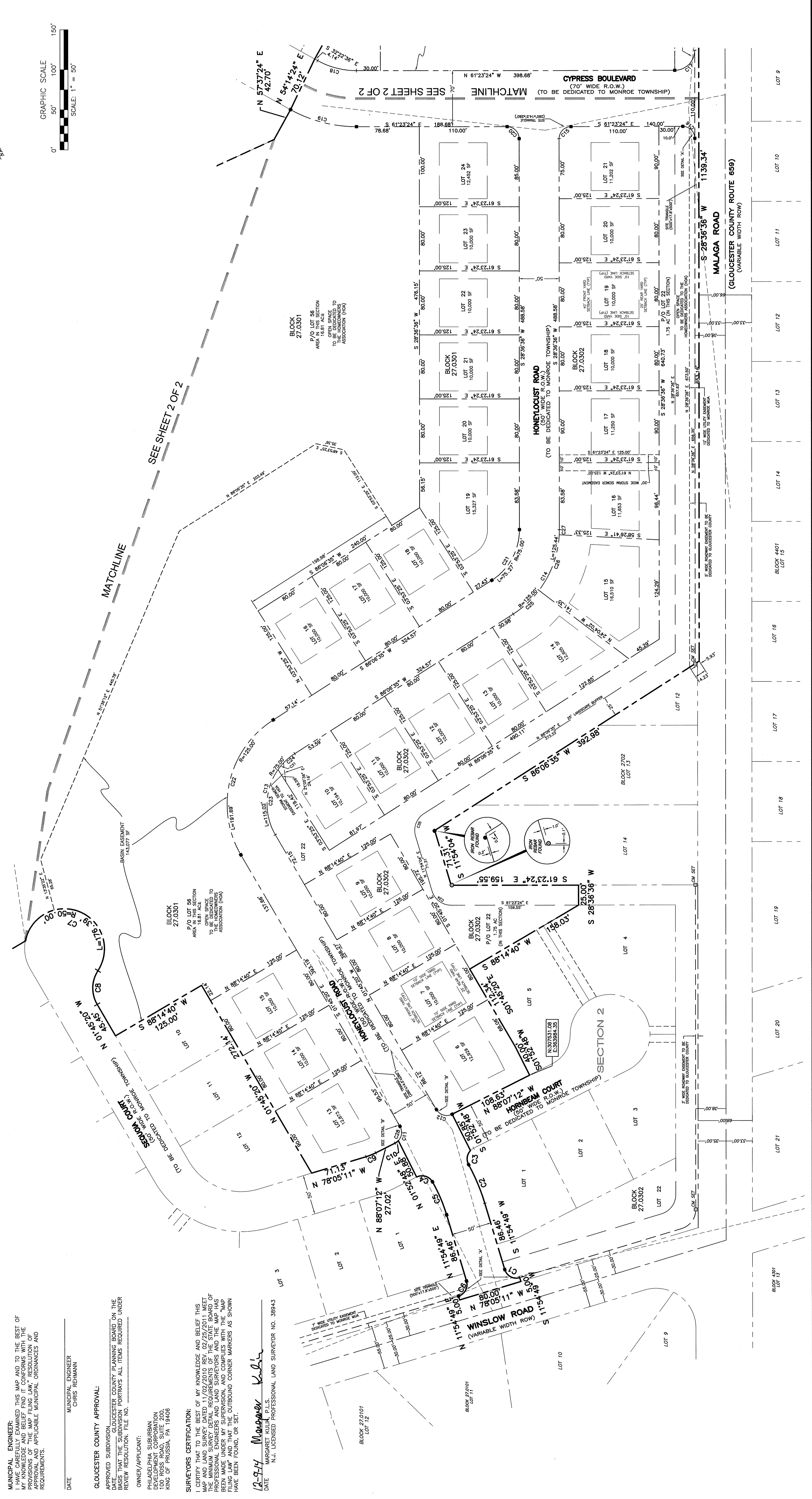
DATE: 12-9-14
MUNICIPAL ENGINEER: CHRIS REHMAN

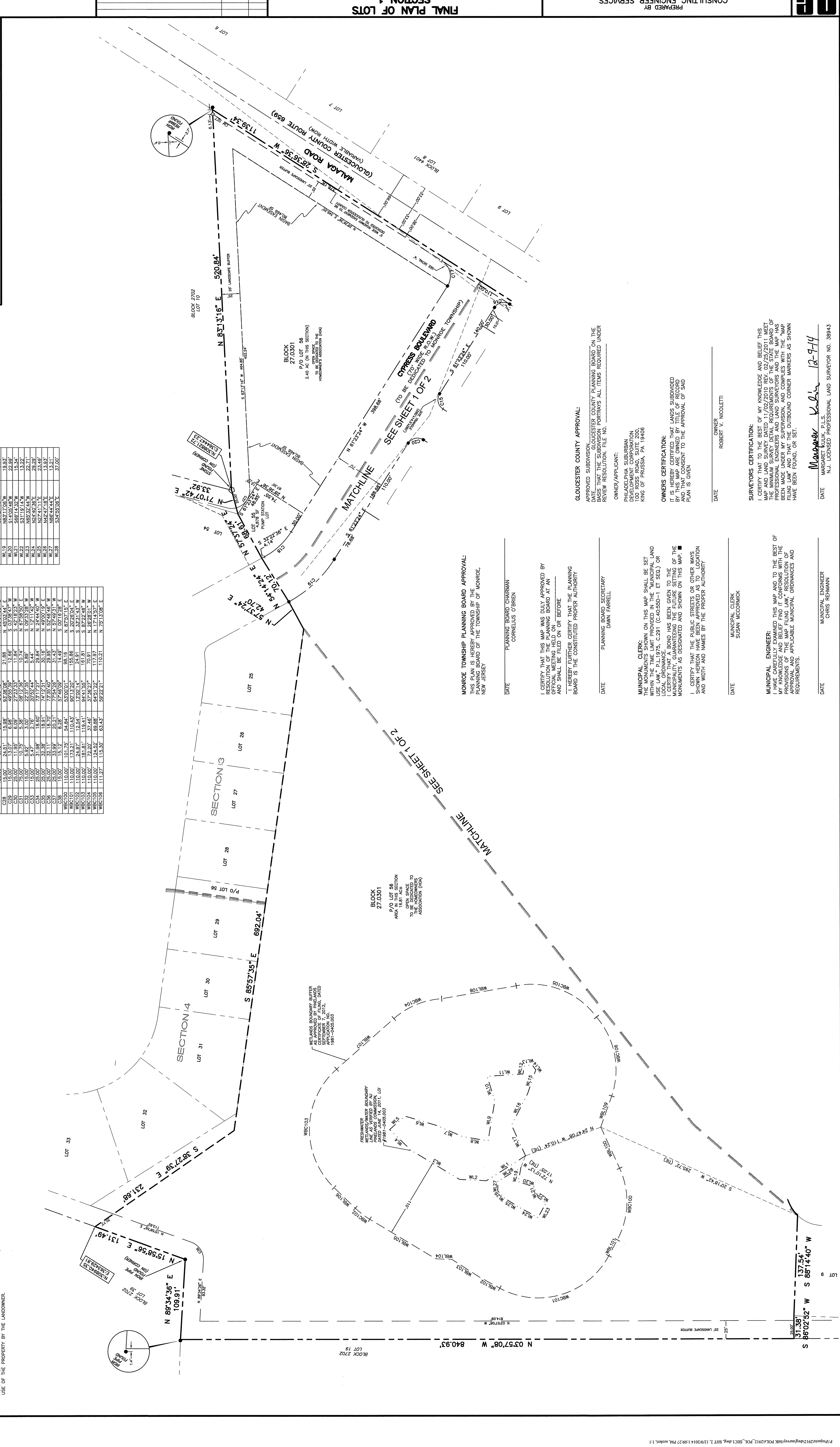
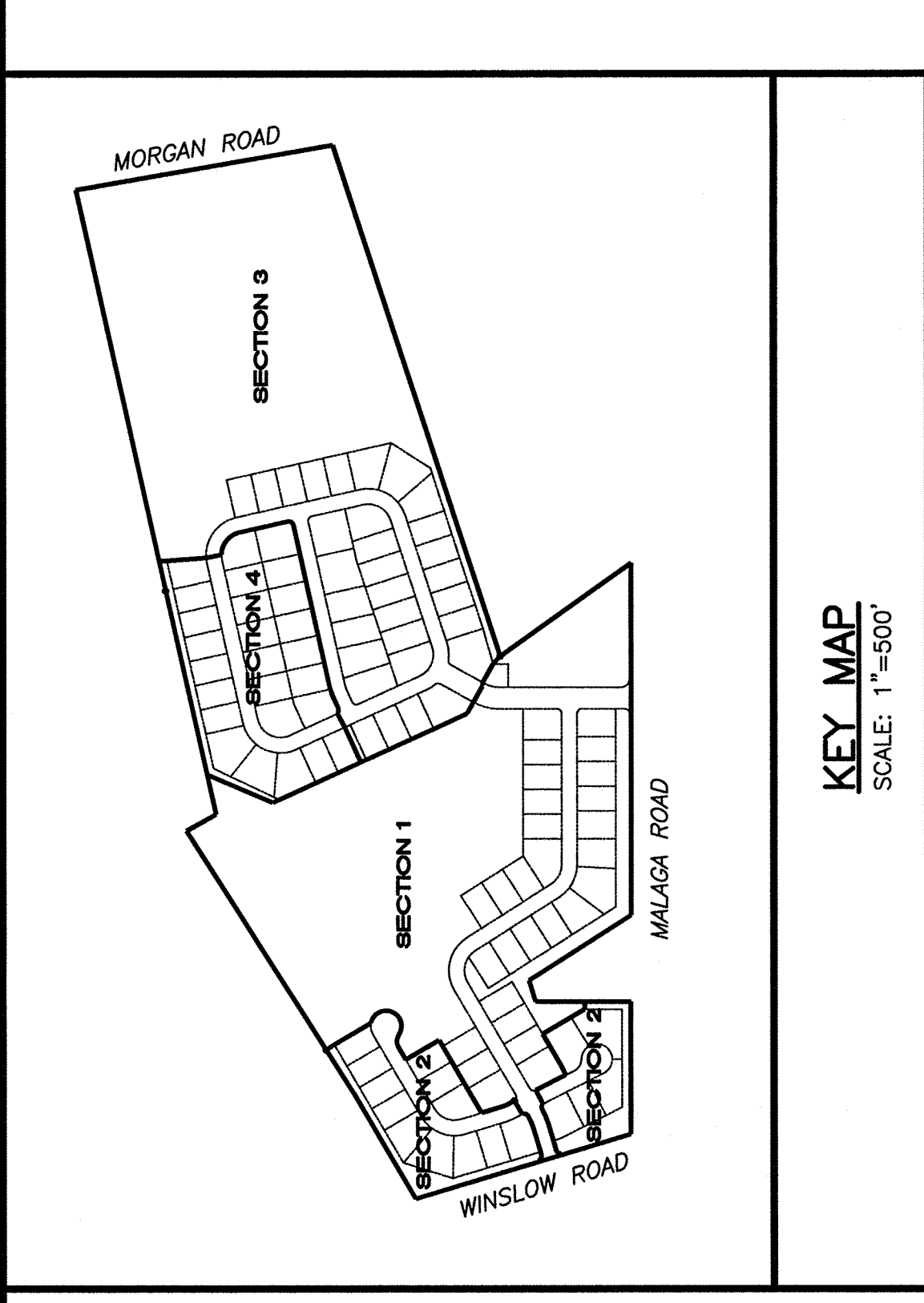
GLOUCESTER COUNTY APPROVAL:
 APPROVED SUBDIVISION GLOUCESTER COUNTY PLANNING BOARD ON THE BASIS THAT THE SUBDIVISION PORTRAYS ALL ITEMS REQUIRED UNDER REVIEW RESOLUTION. FILE NO. _____

