



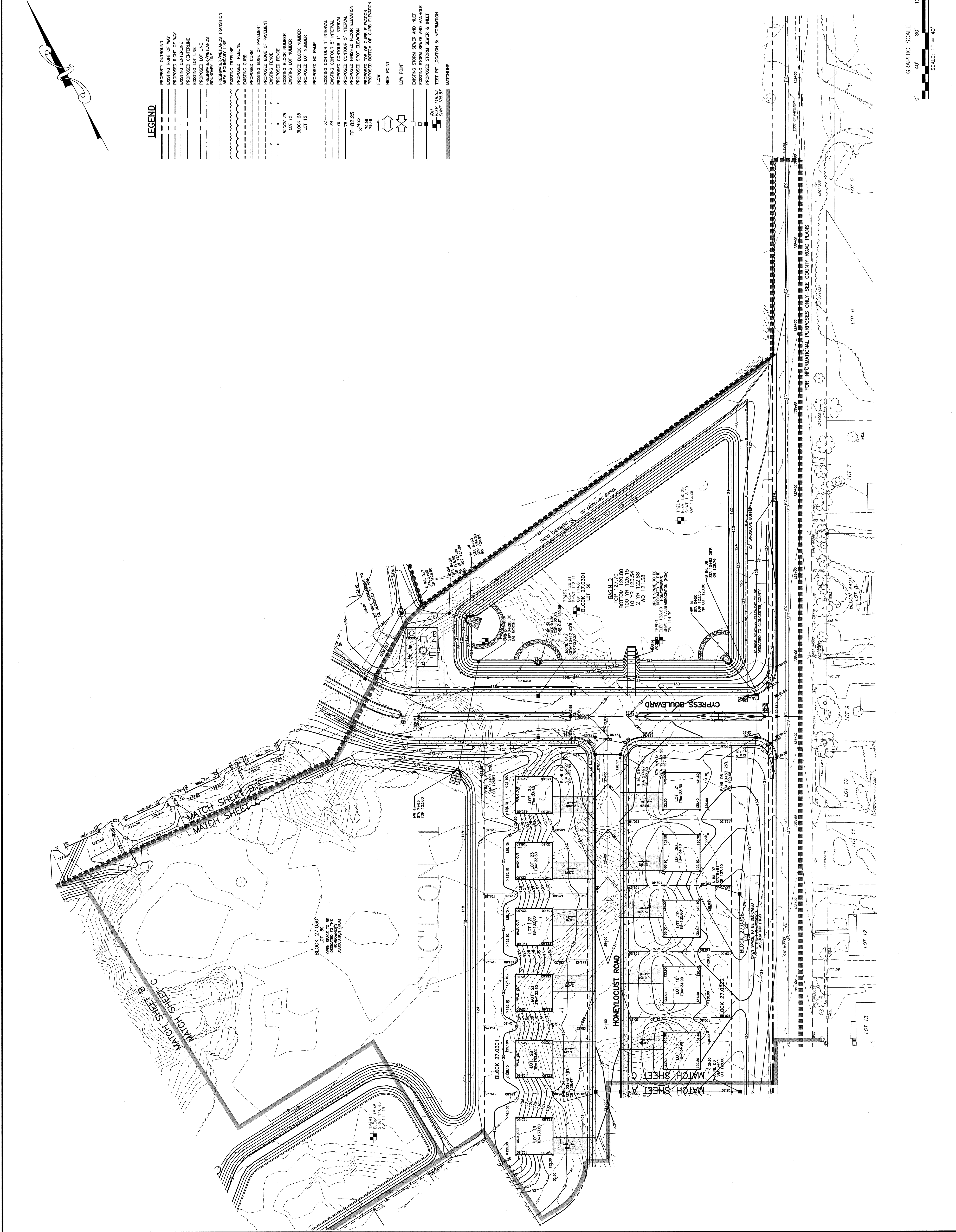
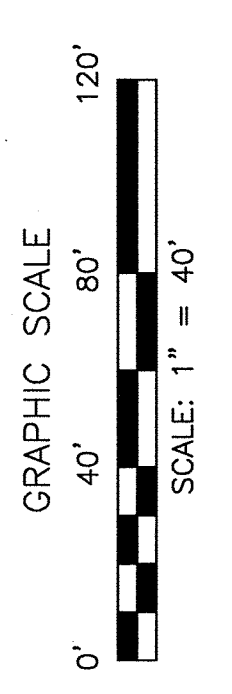
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 CONSULTING ENGINEER SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD,
 SUITE 1, SICKLEVILLE, NEW JERSEY
 PHONE (908) 228-2200 - FAX (908) 232-2346 - EMAIL des@ces1.com
 M.I. CERTIFICATE OF AUTHORIZATION NO. 24642979700
 CES No. 2912 FILE No. 2912.0001 DRAWN BY: LAM

PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

GRADING PLAN - SHEET C

DATE	REVISIONS
12/05/14	REVISED FOR FINAL SUBMISSION
04/15/14	PER PER MAJIA REVIEW COMMENTS
02/26/14	PER KERRYAN REVIEW LETTER DATED 01/29/14
11/19/13	REVISED PER COMMENTS FROM THE BOARD OF PLANNING AND ZONING
11/19/13	REVISED PER COMMENTS FROM THE BOARD OF PLANNING AND ZONING
10/24/12	ADDED ISLANDS OPENING ON RD A
05/14/12	PER PHILIPAS REVIEW LISTS DATED MARCH 28 & 30, 2012
05/14/12	REVISED PER COMMENTS FROM THE BOARD OF PLANNING AND ZONING

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
 12/6/2014
 DATE



LEGEND

- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- FRESHWATER/WETLANDS BOUNDARY LINE
- FRESHWATER/WETLANDS TRANSITION
- EXISTING TREELINE
- PROPOSED TREELINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING BLOCK NUMBER
- PROPOSED BLOCK NUMBER
- EXISTING LOT NUMBER
- PROPOSED LOT NUMBER
- PROPOSED HC RAMP
- EXISTING CONTOUR 1' INTERVAL
- EXISTING CONTOUR 5' INTERVAL
- PROPOSED CONTOUR 1' INTERVAL
- PROPOSED CONTOUR 5' INTERVAL
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED BOTTOM OF CURB ELEVATION
- FLOW
- HIGH POINT
- LOW POINT
- EXISTING STORM SEWER AND INLET
- EXISTING STORM SEWER AND MANHOLE
- PROPOSED STORM SEWER & INLET
- TEST PIT LOCATION & INFORMATION
- MATCHLINE



CONSULTING ENGINEERS SERVICES
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY
 PHONE (953) 228-2200 - FAX (953) 232-2346 - EMAIL: de@cesnj.com
 N.J. CERTIFICATE OF AUTHORIZATION NO. 2462497700
 DRAWN BY: LAM

MALAGA ROAD TRACT
 UTILITY PLAN - SHEET E
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
 DATE: 10/18/2014

DATE	REVISIONS
09/14/12	PER PHILANDROS REVIEW LINES DATED MARCH 22 & 30, 2012
07/23/12	PER PHILANDROS REVIEW-SOIL REPLACEMENT
10/24/12	ADDED METLANDS BUFFER CALL OUTS
11/27/12	PER MIA 12/15/12 REVIEW LETTER #12/15-13 REVISIONS
02/28/13	PER MIA REVIEW LETTER #12/15-13 REVISIONS
04/15/14	REVISED PER MIA REVIEW COMMENTS
12/05/14	REMOVED FOR FINAL SUBMISSION

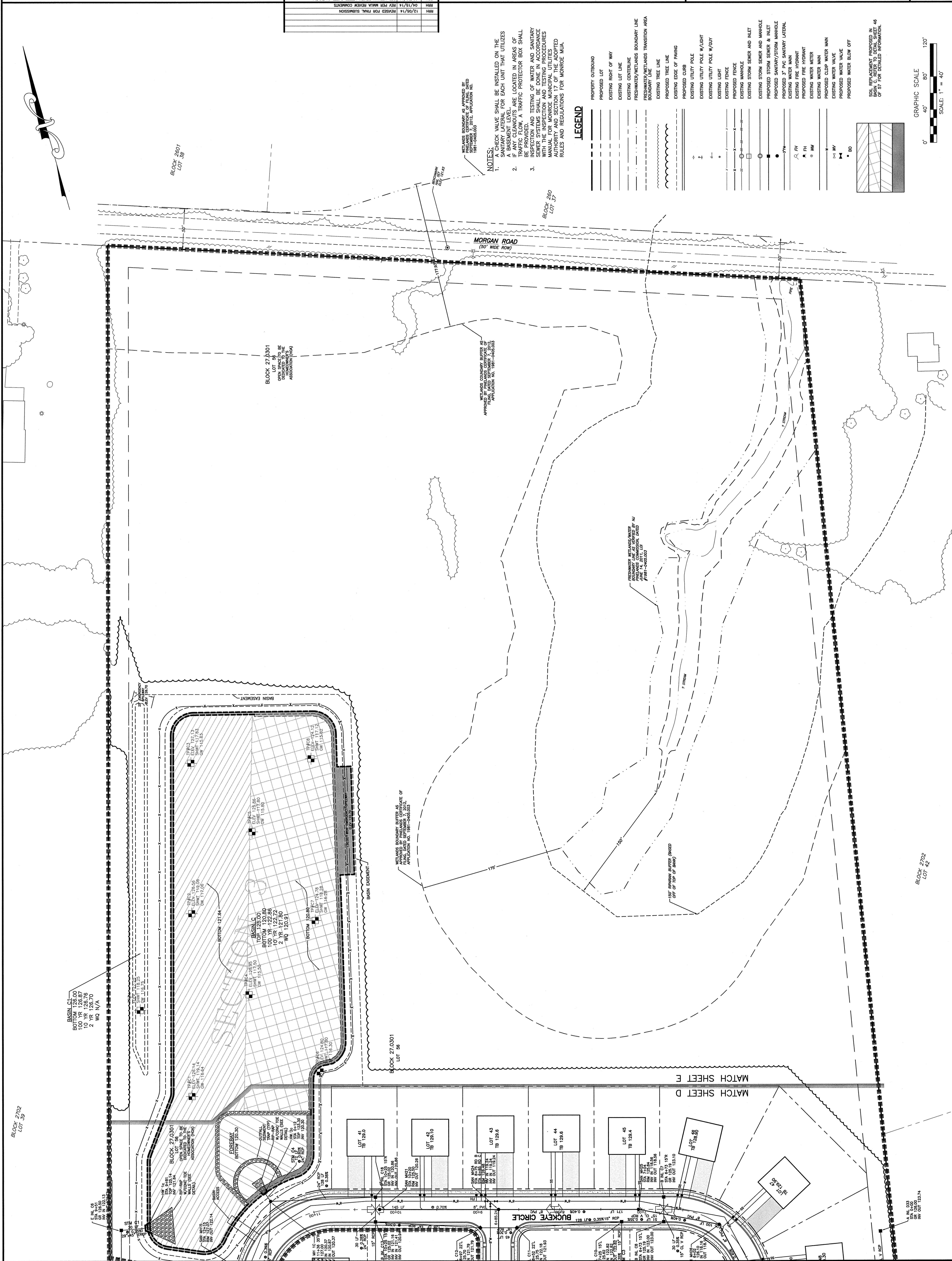
LEGEND

- PROPERTY OUTBOUND
- PROPOSED LOT
- EXISTING RIGHT OF WAY
- EXISTING LOT LINE
- EXISTING CENTERLINE
- FRESHWATER/METLANDS BOUNDARY LINE
- FRESHWATER/METLANDS TRANSITION AREA
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING EDGE OF PAVING
- PROPOSED CURB
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE W/LIGHT
- EXISTING UTILITY POLE W/OUT
- EXISTING LIGHT
- PROPOSED FENCE
- EXISTING MANHOLE
- EXISTING STORM SEWER AND INLET
- EXISTING STORM SEWER AND MANHOLE
- PROPOSED STORM SEWER & INLET
- PROPOSED 3" PVC SANITARY LATERAL
- EXISTING WATER MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER MAIN
- EXISTING CLUMP WATER MAIN
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- PROPOSED WATER EDGW OFF

SOIL RES. ASSUMED PROPOSED IN BASIN. C. REFERS TO DETAIL SHEET 46 OF 57 FOR DETAILED INFORMATION.

GRAPHIC SCALE: 1" = 40'
 0' 40' 80' 120'

- NOTES:**
- A CHECK VALVE SHALL BE INSTALLED ON THE SANITARY LATERAL FOR EACH UNIT THAT UTILIZES A BASEMENT LEVEL.
 - IF ANY CLEANOUTS ARE LOCATED IN AREAS OF TRAFFIC OR A TRAFFIC PROTECTOR BOX SHALL BE PROVIDED.
 - INSPECTION AND TESTING OF WATER AND SANITARY SEWER SYSTEMS SHALL BE DONE IN ACCORDANCE WITH THE STANDARD TESTING PROCEDURES MANUAL FOR MONROE MUNICIPAL UTILITIES AUTHORITY AND SECTION 17 OF THE ADOPTED RULES AND REGULATIONS FOR MONROE MUA.