OWNER/APPLICANT:
 PHILADELPHIA SUBURBAN DEVELOPMENT CORPORATION
 1000 BUCKLEBOURNE DRIVE
 KING OF PRUSSIA, PA 19406

SURVEYORS CERTIFICATION:
 I, THE UNDERSIGNED, AS A LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I AM THE SURVEYOR OF THIS MAP AND THAT I AM NOT PROVIDING ANY INFORMATION ON THIS MAP THAT IS FALSE OR MISLEADING AND THAT I AM NOT PROVIDING ANY INFORMATION ON THIS MAP THAT IS FALSE OR MISLEADING AND THAT I AM NOT PROVIDING ANY INFORMATION ON THIS MAP THAT IS FALSE OR MISLEADING.

DATE: 12-9-14
MARGARET KULIK, P.L.S.
 N.J. LICENSED PROFESSIONAL LAND SURVEYOR NO. 38943





LINE TABLE

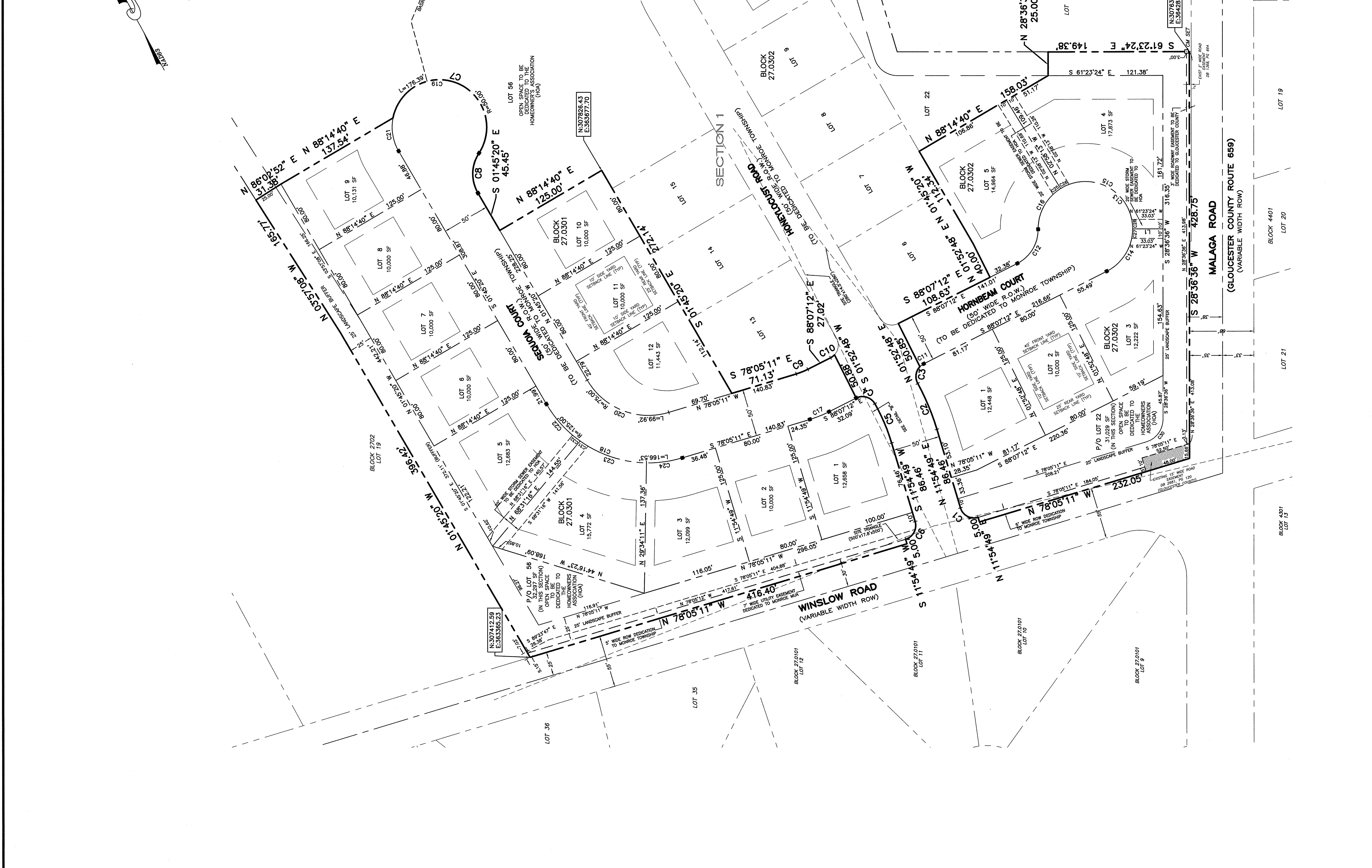
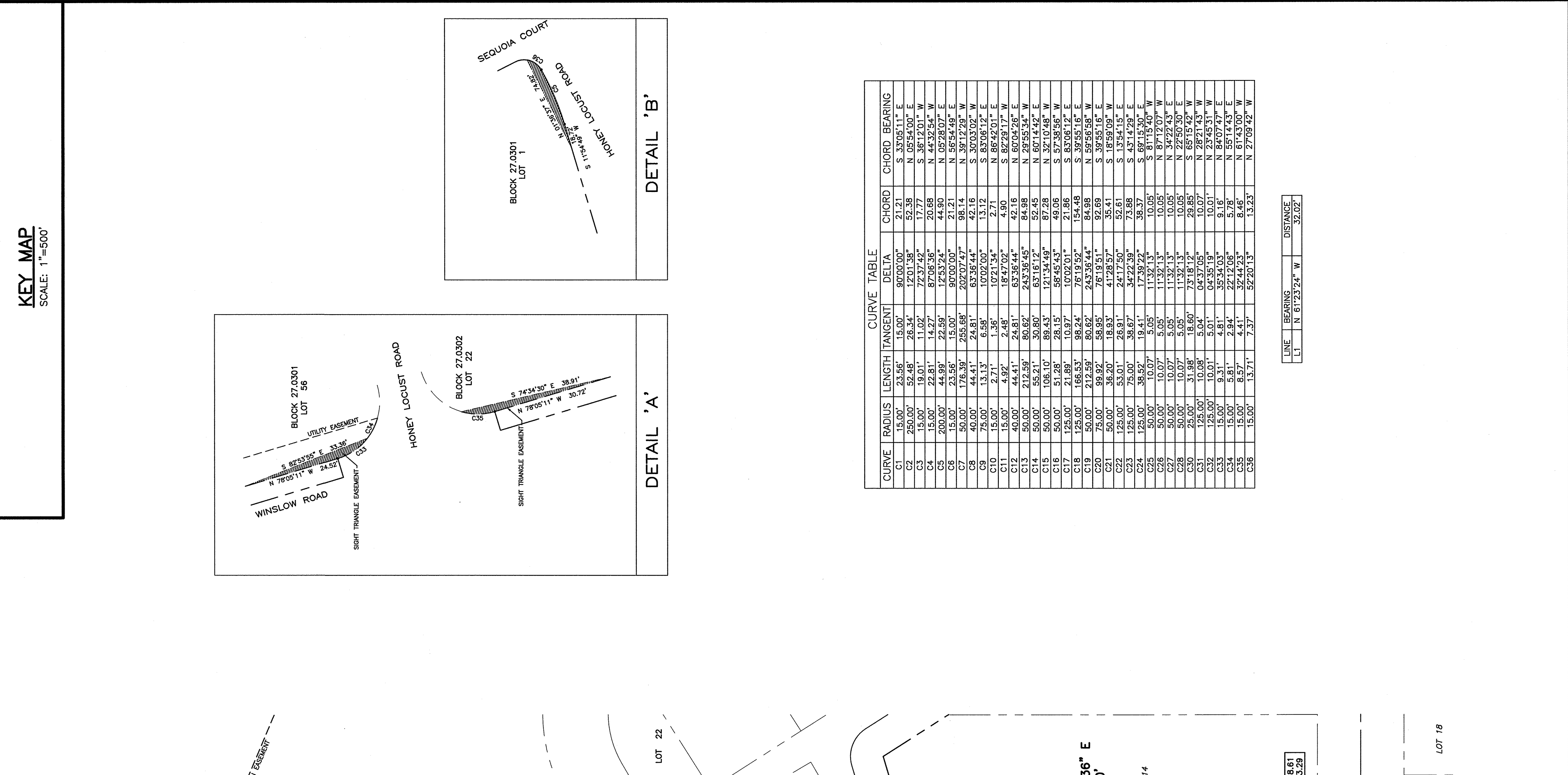
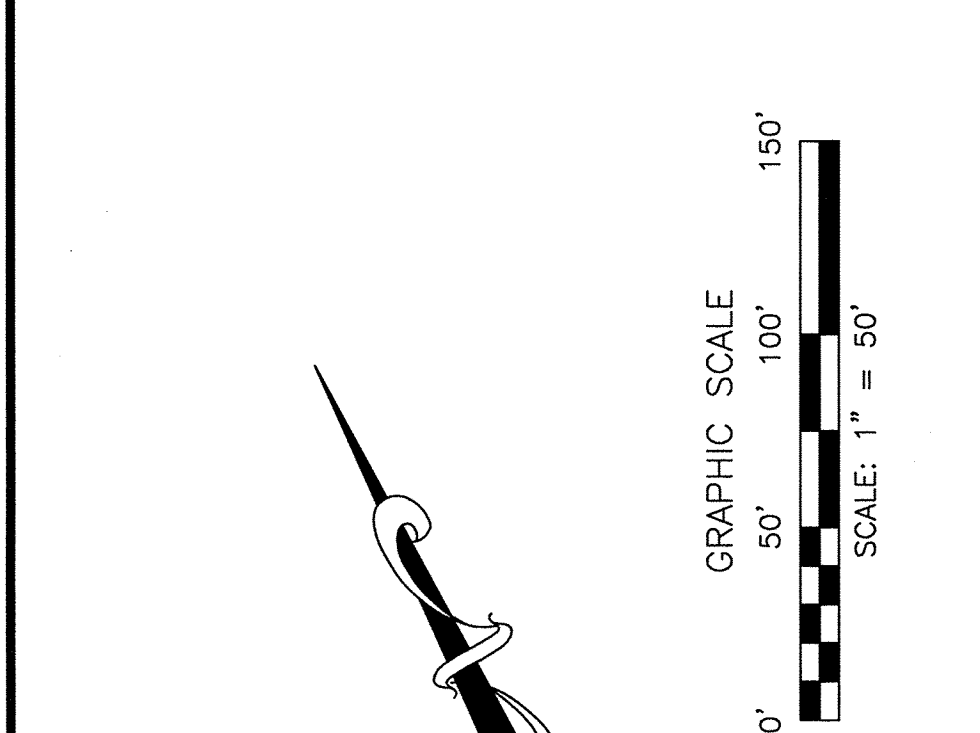
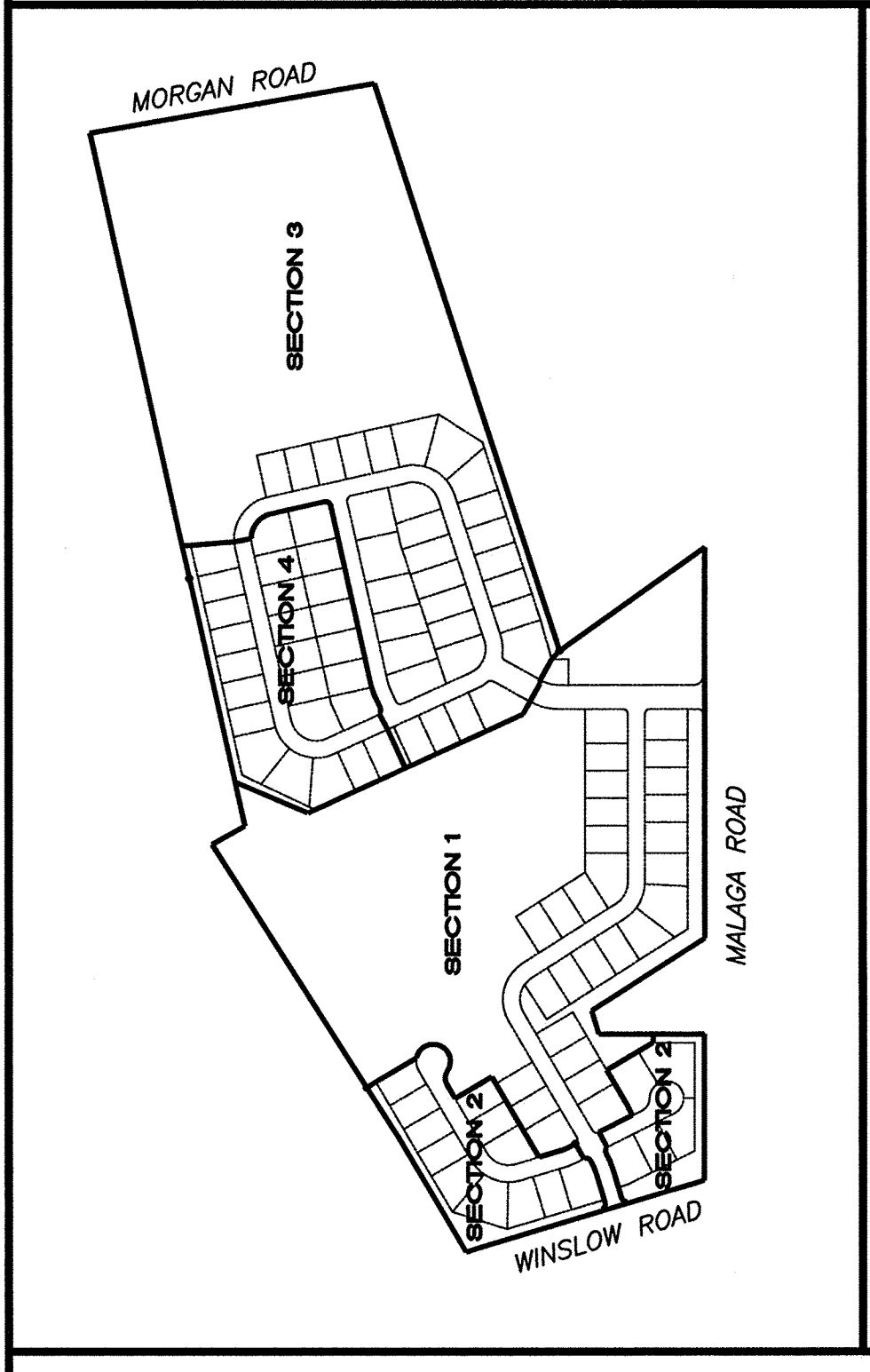
LINE	LINE BEARING	LENGTH
WBL100	S 87°27'15"W	61.91'
WBL101	N 85°32'44"W	24.88'
WBL102	S 87°27'15"W	24.88'
WBL103	N 85°32'44"W	24.88'
WBL104	N 01°06'28"W	22.50'
WBL105	N 72°01'36"E	105.26'
WBL106	S 84°51'11"E	104.72'
WBL107	S 87°27'15"W	61.91'
WBL108	S 87°27'15"W	61.91'
WBL109	N 87°27'15"W	61.91'
WBL110	N 01°06'28"W	38.88'
WBL111	N 72°01'36"E	72.88'
WBL112	S 84°51'11"E	72.87'
WBL113	S 84°51'11"E	46.54'
WBL114	S 84°51'11"E	22.87'
WBL115	S 84°51'11"E	38.88'
WBL116	S 84°51'11"E	38.88'
WBL117	S 84°51'11"E	38.88'
WBL118	S 84°51'11"E	38.88'
WBL119	S 84°51'11"E	38.88'
WBL120	S 84°51'11"E	38.88'
WBL121	S 84°51'11"E	38.88'
WBL122	S 84°51'11"E	38.88'
WBL123	S 84°51'11"E	38.88'
WBL124	S 84°51'11"E	38.88'
WBL125	S 84°51'11"E	38.88'
WBL126	S 84°51'11"E	38.88'
WBL127	S 84°51'11"E	38.88'
WBL128	S 84°51'11"E	38.88'