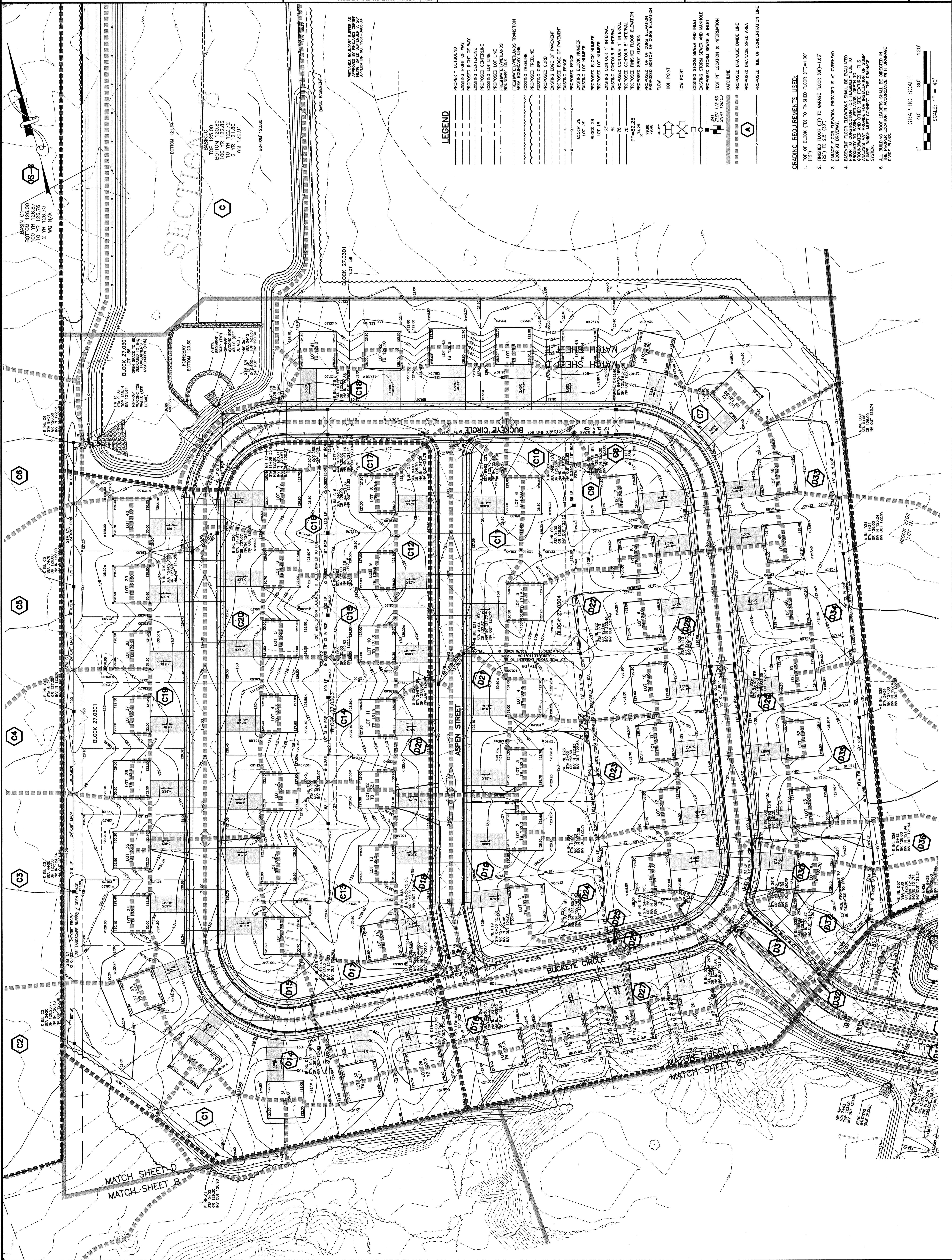




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 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BRUNN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY
 PHONE (908) 228-2200 - FAX (908) 232-2346 - EMAIL design@ces-1.com
 08000

DRAINAGE DIVIDE PLAN - SHEET D
 MALAGA ROAD TRACT
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
 DATE: 12/18/10

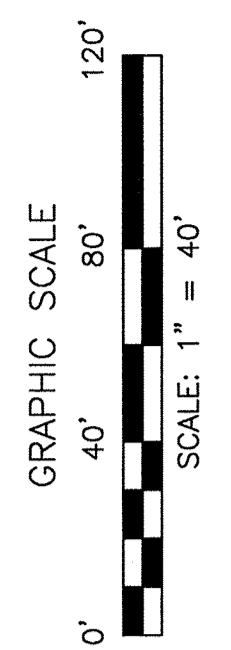


LEGEND

- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- FRESHWATER/WETLANDS BOUNDARY LINE
- AREA BOUNDARY LINE
- EXISTING TREELINE
- PROPOSED TREELINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING BLOCK NUMBER
- PROPOSED BLOCK NUMBER
- EXISTING LOT NUMBER
- PROPOSED LOT NUMBER
- EXISTING CONTOUR 1' INTERVAL
- PROPOSED CONTOUR 1' INTERVAL
- EXISTING CONTOUR 5' INTERVAL
- PROPOSED CONTOUR 5' INTERVAL
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED BOTTOM OF CURB ELEVATION
- FLOW
- HIGH POINT
- LOW POINT
- EXISTING STORM SEWER AND INLET
- PROPOSED STORM SEWER AND INLET
- TEST PIT LOCATION & INFORMATION
- MATCHLINE
- PROPOSED DRAINAGE DIVIDE LINE
- PROPOSED DRAINAGE SHED AREA
- PROPOSED TIME OF CONCENTRATION LINE

GRADING REQUIREMENTS USED:

1. TOP OF BLOCK (19) TO FINISHED FLOOR (FF)=1.00'
2. TOP OF BLOCK (19) TO GARAGE FLOOR (GF)=1.35'
3. GARAGE FLOOR ELEVATION PROVIDED IS AT OVERHEAD DOOR AT DRIVEWAY.
4. BASEMENT FLOOR ELEVATIONS SHALL BE EVALUATED PRIOR TO CONSTRUCTION FOR FEASIBILITY. DUE TO UNDERGROUND WATER TABLE AND OTHER SITE FEATURES, THIS PROJECT MAY REQUIRE DRAINAGE PUMPS, WHICH MUST CONNECT TO THE DRAINAGE SYSTEM.
5. ALL BUILDING ROOF LEADERS SHALL BE DIRECTED IN ACCORDANCE WITH DRAINAGE DIVIDE PLANS.



DATE	DESCRIPTION
12/05/14	REVISED FOR FINAL SUBMISSION
04/15/14	REVISED PER MALAGA REVIEW COMMENTS
11/07/13	PER MALAGA REVIEW COMMENTS
10/24/12	PER PLANNING REVIEW COMMENTS
09/11/12	PER PLANNING REVIEW COMMENTS

THIS PLAN IS A PROFESSIONAL ENGINEER'S DESIGN AND THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE DRAINAGE DIVIDE PLAN. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF ALL OTHER INFORMATION PROVIDED. THE ENGINEER'S DESIGN IS BASED ON THE INFORMATION PROVIDED AND DOES NOT CONSTITUTE A GUARANTEE OF PERFORMANCE. THE ENGINEER'S DESIGN IS BASED ON THE INFORMATION PROVIDED AND DOES NOT CONSTITUTE A GUARANTEE OF PERFORMANCE.