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	15.00'	23.95'	15.00'	9.000000'	21.21'
C2	250.00'	52.45'	1201.98'	52.38'	S 33°05'11" E
C3	15.00'	18.01'	11.00'	7.297438'	N 85°32'44" W
C4	15.00'	18.01'	11.00'	7.297438'	S 38°27'39" E
C5	200.00'	44.89'	22.50'	15.283244'	N 01°06'28" W
C6	15.00'	23.95'	15.00'	9.000000'	N 87°27'15" E
C7	15.00'	23.95'	15.00'	9.000000'	N 01°06'28" W
C8	40.00'	44.41'	24.81'	13.12'	S 87°27'15" E
C9	75.00'	13.13'	6.88'	10.920201'	S 87°27'15" E
C10	15.00'	5.15'	2.94'	2.94'	S 87°27'15" E
C11	15.00'	5.15'	2.94'	2.94'	N 87°27'15" W
C12	15.00'	22.61'	14.08'	10.671554'	S 44°51'11" E
C13	75.00'	115.00'	72.88'	87.511541'	S 44°51'11" W
C14	75.00'	115.00'	72.88'	87.511541'	S 44°51'11" W
C15	15.00'	23.95'	15.00'	9.000000'	N 87°27'15" E
C16	15.00'	23.95'	15.00'	9.000000'	N 87°27'15" E
C17	15.00'	23.95'	15.00'	9.000000'	N 87°27'15" E
C18	15.00'	23.95'	15.00'	9.000000'	N 87°27'15" E
C19	170.00'	86.08'	43.89'	20.00448'	S 87°27'15" E
C20	15.00'	23.95'	15.00'	9.000000'	S 87°27'15" E
C21	15.00'	23.95'	15.00'	9.000000'	S 87°27'15" E
C22	125.00'	181.89'	120.43'	87.81544'	N 01°06'28" W
C23	75.00'	58.81'	48.36'	62.37352'	N 01°06'28" W
C24	75.00'	58.81'	48.36'	62.37352'	N 01°06'28" W
C25	125.00'	181.89'	120.43'	87.81544'	N 01°06'28" W
C26	125.00'	181.89'	120.43'	87.81544'	N 01°06'28" W
C27	125.00'	181.89'	120.43'	87.81544'	N 01°06'28" W
C28	125.00'	181.89'	120.43'	87.81544'	N 01°06'28" W
C29	15.00'	13.07'	6.89'	12.694939'	N 87°27'15" W
C30	15.00'	13.07'	6.89'	12.694939'	N 87°27'15" W
C31	15.00'	13.07'	6.89'	12.694939'	N 87°27'15" W
C32	15.00'	13.07'	6.89'	12.694939'	N 87°27'15" W
C33	15.00'	13.07'	6.89'	12.694939'	N 87°27'15" W
C34	15.00'	13.07'	6.89'	12.694939'	N 87°27'15" W
C35	25.00'	32.38'	18.91'	24.12131'	N 87°27'15" W
C36	25.00'	32.38'	18.91'	24.12131'	N 87°27'15" W
C37	25.00'	32.38'	18.91'	24.12131'	N 87°27'15" W
C38	15.00'	13.07'	6.89'	12.694939'	N 87°27'15" E
WBC100	10.00'	101.75'	54.84'	53.900201'	N 87°27'15" E
WBC101	10.00'	101.75'	54.84'	53.900201'	N 87°27'15" E
WBC102	10.00'	24.87'	12.84'	13.00114'	N 87°27'15" E
WBC103	10.00'	181.81'	119.41'	94.41585'	N 87°27'15" E
WBC104	10.00'	181.81'	119.41'	94.41585'	N 87°27'15" E
WBC105	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC106	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC107	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC108	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC109	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC110	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC111	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC112	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC113	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC114	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC115	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC116	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC117	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC118	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC119	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC120	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC121	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC122	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC123	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC124	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC125	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC126	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC127	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC128	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC129	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC130	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC131	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC132	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC133	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC134	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC135	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC136	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC137	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC138	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC139	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC140	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC141	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC142	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC143	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC144	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC145	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC146	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC147	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC148	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC149	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC150	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC151	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC152	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC153	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC154	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC155	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC156	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC157	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC158	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC159	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC160	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC161	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC162	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC163	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC164	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC165	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC166	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC167	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC168	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC169	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC170	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC171	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC172	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC173	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC174	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC175	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC176	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC177	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC178	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC179	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC180	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC181	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC182	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC183	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC184	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC185	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC186	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC187	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC188	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC189	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC190	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC191	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC192	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC193	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC194	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC195	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC196	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC197	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC198	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC199	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E
WBC200	10.00'	124.92'	69.88'	64.61322'	N 87°27'15" E

NOTES

- NUMBER OF BUILDING LOTS = 28
- TOTAL AREA OF THIS SECTION = 30.9 AC.±
- TOTAL AREA OF OPEN



MONROE TOWNSHIP PLANNING BOARD APPROVAL:
 PLANNING BOARD SECRETARY
 DAWN FARRELL

I CERTIFY THAT THIS MAP WAS DULY APPROVED BY RESOLUTION OF THE PLANNING BOARD AT AN MEETING HELD ON FEBRUARY 2, 2015 AND SHALL BE FILED ON OR BEFORE FEBRUARY 2, 2015.

PLANNING BOARD SECRETARY
 DAWN FARRELL

MUNICIPAL CLERK:
 SUSAN MCCORMICK

MUNICIPAL ENGINEER:
 CHRIS REHMANN

GLOUCESTER COUNTY APPROVAL:
 APPROVED SUBDIVISION:
 GLOUCESTER COUNTY PLANNING BOARD ON THE DATE THAT THE SUBDIVISION PORTRAYS ALL ITEMS REQUIRED UNDER REVIEW RESOLUTION FILE NO. 2012-001523

OWNER/APPLICANT:
 PHILADELPHIA SUBURBAN
 100 ROSS ROAD, SUITE 200,
 KING OF PRUSSIA, PA 19406

OWNERS CERTIFICATION:
 I HEREBY CERTIFY THAT THE LANDS SUBMITTED BY THIS MAP ARE OWNED BY TITLE OF RECORD AND THAT CONSENT TO THE APPROVAL OF SAID PLAN IS GIVEN

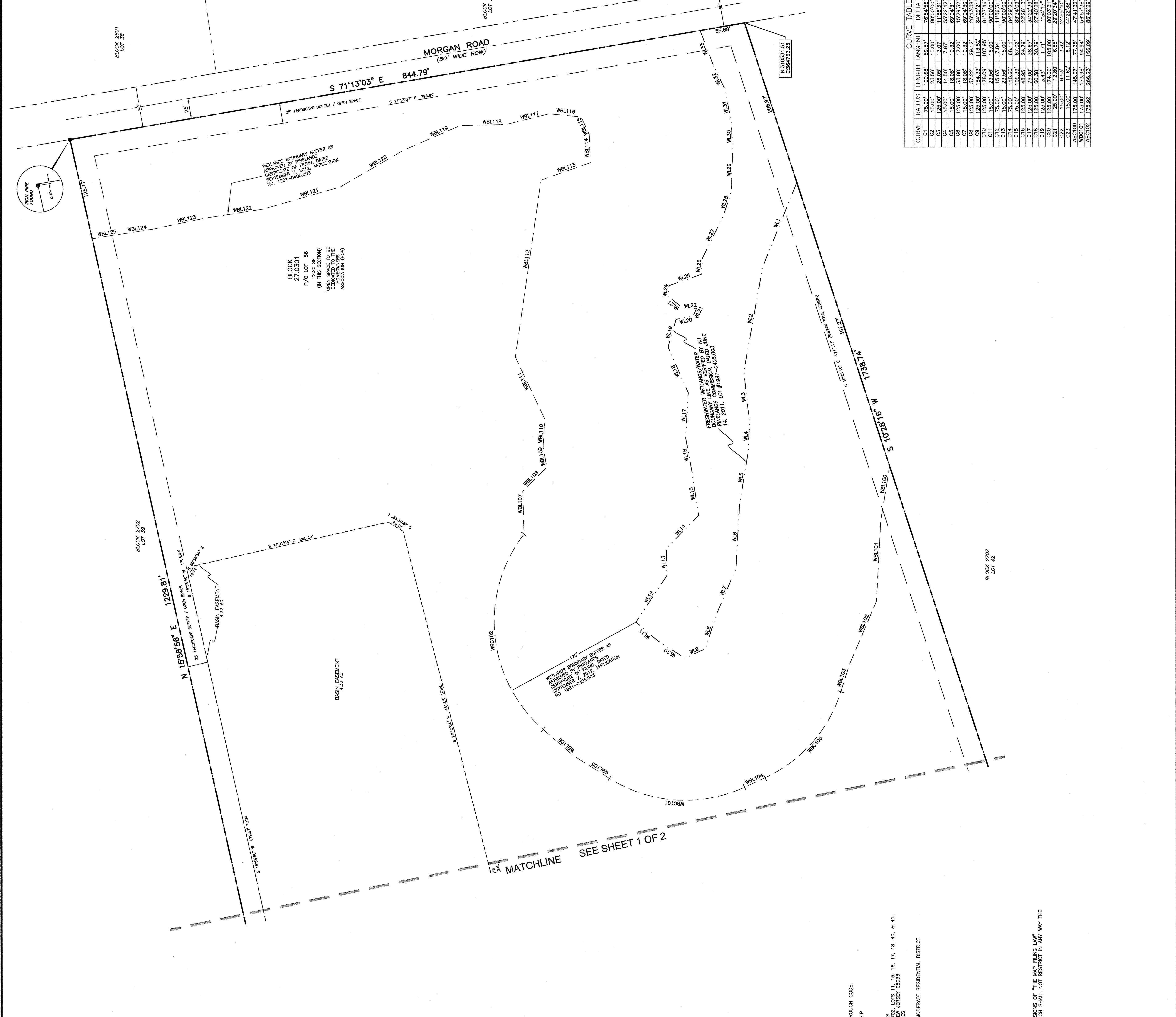
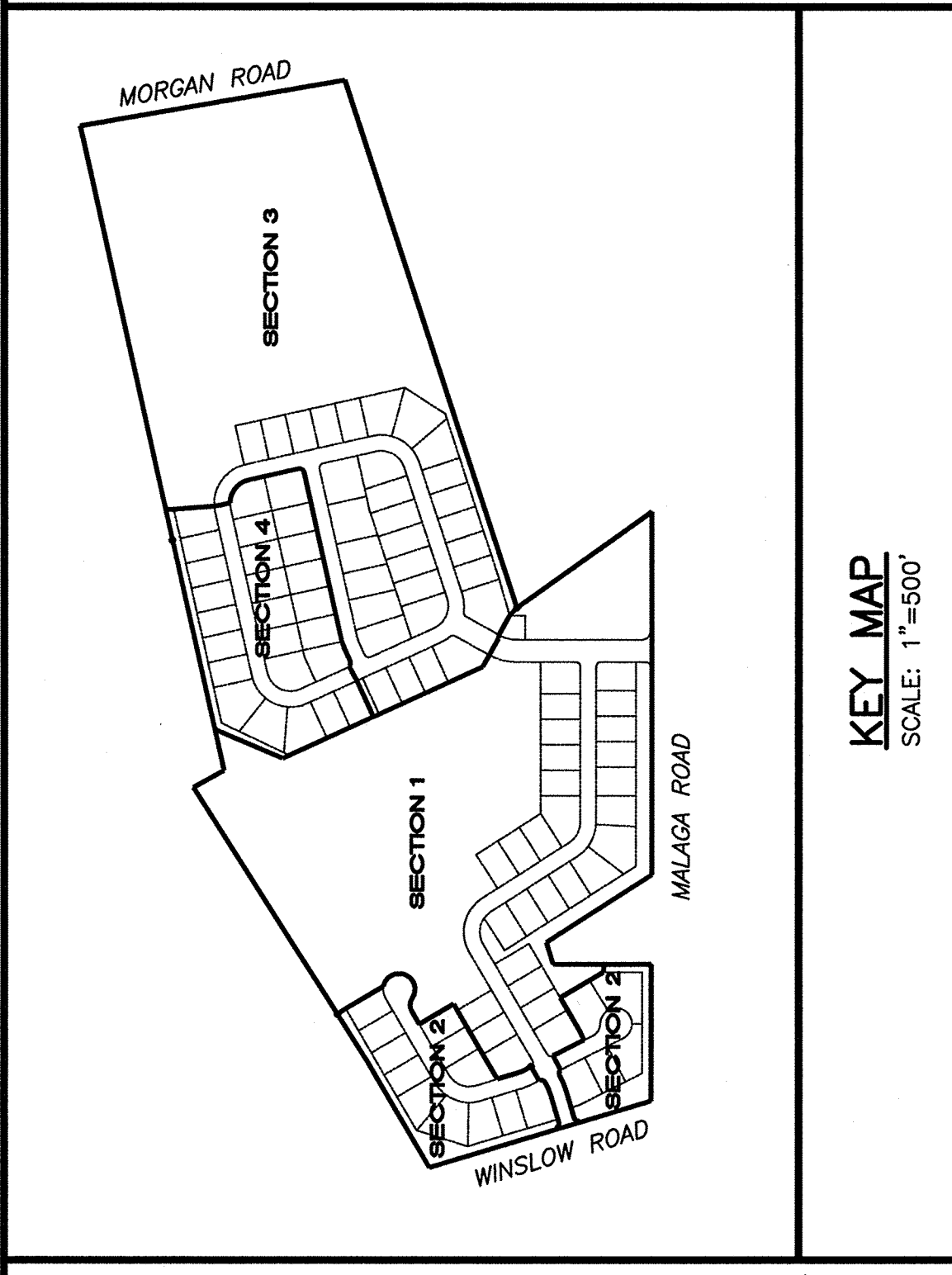
OWNER:
 ROBERT V. NICOLETTI

SURVEYORS CERTIFICATION:
 I, THE UNDERSIGNED, BEING A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF NEW JERSEY, DO HEREBY CERTIFY THAT MY KNOWLEDGE AND BELIEF IN THE ACCURACY OF THIS MAP AND LAND SURVEY DATED 11/02/2010 REV. 02/25/2011 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS AND THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE MAP FILING LAW AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