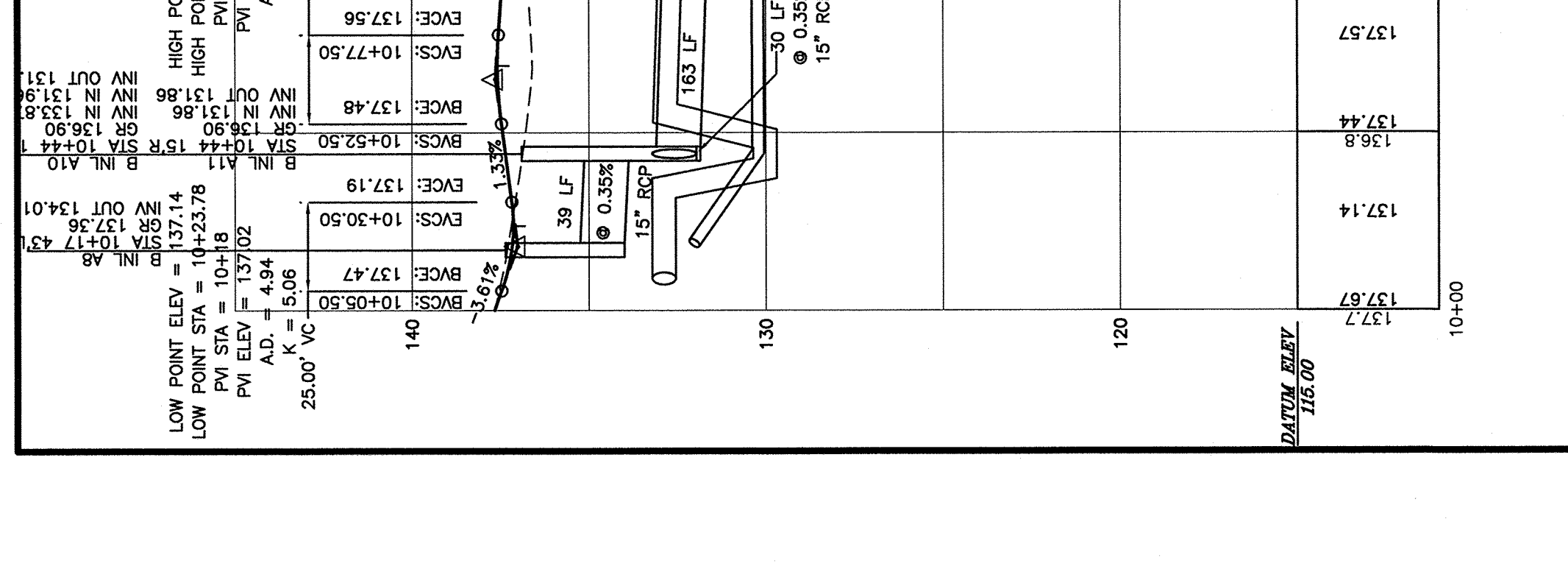
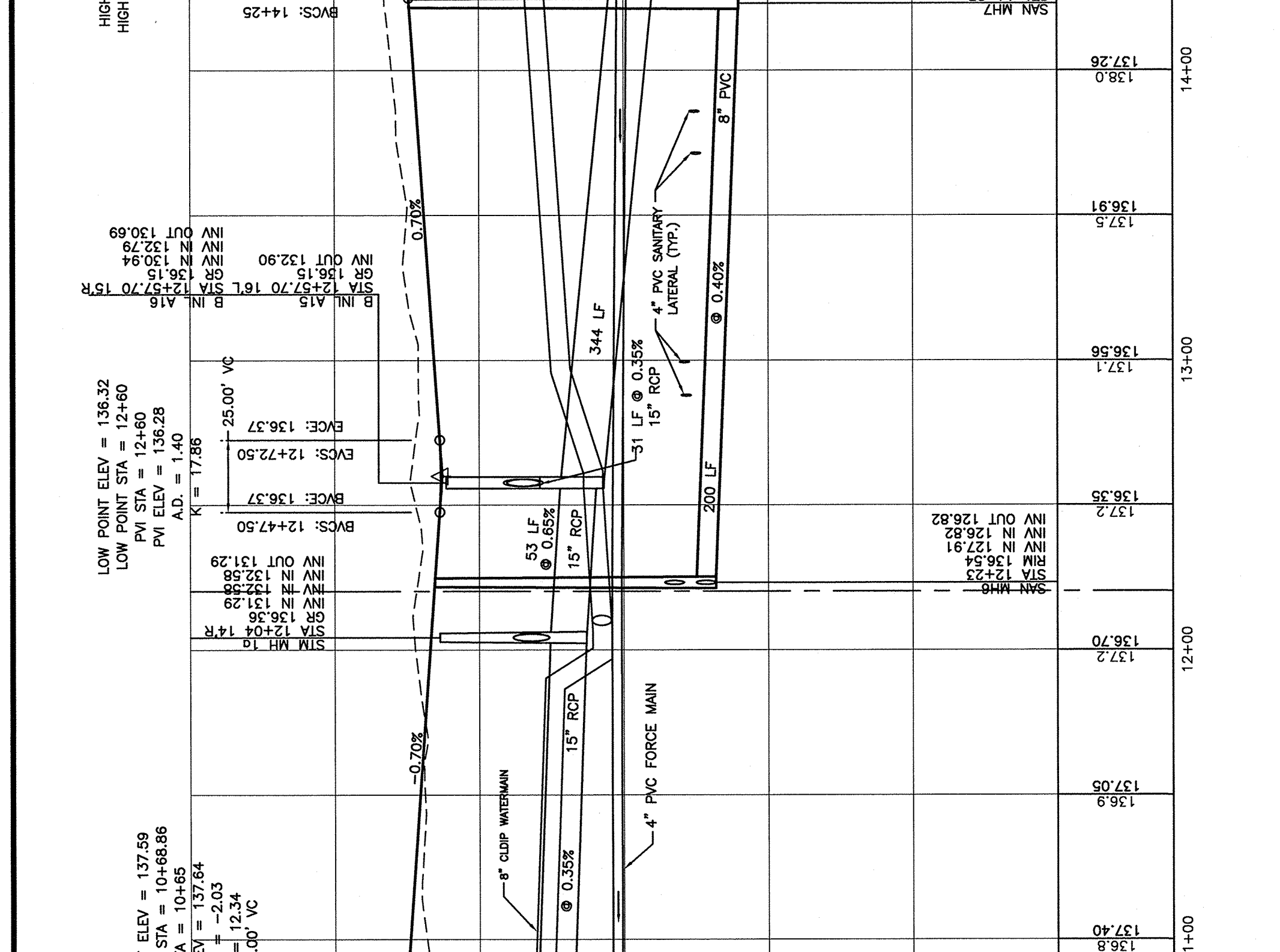
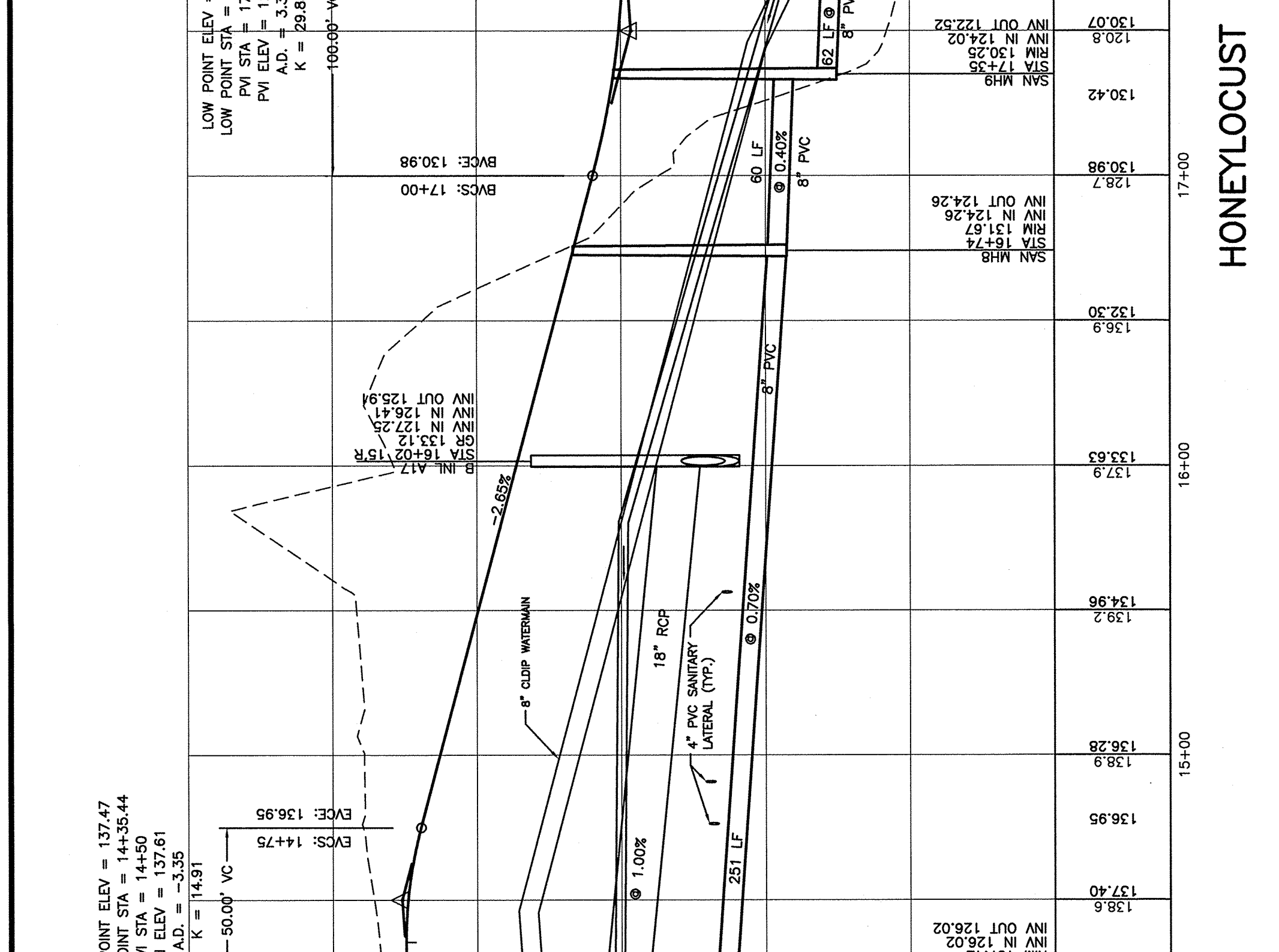
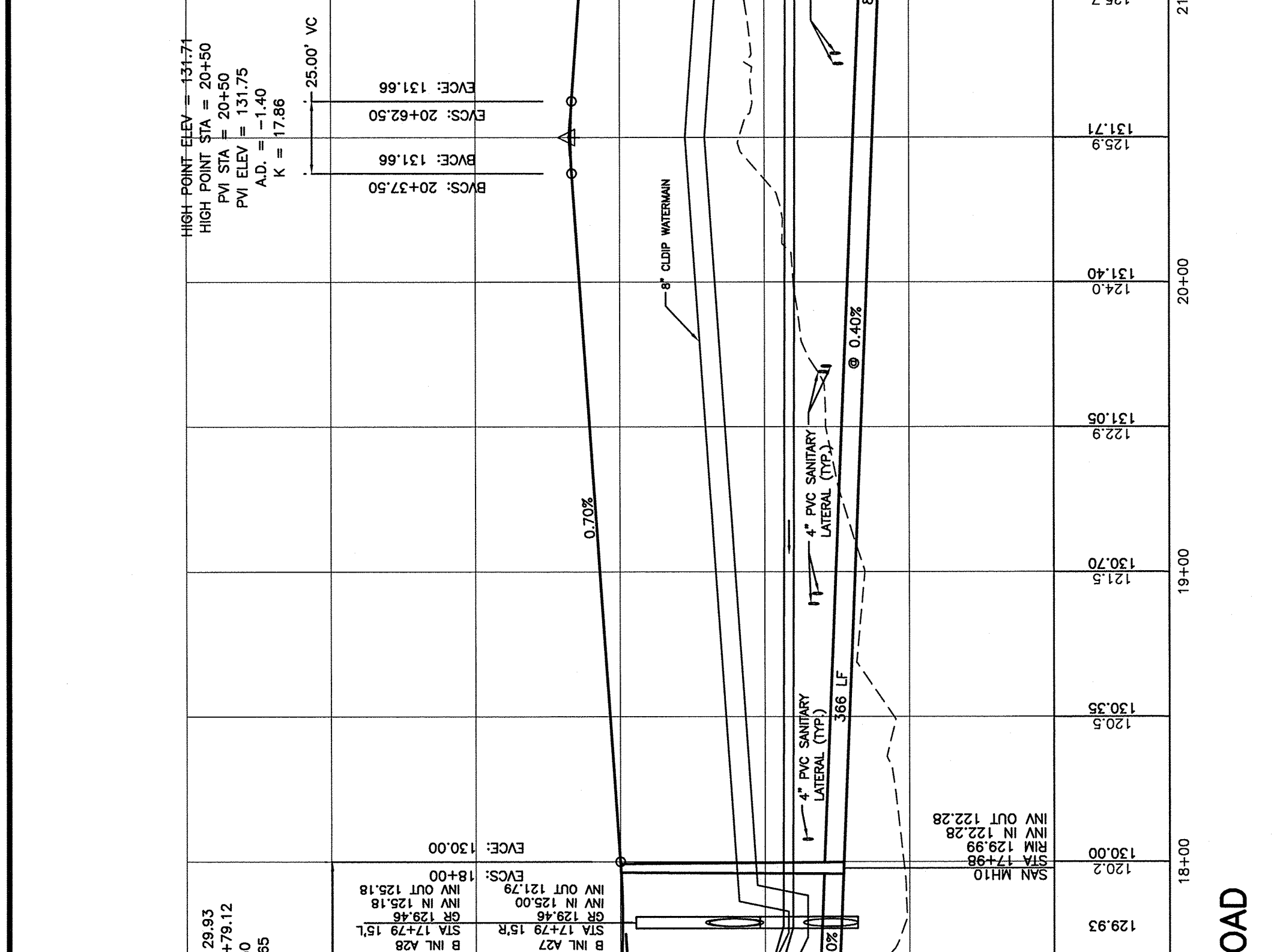