DATE: 2/04/2015
 MARGARET KULIK, P.L.L.C.
 N.J. LICENSED PROFESSIONAL LAND SURVEYOR NO. 38943

NOTES:
 1. NUMBER OF BUILDING LOTS = 17
 2. TOTAL AREA OF THIS SECTION = 7.36 AC.
 3. TOTAL AREA OF OPEN SPACE IN THIS SECTION = 1.48 AC.
 4. THE PURPOSES PROVIDED FOR AND EXPRESSED IN THE BOROUGH CODE.
 5. EIGHT TRIANGLE EASEMENTS GRANTED TO THE MONROE TOWNSHIP
 6. PROPERTY BOUNDARY INFORMATION BASED UPON:
 a) PLAN ENTITLED: "MORGAN & MALAGA - NEW BROOKLYN ROADS MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY 08033 PREPARED BY CONSULTING ENGINEERS SERVICES 02/25/2011" FILED FOR RECORD IN GLOUCESTER COUNTY, NEW JERSEY 08033
 b) FIELD NOTES: MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY 08033
 7. PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
 8. BULK REQUIREMENTS:
 MINIMUM LOT AREA: 10,000 SF
 MINIMUM LOT FRONTAGE: 75 SF
 MINIMUM LOT WIDTH: 75 SF
 MINIMUM FRONT YARD SETBACK: 40 FT
 MINIMUM REAR YARD SETBACK: 20 FT
 MINIMUM SIDE YARD SETBACK: 20 FT
 MAXIMUM LOT COVERAGE: 30%

9. BY THE FILING OF THIS MAP IN ACCORDANCE WITH THE PROVISIONS OF THE MAP FILING LAW, RESPONSIBLE SURVEY ACCESS TO THE MONUMENTS IS GRANTED, WHICH SHALL NOT RESTRICT IN ANY WAY THE USE OF THE PROPERTY OF THE JURISDICTION.



LINE TABLE

LINE	LINE BEARING	LENGTH
WBL100	S 72°52'58"W	68.21'
WBL101	S 72°52'58"W	83.07'
WBL102	S 51°14'42"W	34.87'
WBL103	S 72°52'58"W	57.82'
WBL104	N 62°28'51"W	48.91'
WBL105	N 72°05'48"E	52.80'
WBL106	N 72°05'48"E	52.80'
WBL107	N 72°05'48"E	52.80'
WBL108	N 72°05'48"E	52.80'
WBL109	N 18°01'53"E	28.11'
WBL110	N 15°58'56"E	34.76'
WBL111	N 15°58'56"E	34.76'
WBL112	N 15°58'56"E	220.18'
WBL113	S 88°52'01"E	64.35'
WBL114	S 88°52'01"E	64.35'
WBL115	N 62°28'51"W	34.87'
WBL116	N 62°28'51"W	34.87'
WBL117	N 72°28'13"W	54.83'
WBL118	N 52°54'48"W	59.75'
WBL119	N 84°54'07"W	75.93'
WBL120	S 88°32'44"W	90.80'
WBL121	N 77°15'45"W	72.99'
WBL122	N 77°15'45"W	72.99'
WBL123	N 72°05'48"E	68.44'
WBL124	N 72°05'48"E	68.44'
WBL125	N 72°05'48"E	58.79'
WBL126	N 72°05'48"E	58.79'
W1	S 84°44'58"W	132.05'
W2	S 84°44'58"W	132.05'
W3	S 84°44'58"W	132.05'
W4	S 84°44'58"W	132.05'
W5	S 37°52'58"W	68.65'
W6	S 37°52'58"W	68.65'
W7	S 37°52'58"W	68.65'
W8	S 46°10'58"W	43.32'
W9	N 62°28'51"W	27.82'
W10	N 62°28'51"W	27.82'
W11	N 62°28'51"W	35.54'
W12	N 62°28'51"W	68.98'
W13	N 62°28'51"W	68.98'
W14	N 62°28'51"W	68.98'
W15	N 62°28'51"W	68.98'
W16	N 62°28'51"W	68.98'
W17	N 62°28'51"W	68.98'
W18	N 62°28'51"W	68.98'
W19	N 62°28'51"W	68.98'
W20	N 62°28'51"W	68.98'
W21	N 62°28'51"W	68.98'
W22	N 62°28'51"W	68.98'
W23	N 62°28'51"W	68.98'
W24	N 62°28'51"W	68.98'
W25	N 62°28'51"W	68.98'
W26	N 62°28'51"W	68.98'
W27	N 62°28'51"W	68.98'
W28	N 62°28'51"W	68.98'
W29	N 62°28'51"W	68.98'
W30	N 62°28'51"W	68.98'
W31	N 62°28'51"W	68.98'
W32	N 62°28'51"W	68.98'
W33	N 62°28'51"W	68.98'

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD	CHORD BEARING
C1	75.00'	100.68'	58.97'	26°54'58"	93.29'	S 87°12'08" W
C2	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C3	125.00'	319.79'	193.79'	8°42'51"	159.84'	N 88°42'51" W
C4	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C5	15.00'	18.08'	10.32'	88°42'51"	17.01'	N 88°42'51" W
C6	125.00'	319.79'	193.79'	8°42'51"	159.84'	N 88°42'51" W
C7	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C8	125.00'	319.79'	193.79'	8°42'51"	159.84'	N 88°42'51" W
C9	125.00'	319.79'	193.79'	8°42'51"	159.84'	N 88°42'51" W
C10	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C11	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C12	75.00'	100.68'	58.97'	11°58'51"	15.65'	S 10°05'40" W
C13	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C14	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C15	75.00'	100.68'	58.97'	83°24'00"	99.95'	N 52°15'00" E
C16	125.00'	319.79'	193.79'	22°28'13"	159.84'	N 88°42'51" W
C17	125.00'	319.79'	193.79'	22°28'13"	159.84'	N 88°42'51" W
C18	125.00'	319.79'	193.79'	27°40'28"	159.84'	N 88°42'51" W
C19	125.00'	319.79'	193.79'	27°40'28"	159.84'	N 88°42'51" W
C20	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C21	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C22	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C23	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C24	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C25	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C26	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C27	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C28	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C29	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W
C30	15.00'	23.86'	15.00'	80°02'00"	21.21'	N 26°12'08" W

MONROE TOWNSHIP PLANNING BOARD APPROVAL:
THIS PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MONROE, NEW JERSEY.

DATE _____ PLANNING BOARD SECRETARY
CORNELIUS OBRIEN
DAWN FARRELL

I, CERTIFY THAT THIS MAP WAS DULY APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MONROE, NEW JERSEY, AT AN OFFICIAL MEETING HELD ON _____ AND SHALL BE FILED ON OR BEFORE _____.

I HEREBY FURTHER CERTIFY THAT THE PLANNING BOARD IS THE CONSTITUTED PROPER AUTHORITY.

DATE _____ PLANNING BOARD SECRETARY
DAWN FARRELL

MUNICIPAL CLERK:
THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE MUNICIPAL LAND USE LAW, P.L. 1975, C.291 (C-40:55D-1 ET SEQ.) OR I, CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

I, CERTIFY THAT THE PUBLIC STREETS OR OTHER WAYS ARE SHOWN AND IDENTIFIED BY THE PLANNING BOARD AND WORTH AND NAMES BY THE PROPER AUTHORITY.

DATE _____ MUNICIPAL CLERK
SUSAN MCCORMICK

MUNICIPAL ENGINEER:
I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP ACCURATELY REPRESENTS THE PROVISIONS OF THE MAP FILING LAW, RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

DATE _____ MUNICIPAL ENGINEER
CHRIS REHMANN

GLOUCESTER COUNTY APPROVAL:
APPROVED SUBDIVISION, GLOUCESTER COUNTY PLANNING BOARD, ON THE BASIS THAT THE SUBDIVISION FORTIFIES ALL ITEMS REQUIRED UNDER REVIEW RESOLUTION. FILE NO. _____.

OWNER/APPLICANT:
CHILASO CHIA SUBURBAN DEVELOPMENT CORPORATION
100 ROSS ROAD, SUITE 200,
KING OF PRUSSIA, PA 19406

OWNERS CERTIFICATION:
IT IS HEREBY CERTIFIED THAT LANDS SUBDIVIDED BY THIS MAP ARE OWNED BY TITLE OF RECORD AND THAT THE PLANNING BOARD HAS REVIEWED THIS PLAN IS GIVEN.

DATE _____ OWNER
ROBERT V. NICOLETTI

SURVEYORS CERTIFICATION:
I, CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 11/02/2010 REV. 02/25/2011 MEET THE REQUIREMENTS OF THE MAP FILING LAW, RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS. THIS MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLEES WITH THE MAP FILING LAW AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

DATE 12-9-14 Margaret Kulk, P.L.S.
MARGARET KULK, P.L.S.
N.J. LICENSED PROFESSIONAL LAND SURVEYOR NO. 38943

NOTES:

- NUMBER OF BUILDING LOTS = 31
- TOTAL AREA OF THIS SECTION = 33.59 AC±
- TOTAL AREA OF OPEN SPACE IN THIS SECTION = 22.28 AC± FOR THE PURPOSES PROVIDED FOR AND EXPRESSED IN THE BÜRROUGH CODE.
- SIGHT TRIANGLE EASEMENTS GRANTED TO THE MONROE TOWNSHIP
- PROPERTY BOUNDARY INFORMATION BASED UPON:
a) PLAN ENTITLED: PLAN OF SURVEY, MALAGA & MORGAN ROADS, MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY 08023 PREPARED BY CONSULTING ENGINEERS, PLANNERS & LAND SURVEYORS

6. PROPERTY IN QUESTION IS ZONED: RG-RH, REGIONAL GROWTH MODERATE RESIDENTIAL DISTRICT

7. PROPOSED LAND USE IS SINGLE FAMILY RESIDENTIAL

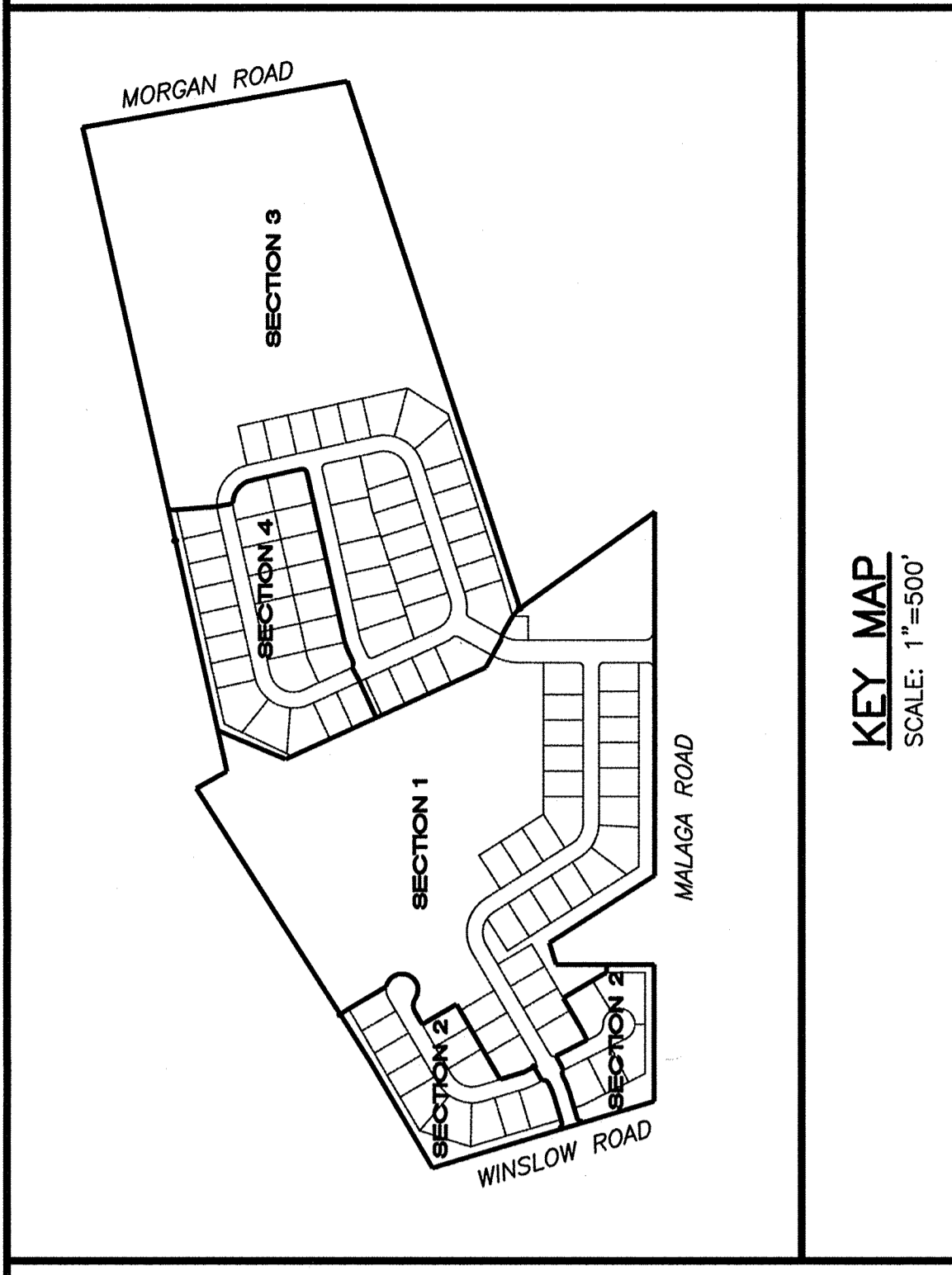
8. BULK REQUIREMENTS:

DESCRIPTION	MINIMUM LOT AREA:	MINIMUM LOT FRONTAGE:	MINIMUM LOT WIDTH:	MINIMUM REAR YARD SETBACK:	MINIMUM SIDE YARD SETBACK:	MINIMUM LOT COVERAGE:
	10,000 SF	75 SF	75 SF	40 FT	20 FT	30%

9. BY THE FILING OF THIS MAP IN ACCORDANCE WITH THE PROVISIONS OF THE MAP FILING LAW, RESPONSIBLE SURVEY ACCESS TO ALL MONUMENTS IS GRANTED, WHICH SHALL NOT RESTRICT IN ANY WAY THE USE OF THE PROPERTY OF THE LANDOWNER.

NO.	DATE	REVISIONS

FINAL PLAN OF LOTS
 SECTION 4
 MALAGA ROAD TRACT
 BLOCK 2702, LOTS 1, 15, 17, 40 AND 41
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY



MONROE TOWNSHIP PLANNING BOARD APPROVAL:
 THIS PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MONROE, NEW JERSEY.

DATE: _____ PLANNING BOARD CHAIRMAN: CORNELIUS O'BRIEN

I CERTIFY THAT THIS MAP WAS DULY APPROVED BY RESOLUTION OF THE PLANNING BOARD AT AN OFFICIAL MEETING HELD ON _____ AND SHALL BE FILED ON OR BEFORE _____.

I HEREBY FURTHER CERTIFY THAT THE PLANNING BOARD IS THE CONSTITUTED PROPER AUTHORITY.

DATE: _____ PLANNING BOARD SECRETARY: DANNY FARRELL

MUNICIPAL CLERK:
 THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE MUNICIPAL LAND SURVEYOR'S ACT, N.J.A.C. 17:27, OR LOCAL ORDINANCE, C.291 (G.A.9859-1 ET SEQ.) OR LOCAL ORDINANCE, C.291 (G.A.9859-1 ET SEQ.) OR LOCAL ORDINANCE, C.291 (G.A.9859-1 ET SEQ.).

I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE TOWNSHIP OF MONROE, NEW JERSEY, IN THE AMOUNT OF \$10,000.00 TO COVER THE COST OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

I CERTIFY THAT THE PUBLIC STREETS OR OTHER WAYS SHOWN HEREON HAVE BEEN APPROVED AS TO LOCATION AND WIDTH AND NAMES BY THE PROPER AUTHORITY.