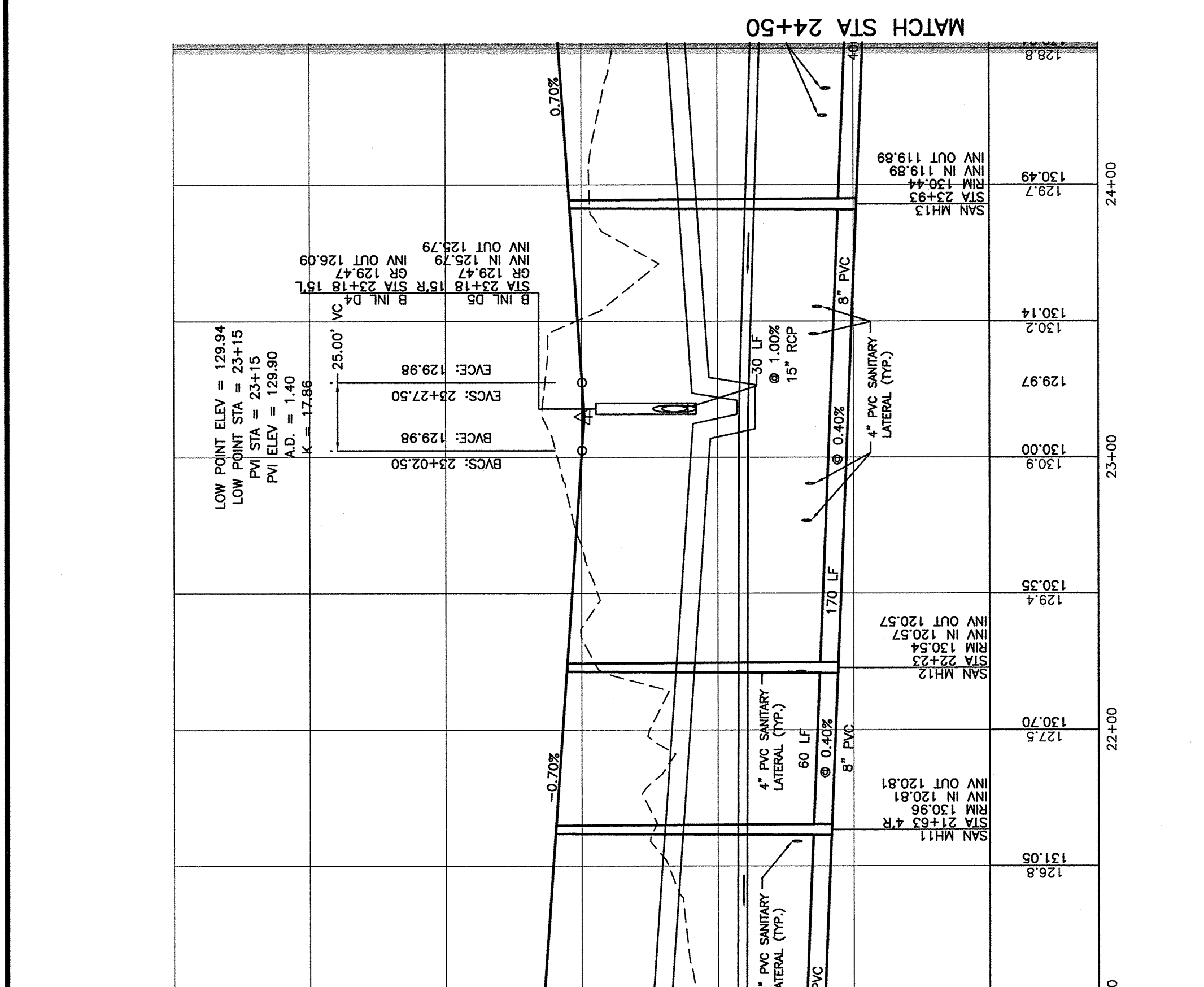
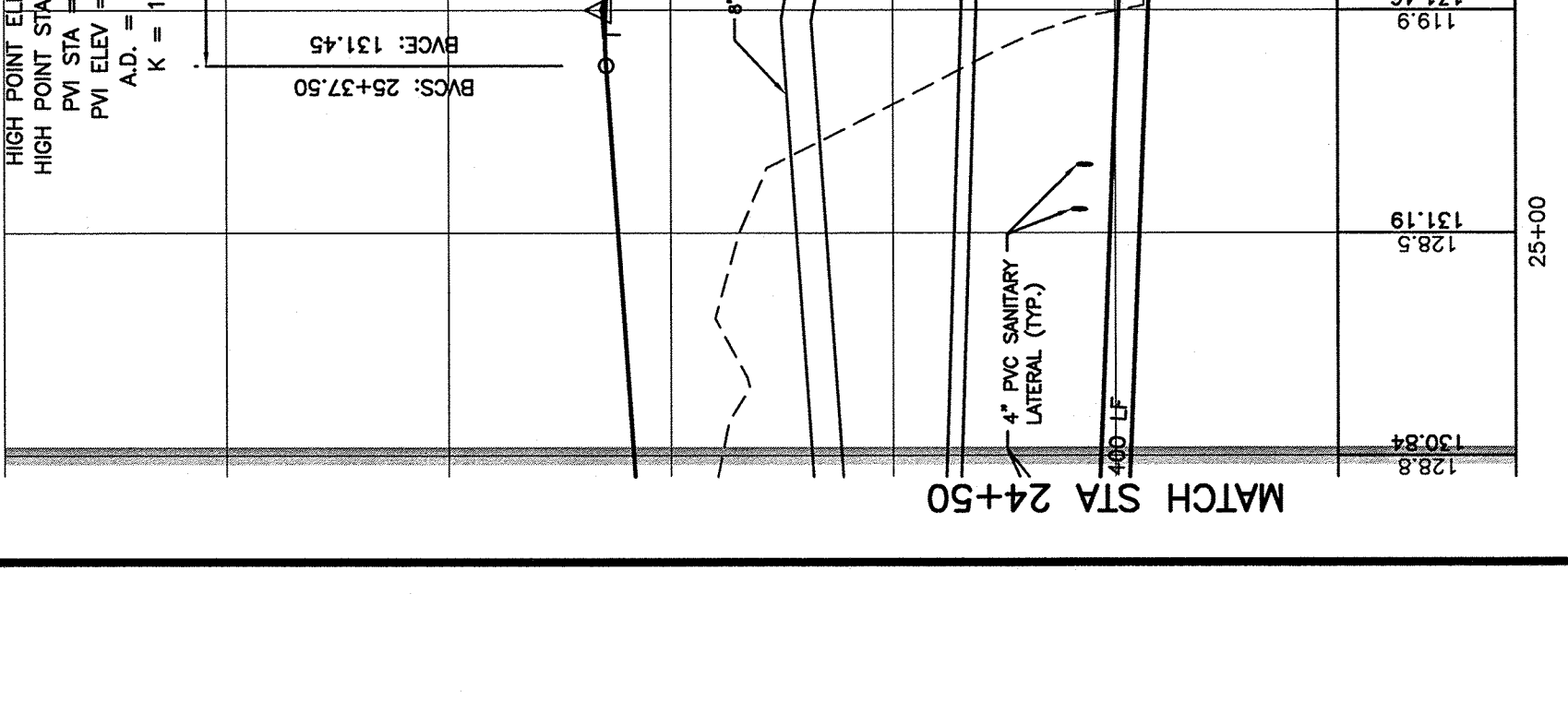
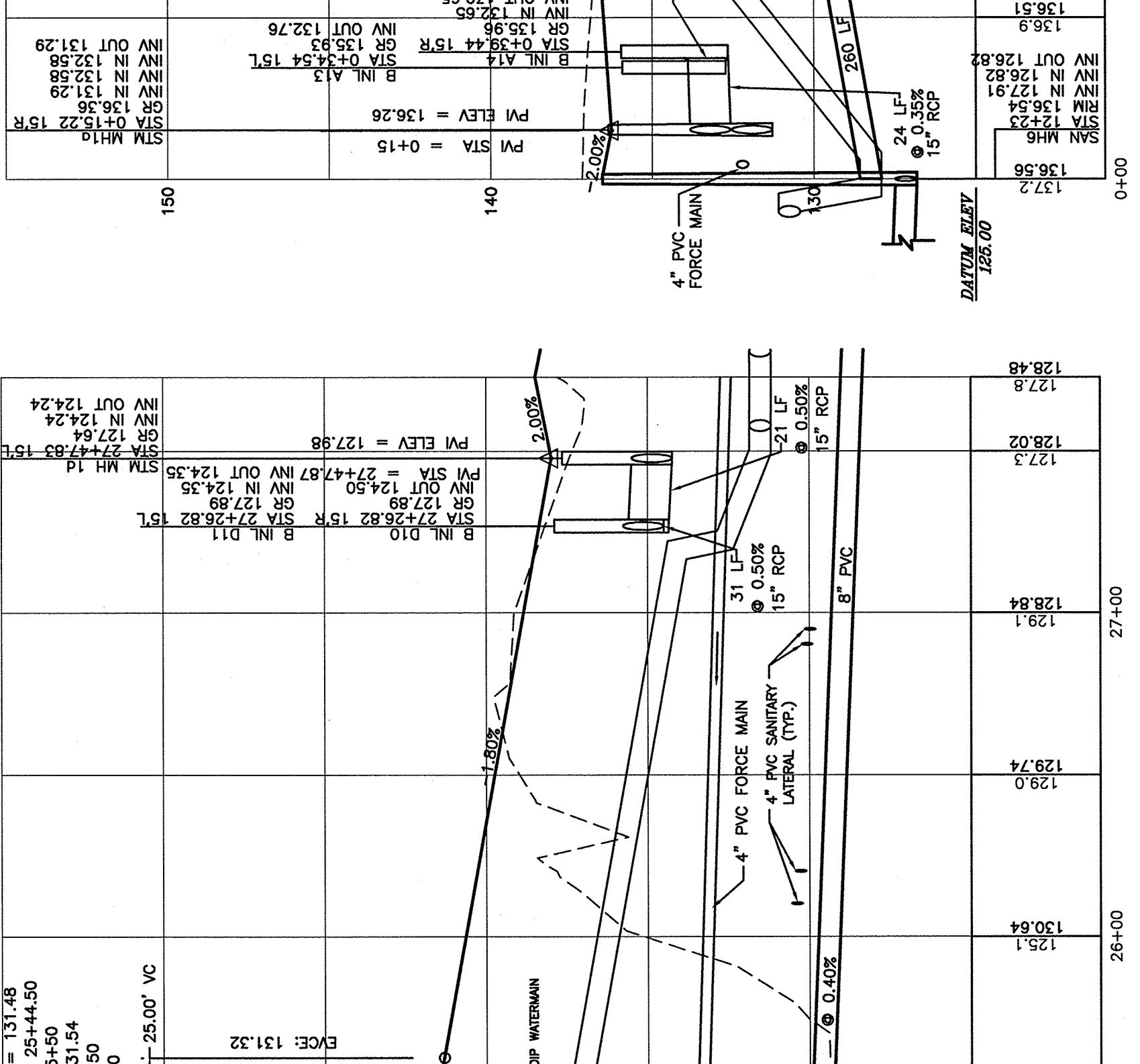
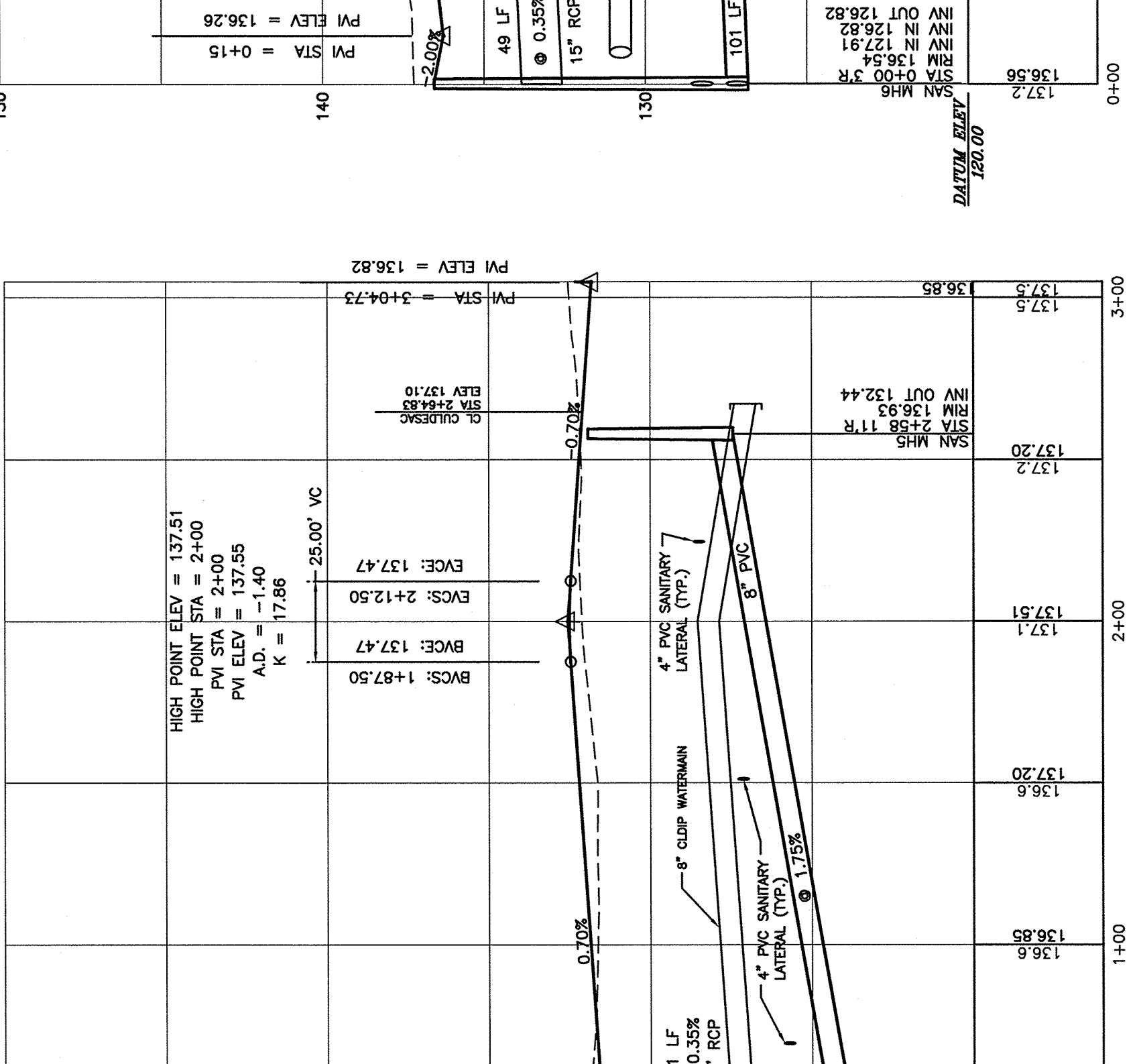
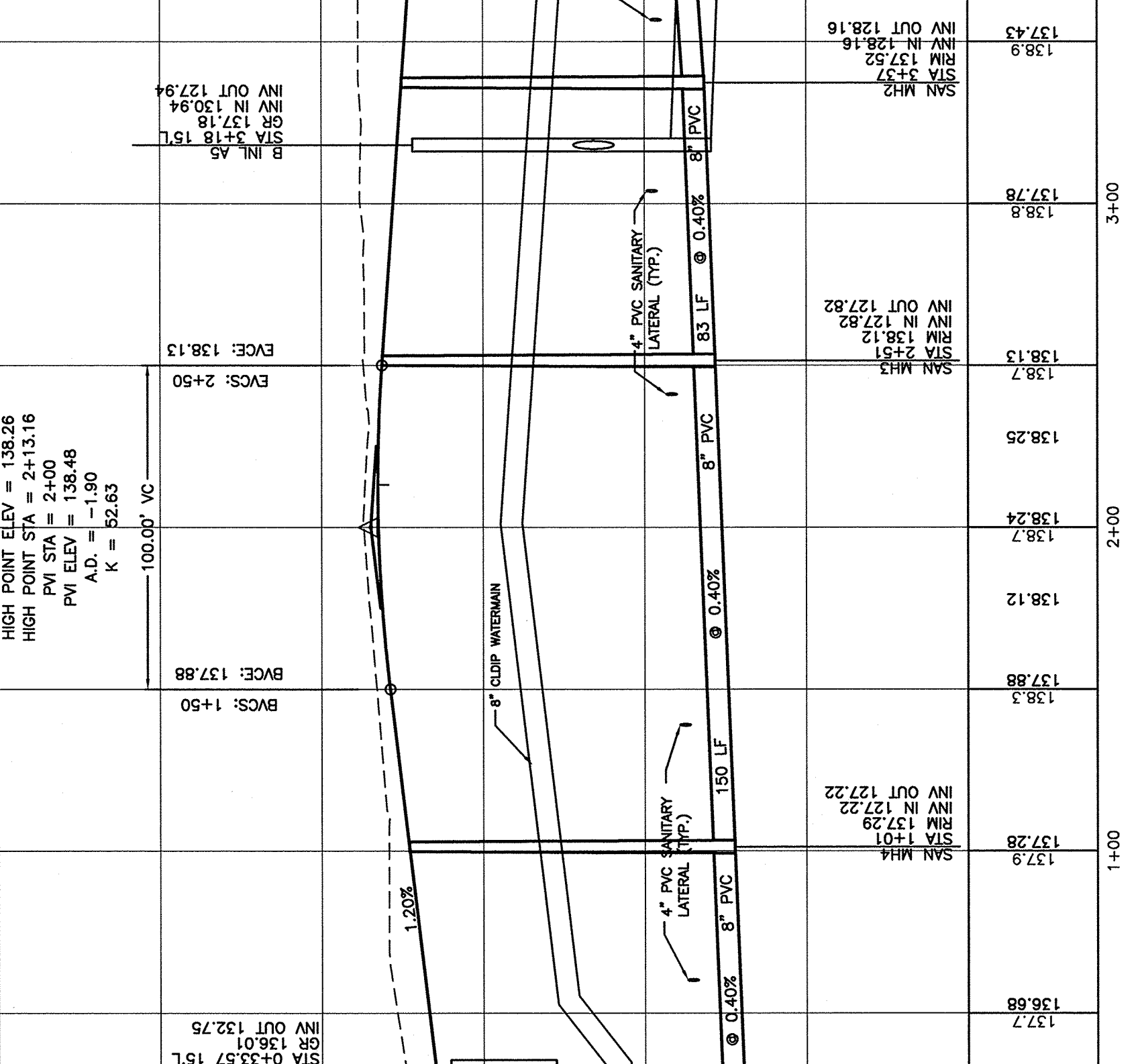
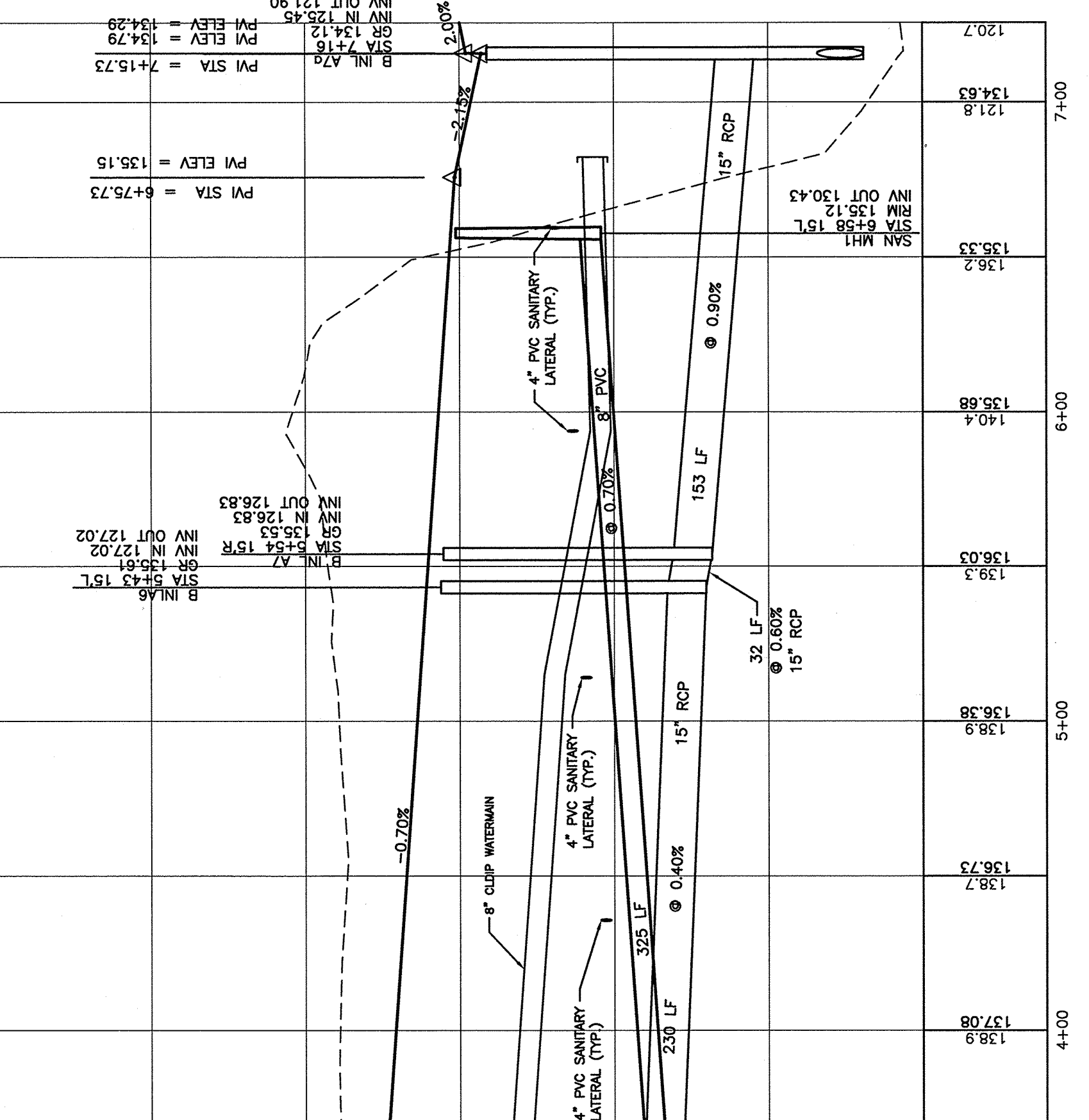
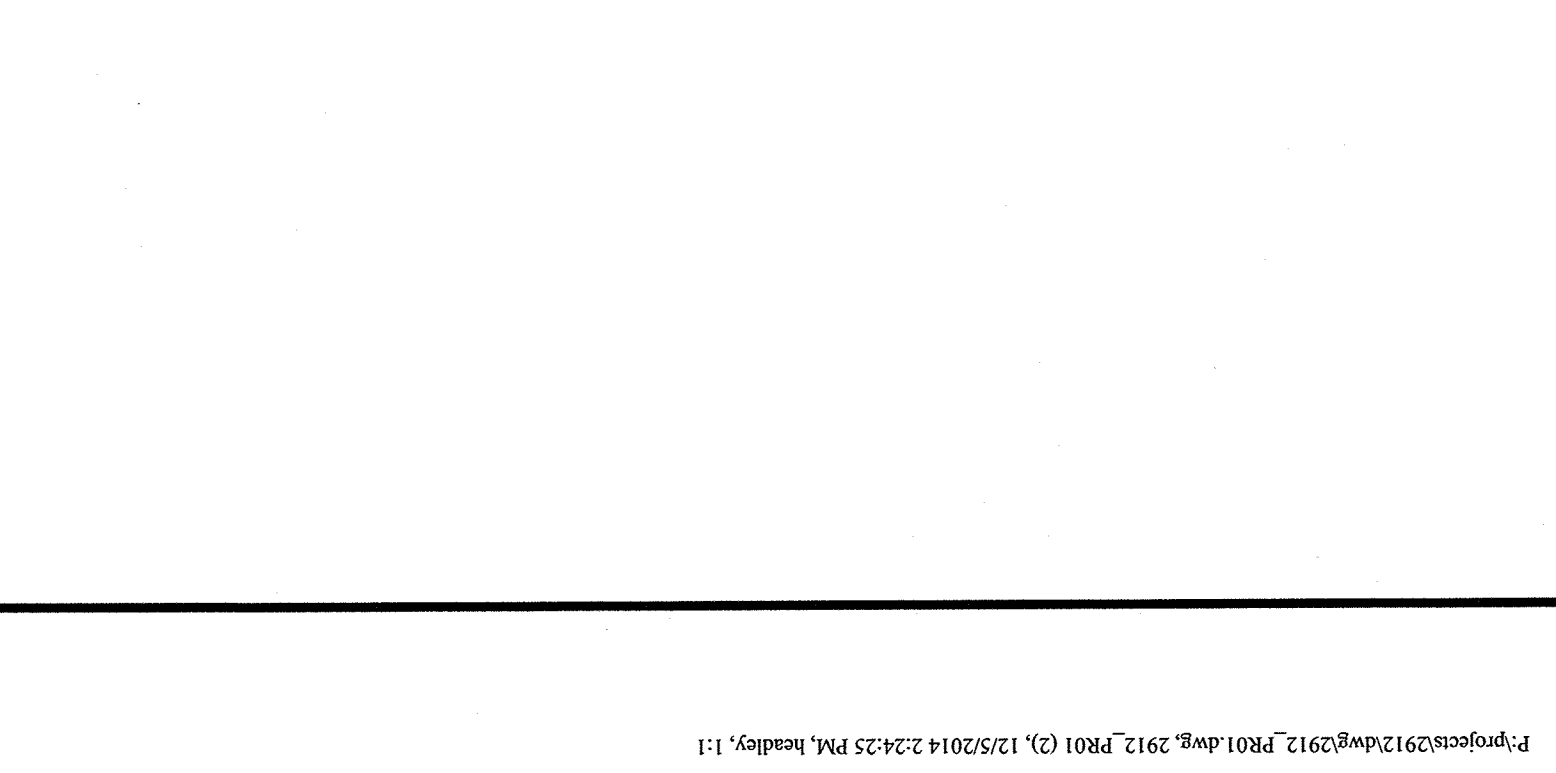
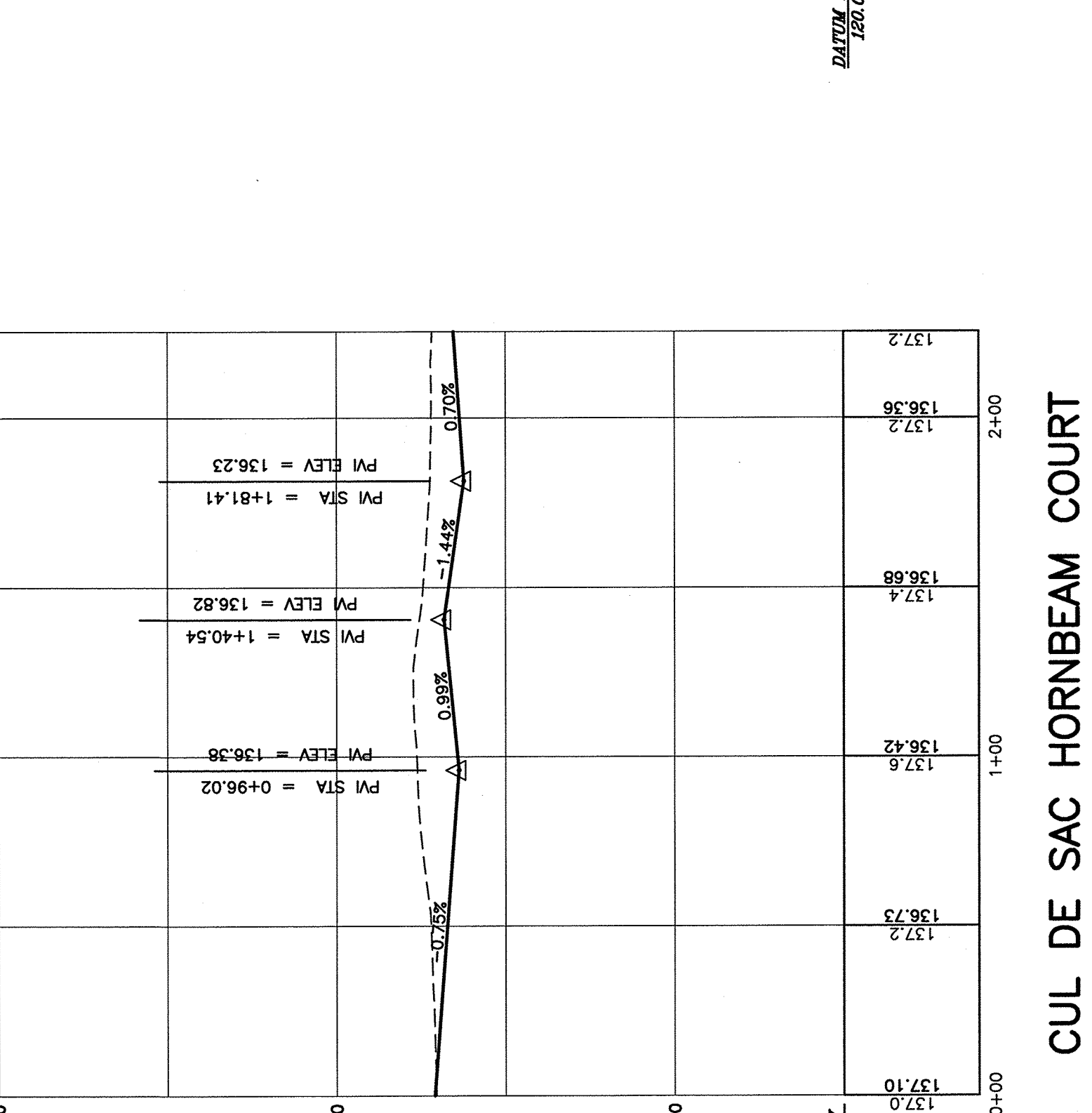
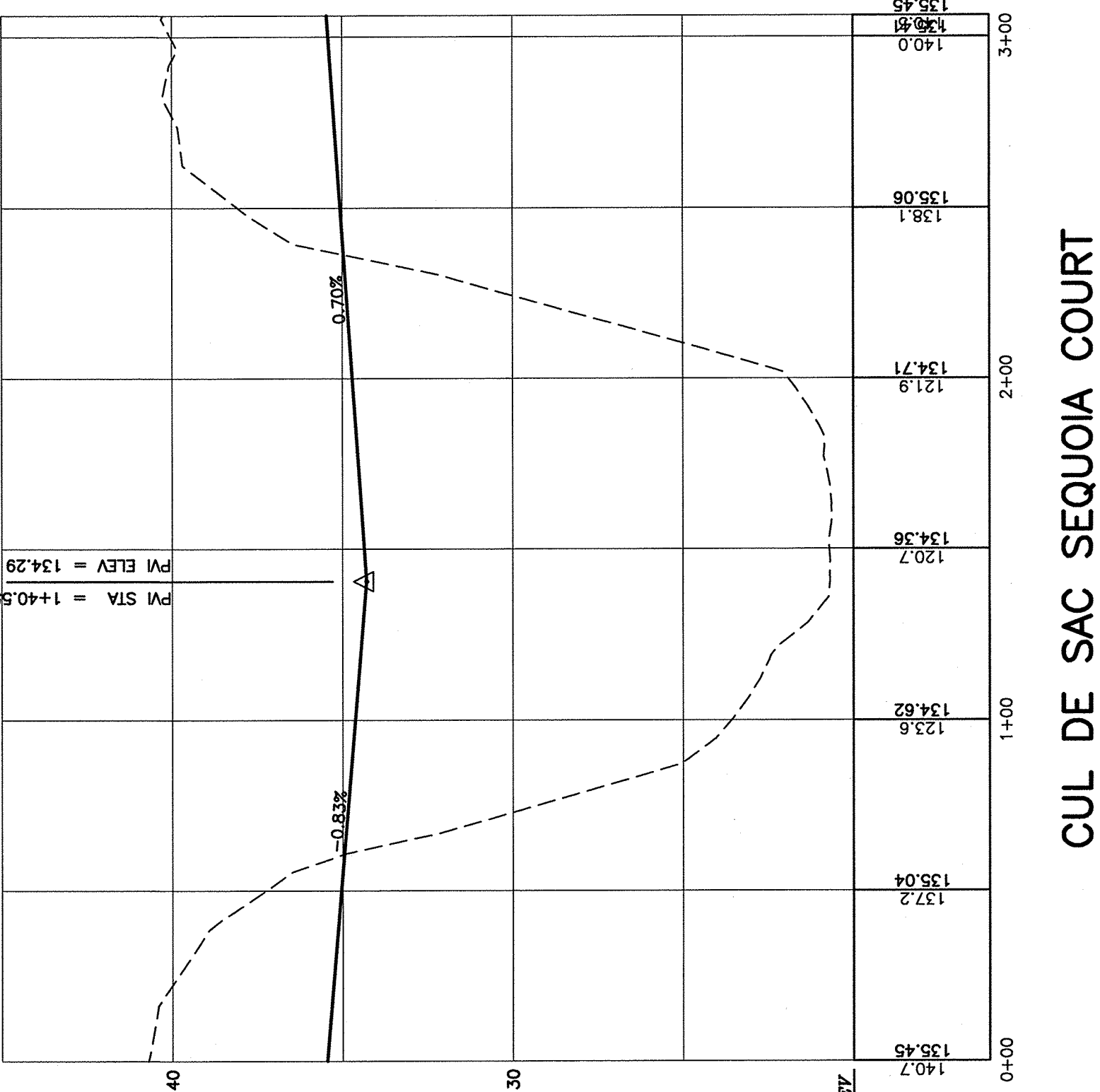