DATE: _____ MUNICIPAL CLERK: SUSAN MCCORMICK

MUNICIPAL ENGINEER:
 I HAVE REVIEWED THIS MAP AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, FIND IT CONFORMS WITH THE PROVISIONS OF THE MAP FILING LAW, RESOLUTION OF APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

DATE: _____ MUNICIPAL ENGINEER: CHRIS REHMAN

GLOUCESTER COUNTY APPROVAL:
 APPROVED SUBDIVISION: GLOUCESTER COUNTY PLANNING BOARD ON THE BASIS THAT THE SUBDIVISION PORTRAYS ALL ITEMS REQUIRED UNDER REVIEW RESOLUTION. FILE NO. _____

OWNER/APPLICANT:
 PHILADELPHIA SUBURBAN DEVELOPMENT CORPORATION
 1000 W. KING OF PRUSSIA, PA 19406

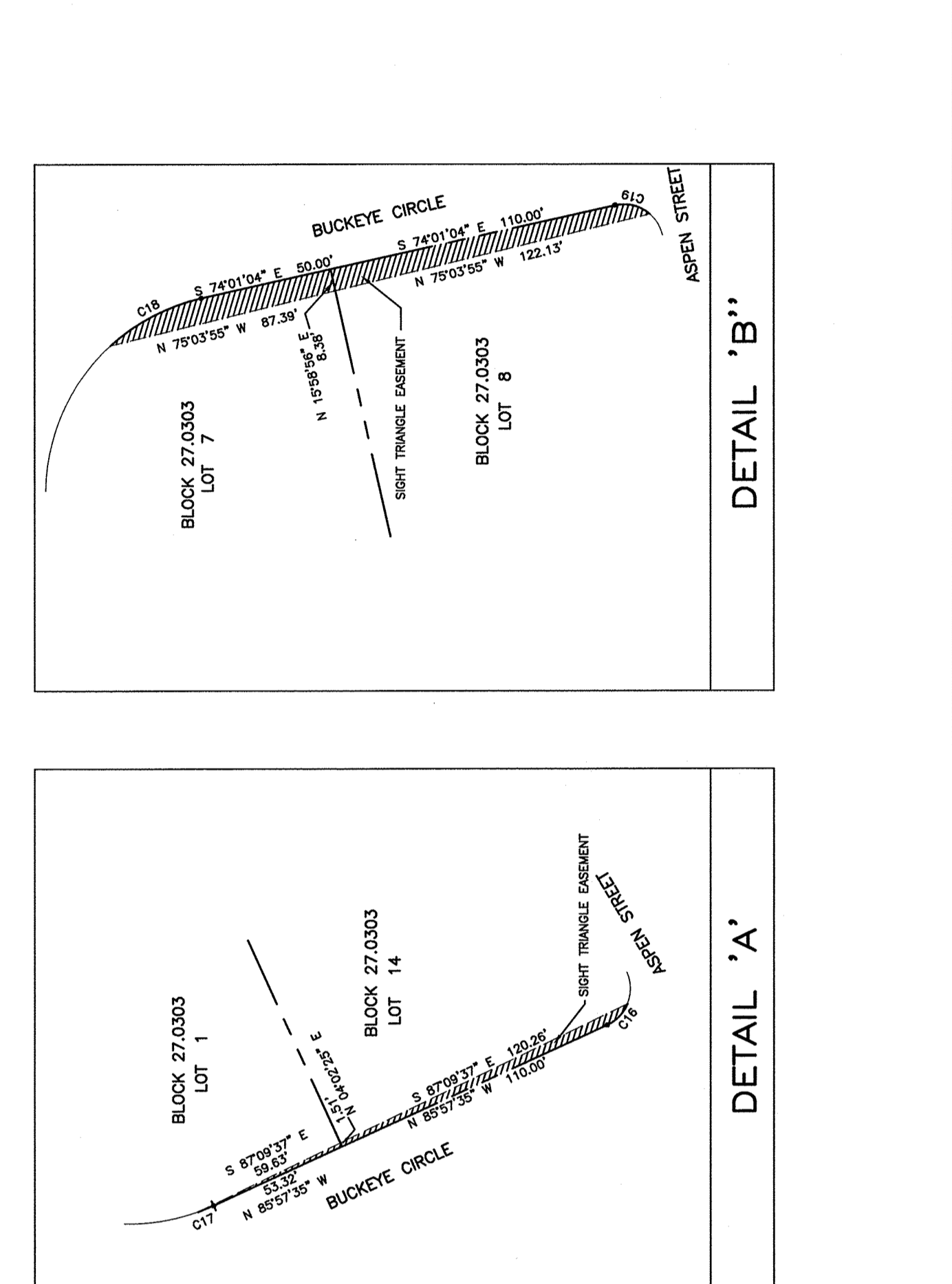
OWNERS CERTIFICATION:
 IT IS HEREBY CERTIFIED THAT LANDS SUBDIVIDED HEREON ARE THE SEVERAL LOTS OF THE MALAGA ROAD TRACT AND THAT CONSENT TO THE APPROVAL OF SAID PLAN IS GIVEN.

DATE: _____ OWNER: ROBERT V. NICOLETTI

SURVEYORS CERTIFICATION:
 I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP WAS PREPARED IN ACCORDANCE WITH THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLES WITH THE MAP ACT, N.J.A.C. 17:27, AND ALL APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS AS SHOWN ON THIS MAP.

DATE: 12-9-14 MARGARET KULIK
 N.J. LICENSED PROFESSIONAL LAND SURVEYOR NO. 38943

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD	CHORD BEARING
C1	75.00'	100.68'	59.57'	76.545°	93.29'	S. 82°31'28" W.
C2	15.00'	23.45'	15.00'	90.000°	21.21'	N. 82°01'04" W.
C3	15.00'	23.45'	15.00'	90.000°	21.21'	N. 82°01'04" W.
C4	15.00'	23.45'	15.00'	90.000°	21.21'	N. 82°01'04" W.
C5	75.00'	133.44'	82.42'	101.563°	116.52'	S. 34°59'20" E.
C6	75.00'	17.13'	8.60'	93.000°	18.09'	S. 23°17'25" W.
C7	75.00'	222.40'	154.20'	101.563°	194.21'	S. 34°59'20" E.
C8	125.00'	222.40'	154.20'	101.563°	194.21'	S. 34°59'20" E.
C9	15.00'	9.66'	4.68'	94.377°	8.93'	N. 82°42'45" W.
C10	125.00'	25.00'	15.00'	90.000°	21.21'	N. 82°01'04" W.
C11	125.00'	25.00'	15.00'	90.000°	21.21'	N. 82°01'04" W.
C12	125.00'	25.00'	15.00'	90.000°	21.21'	N. 82°01'04" W.
C13	125.00'	25.00'	15.00'	90.000°	21.21'	N. 82°01'04" W.
C14	125.00'	25.00'	15.00'	90.000°	21.21'	N. 82°01'04" W.
C15	75.00'	117.81'	75.00'	90.000°	106.07'	S. 45°58'56" W.
C16	75.00'	117.81'	75.00'	90.000°	106.07'	S. 45°58'56" W.
C17	75.00'	117.81'	75.00'	90.000°	106.07'	S. 45°58'56" W.
C18	75.00'	39.13'	20.02'	99.937°	39.68'	N. 88°57'47" W.
C19	75.00'	14.09'	7.61'	95.493°	13.58'	N. 79°51'13" W.
C20	75.00'	14.09'	7.61'	95.493°	13.58'	N. 79°51'13" W.
C21	133.85'	22.82'	11.20'	84.637°	22.49'	S. 80°04'24" W.



- NOTES:**
- NUMBER OF BUILDING LOTS = 26
 - TOTAL AREA OF THIS SECTION = 8.46 AC.±
 - TOTAL AREA OF OPEN SPACE IN THIS SECTION = 0.52 AC.± FOR THE PURPOSES PROVIDED FOR AND EXPRESSED IN THE BOROUGHS CODE.
 - SHORT TRANGLE EASEMENTS GRANTED TO THE MONROE TOWNSHIP.
 - PROPERTY BOUNDARY INFORMATION BASED UPON:
 - PLAN ENTITLED: PLAN OF SURVEY OF MONROE TOWNSHIP, NEW JERSEY, MONROE & MALAGA PLATES 28 & 27, BLOCK 2702, LOTS 1, 15, 17, 40, & 41, PREPARED BY CONSULTING ENGINEERS SERVICES, INC., SICKLEVILLE, PA, DATED 11/02/2010, REVISED 02/25/2011
 - PROPERTY IN QUESTION IS ZONED: RC-MR, REGIONAL GROWTH MODERATE RESIDENTIAL DISTRICT
 - PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
 - BULK REQUIREMENTS:

DESCRIPTION	MINIMUM LOT AREA:	10,000 SF
MINIMUM LOT FRONTAGE:	75.00 FT	
MINIMUM FRONT YARD SETBACK:	40 FT	
MINIMUM REAR YARD SETBACK:	10 FT	
MINIMUM SIDE YARD SETBACK:	25 FT	
MINIMUM LOT COVERAGE:	30%	
- IF ANY EASEMENTS OR INTERESTS ARE SHOWN ON THIS MAP, THE SAME SHALL NOT RESTRICT IN ANY WAY THE USE OF THE PROPERTY BY THE LANDOWNER.