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 645 BRUNN-CROSS EYS ROAD, SUITE 1, SICKLEWILLE, NEW JERSEY
 PHONE (908) 228-2200 - FAX (908) 232-2346 - EMAIL design@ces-1.com
 08081
 FILE NO. 2912.801
 DRAWN BY: LAM

ROAD PROFILES
 MALAGA ROAD TRACT
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41

DATE	DESCRIPTION
12/16/2011	ISSUED FOR FINAL SUBMISSION
09/15/14	ISSUED FOR MAJOR REVISIONS
04/15/14	ISSUED FOR MAJOR REVISIONS
11/01/13	ISSUED FOR MAJOR REVISIONS
10/24/12	ISSUED FOR MAJOR REVISIONS
06/14/12	ISSUED FOR MAJOR REVISIONS
05/14/12	ISSUED FOR MAJOR REVISIONS

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
 HENRY J. HALEY
 DATE: 12/16/2011



CUL DE SAC SEQUOIA COURT

CUL DE SAC HORNBEAM COURT

SEQUOIA COURT

HORNBEAM COURT

HONEYLOCUST ROAD

HONEYLOCUST ROAD

MATCH STA 24+50

MATCH STA 24+50



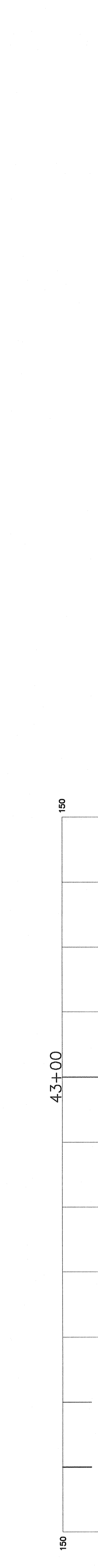
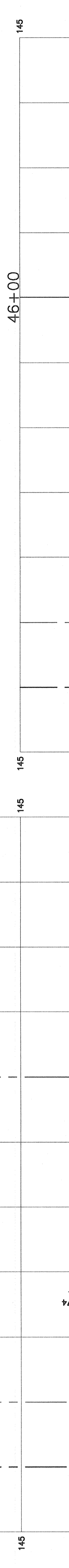
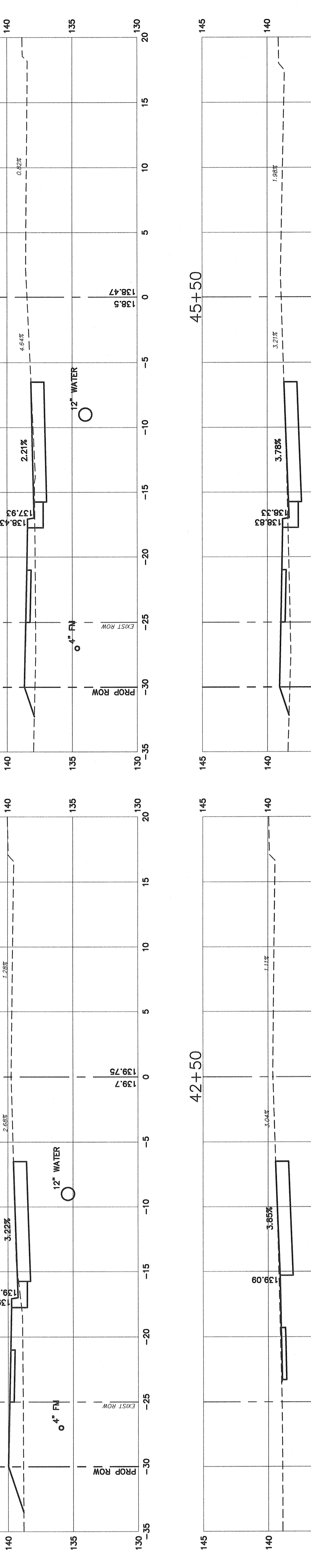
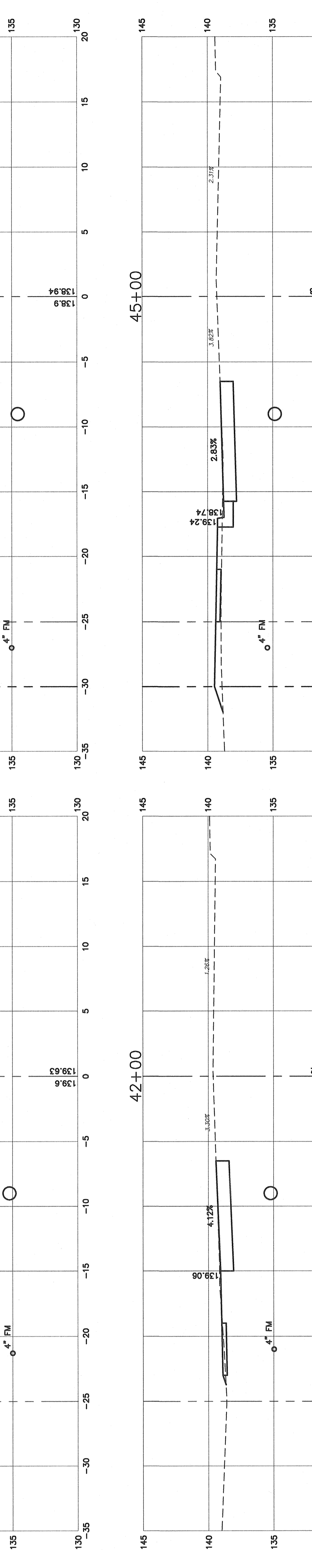
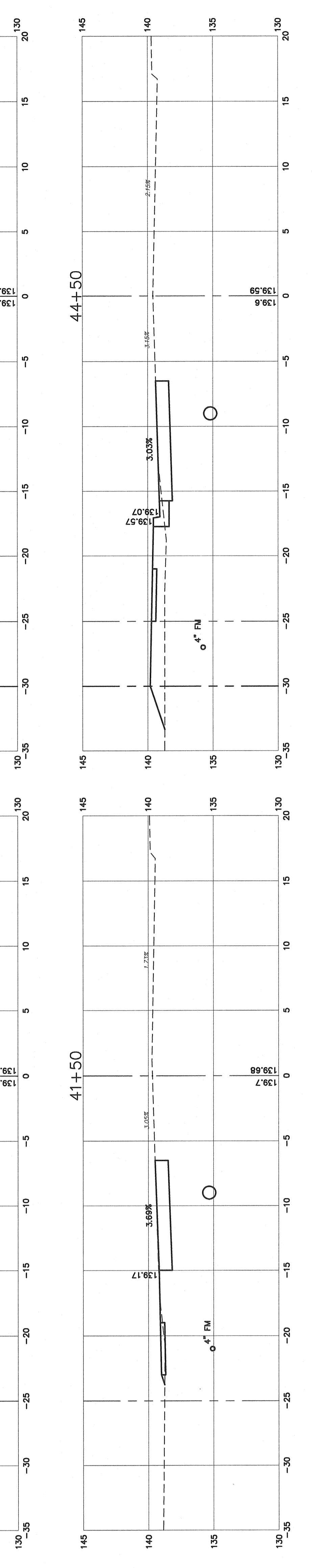
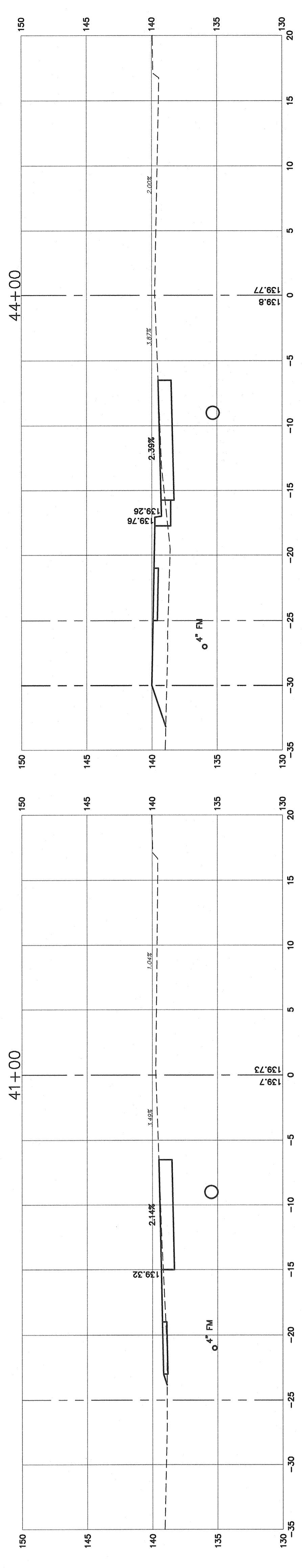
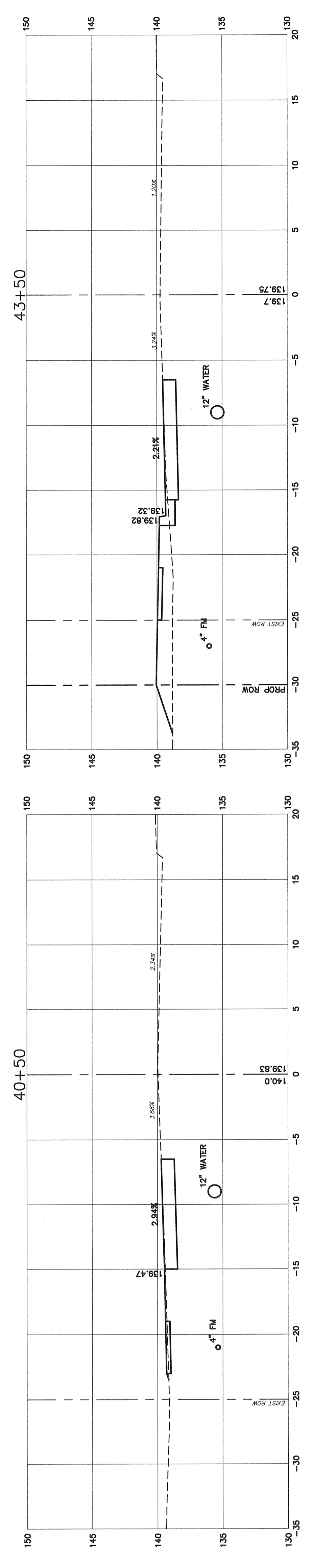
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 CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
 PHONE (609) 228-2200 FAX (609) 222-2246 - EMAIL: ce@berlin-keys.com

CROSS SECTIONS
MNSLOW ROAD
MALAGA ROAD TRACT
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41

DATE	REVISIONS
11/07/13	PER IAW 15/12/13, PENN 12/13/13 REVISION LETTERS, RE-34-13 RESOLUTION
10/14/13	ADDED FORCE MAIN AND SIDEWALK
JAC	
DRWN	

HENRY J. HALEY
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098

DATE: 12/23/2013



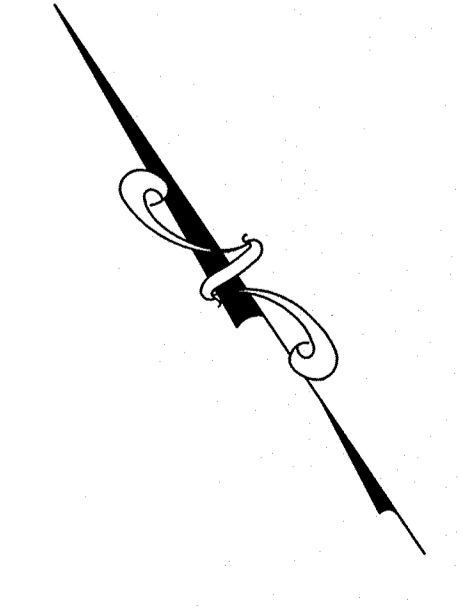
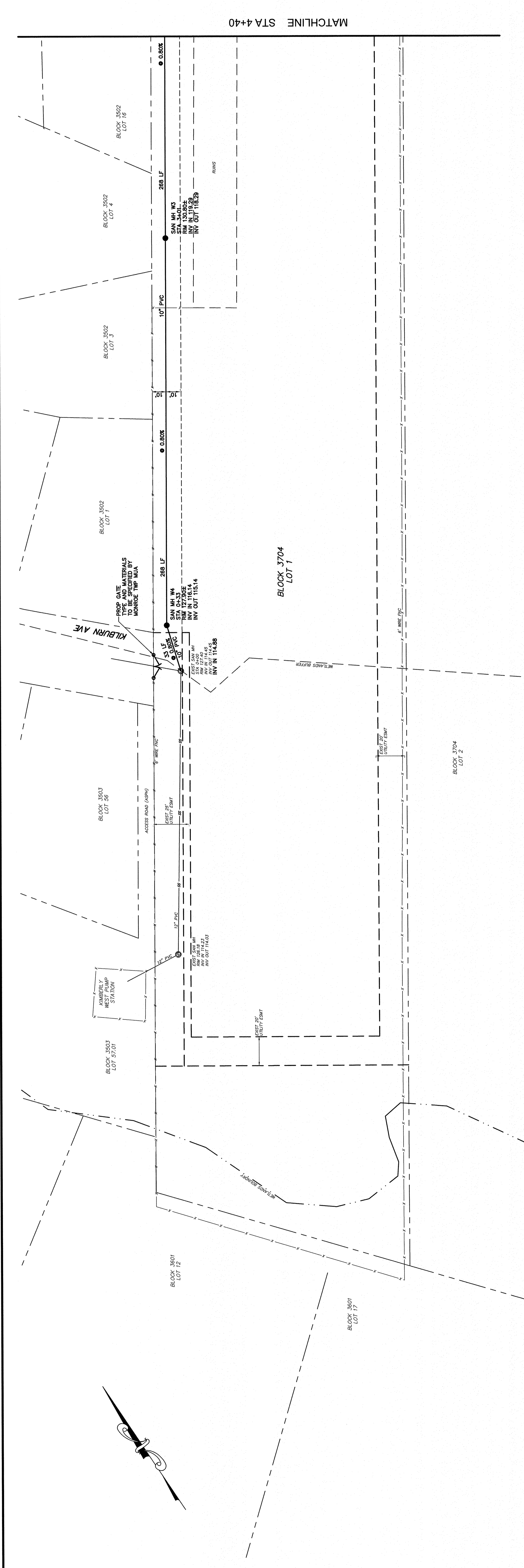
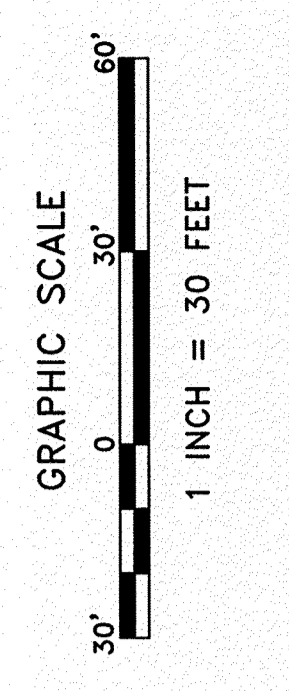
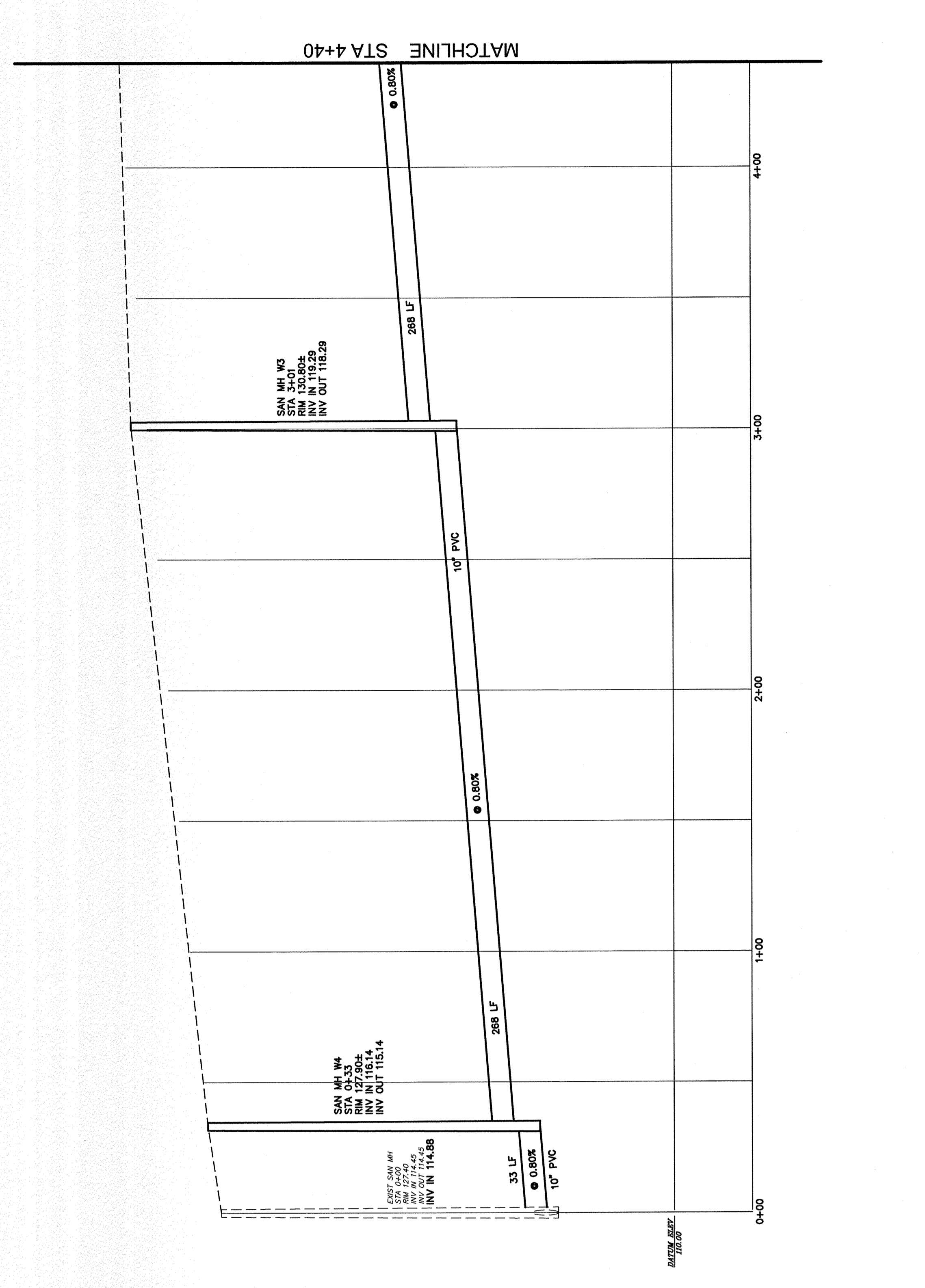
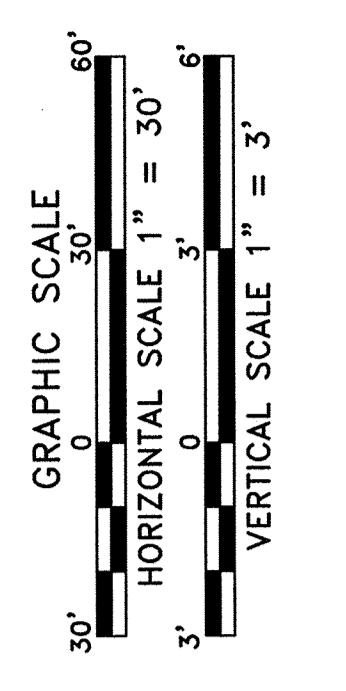


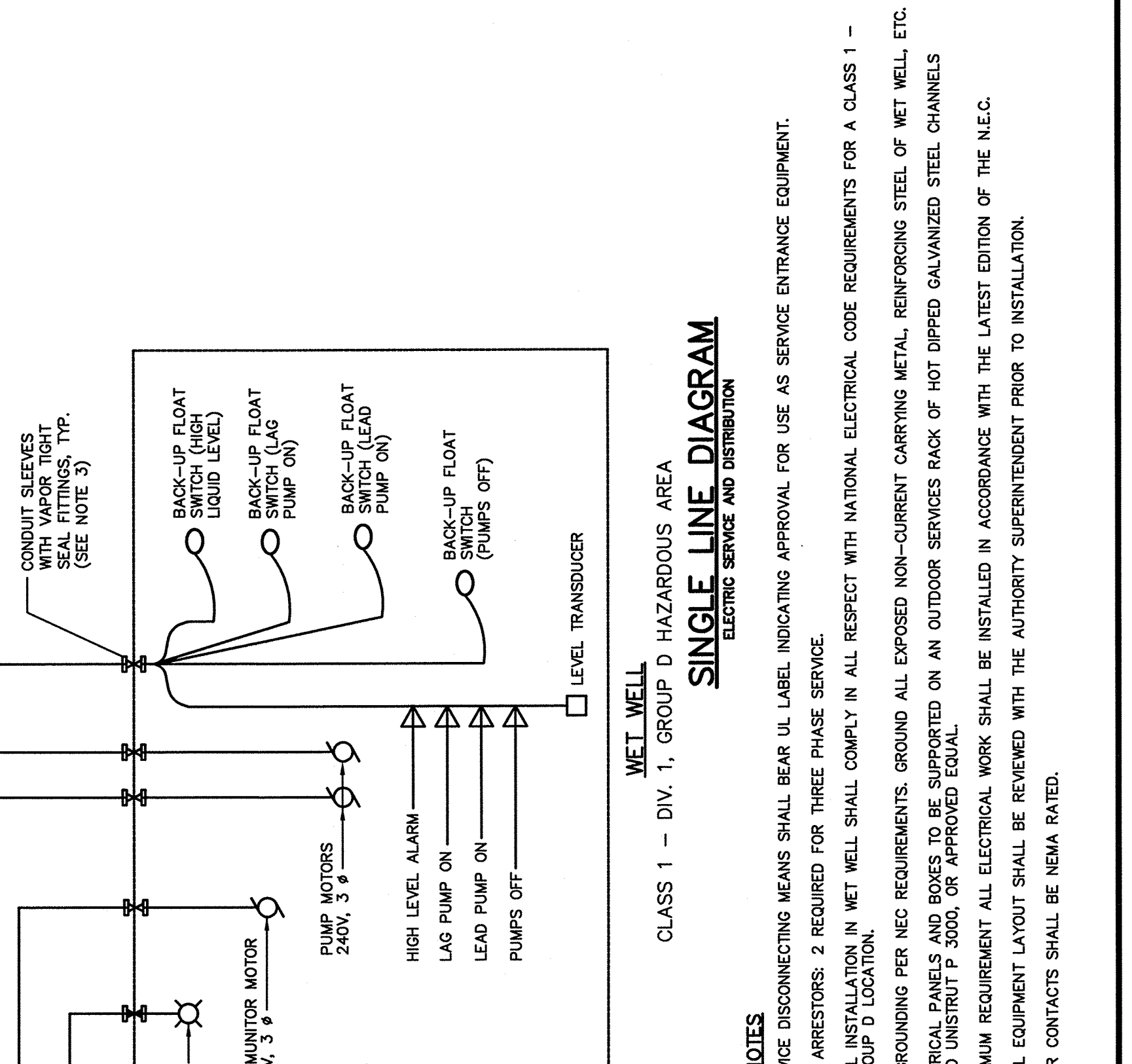
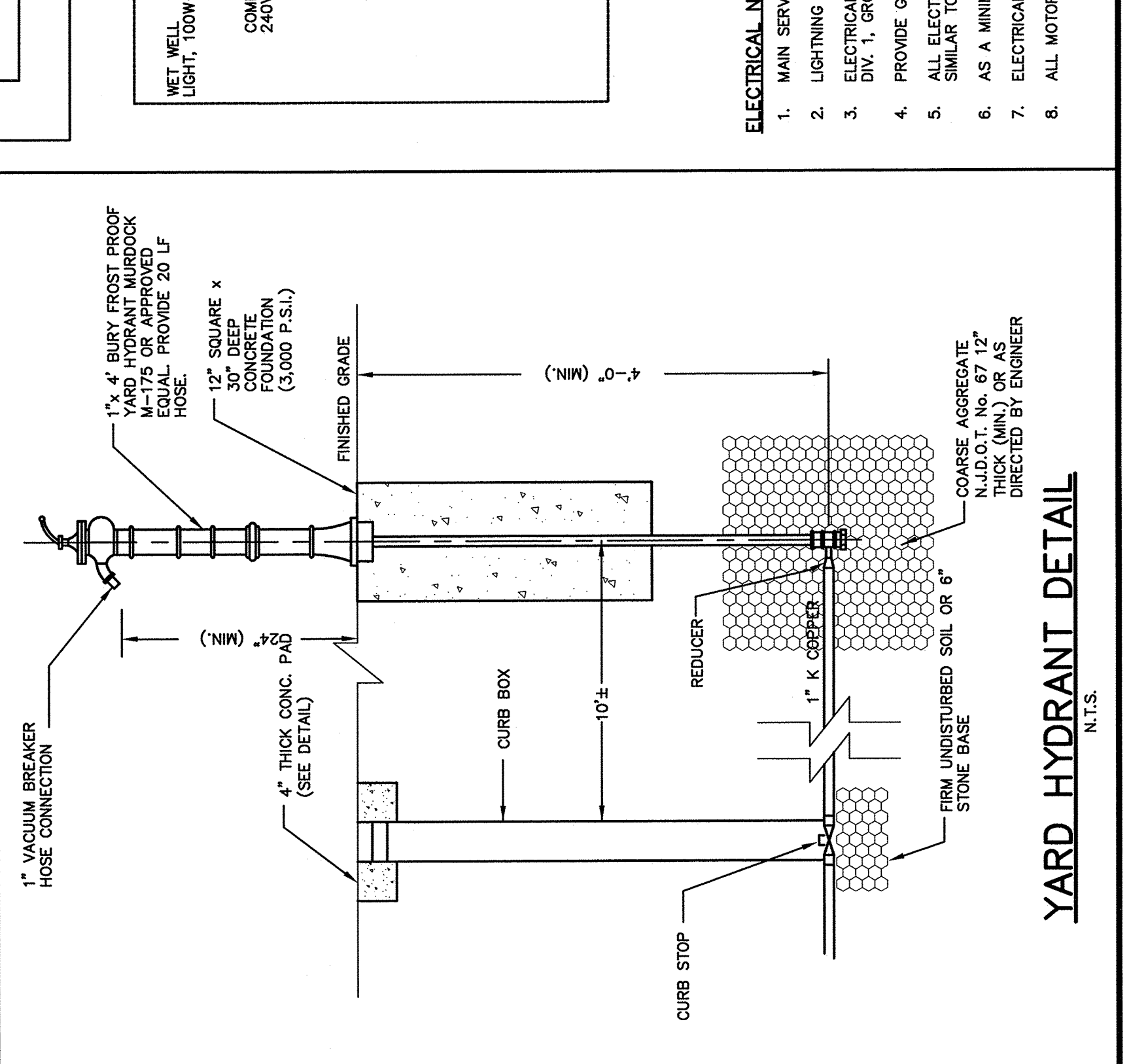
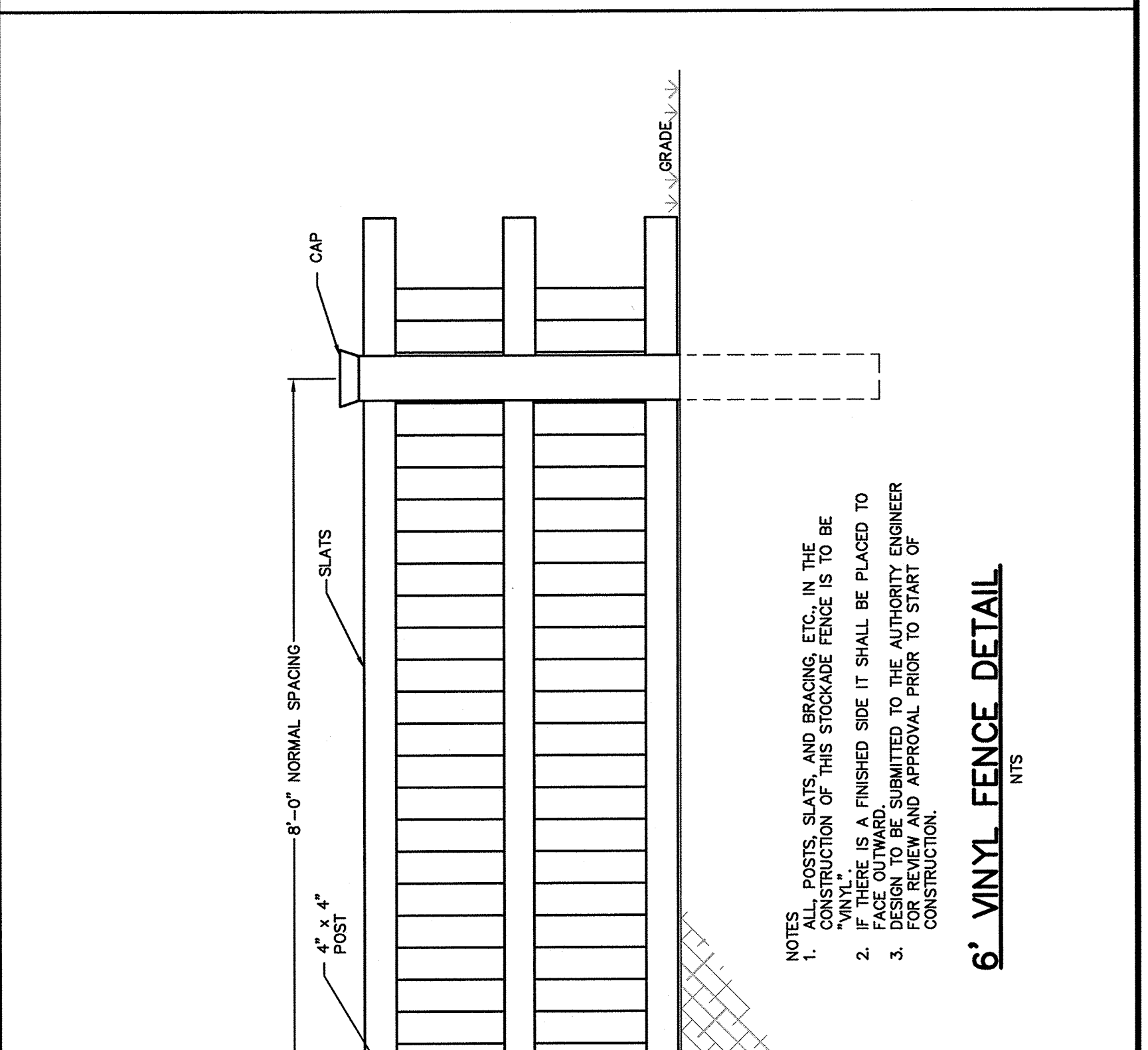
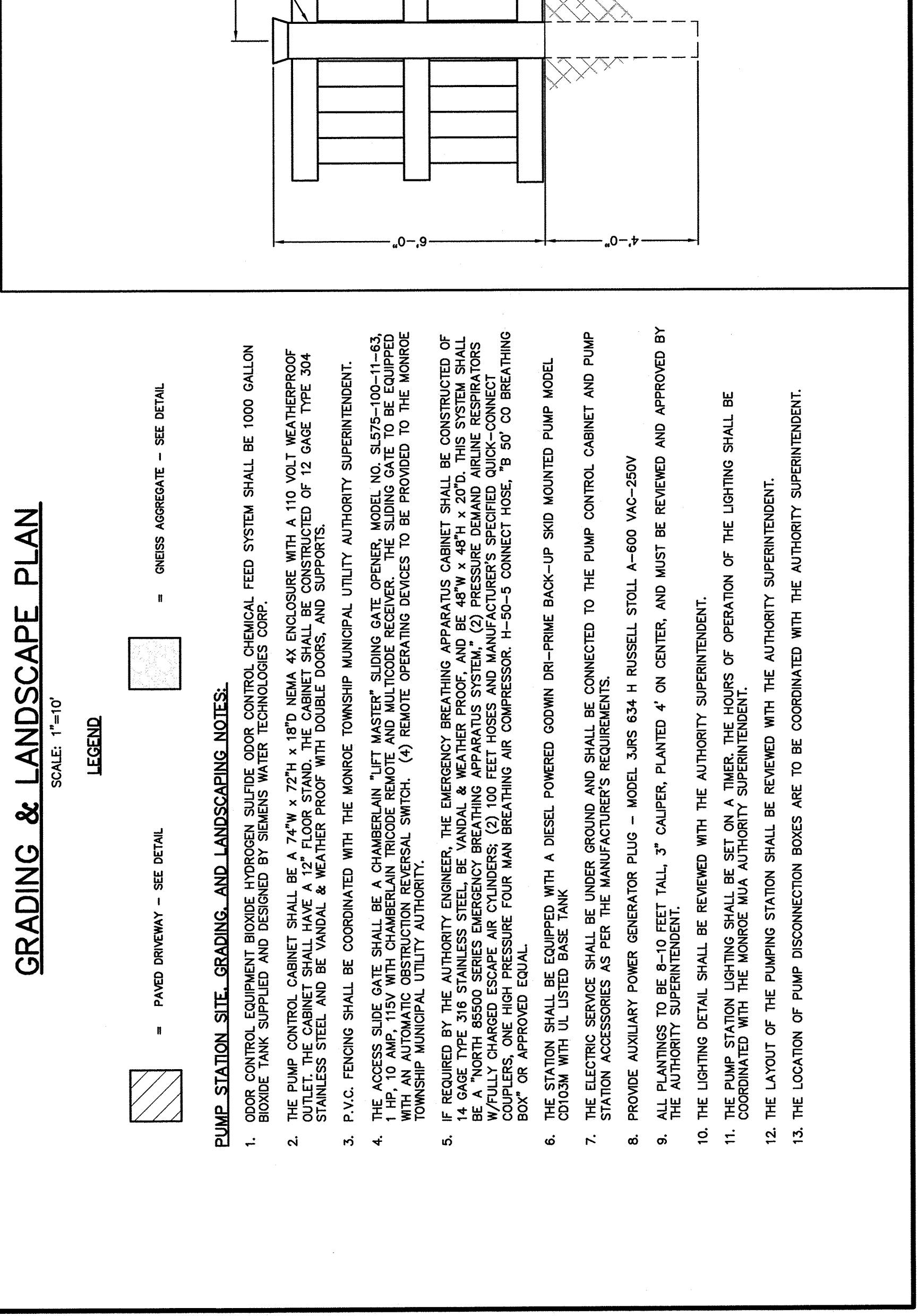
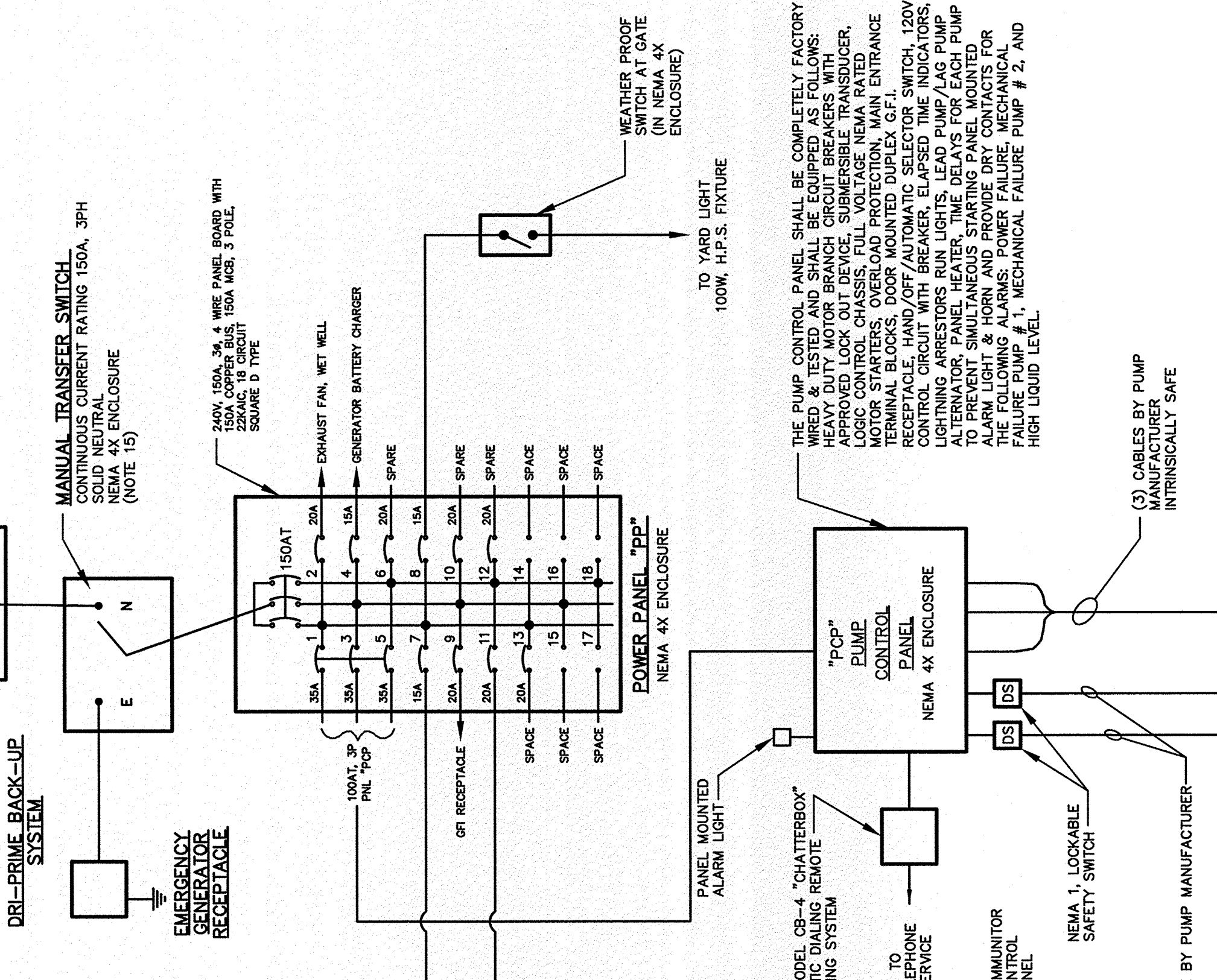
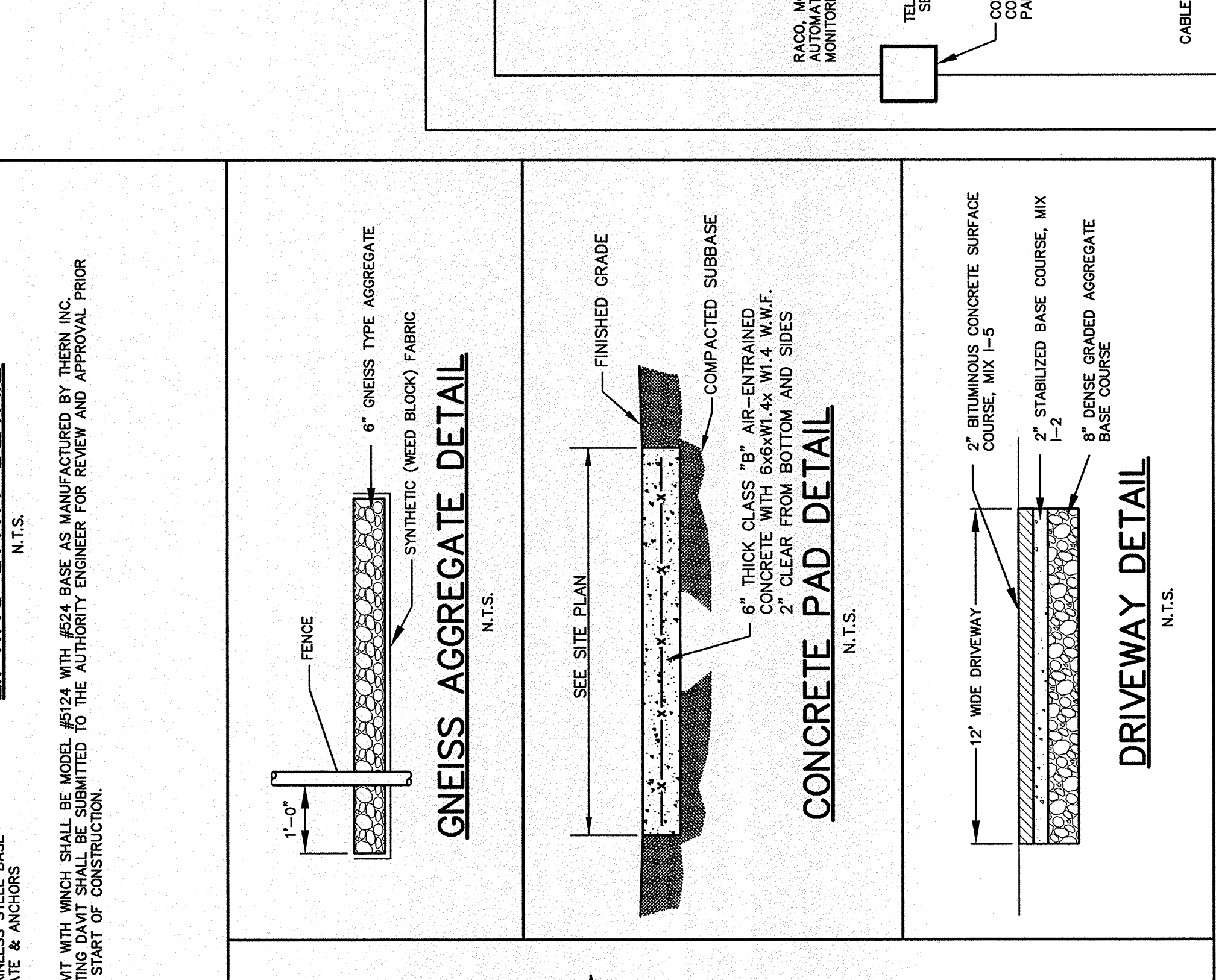
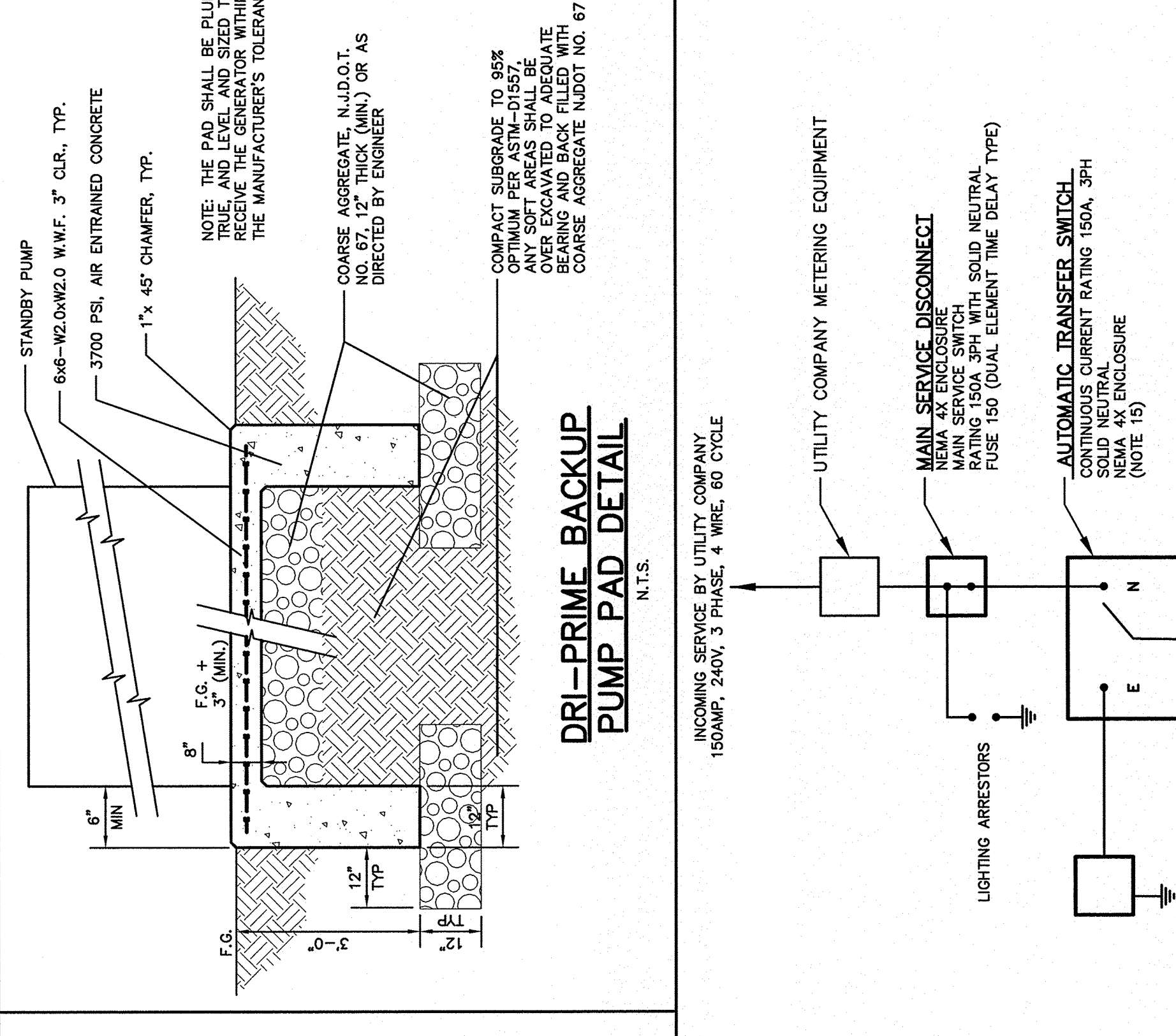
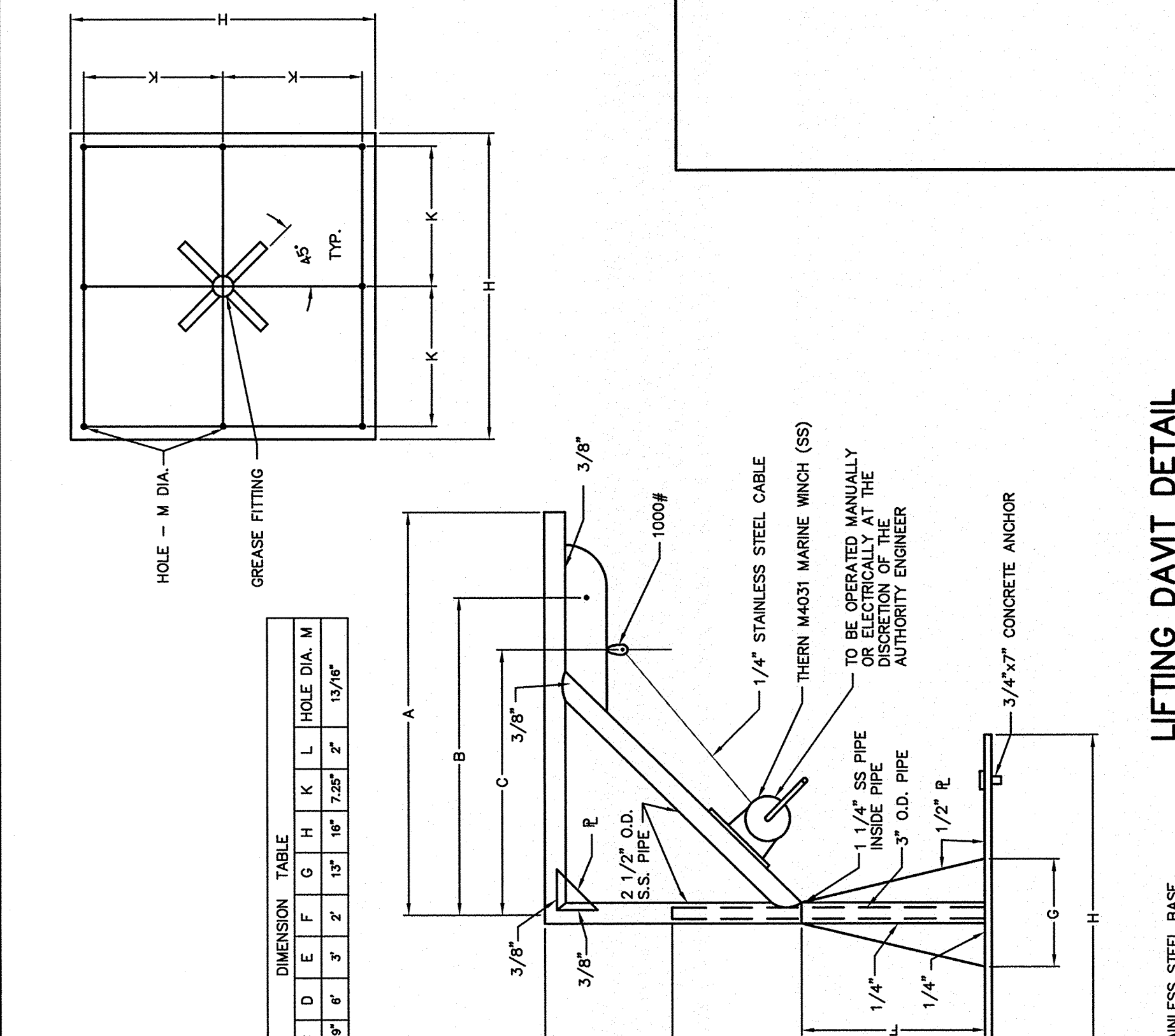
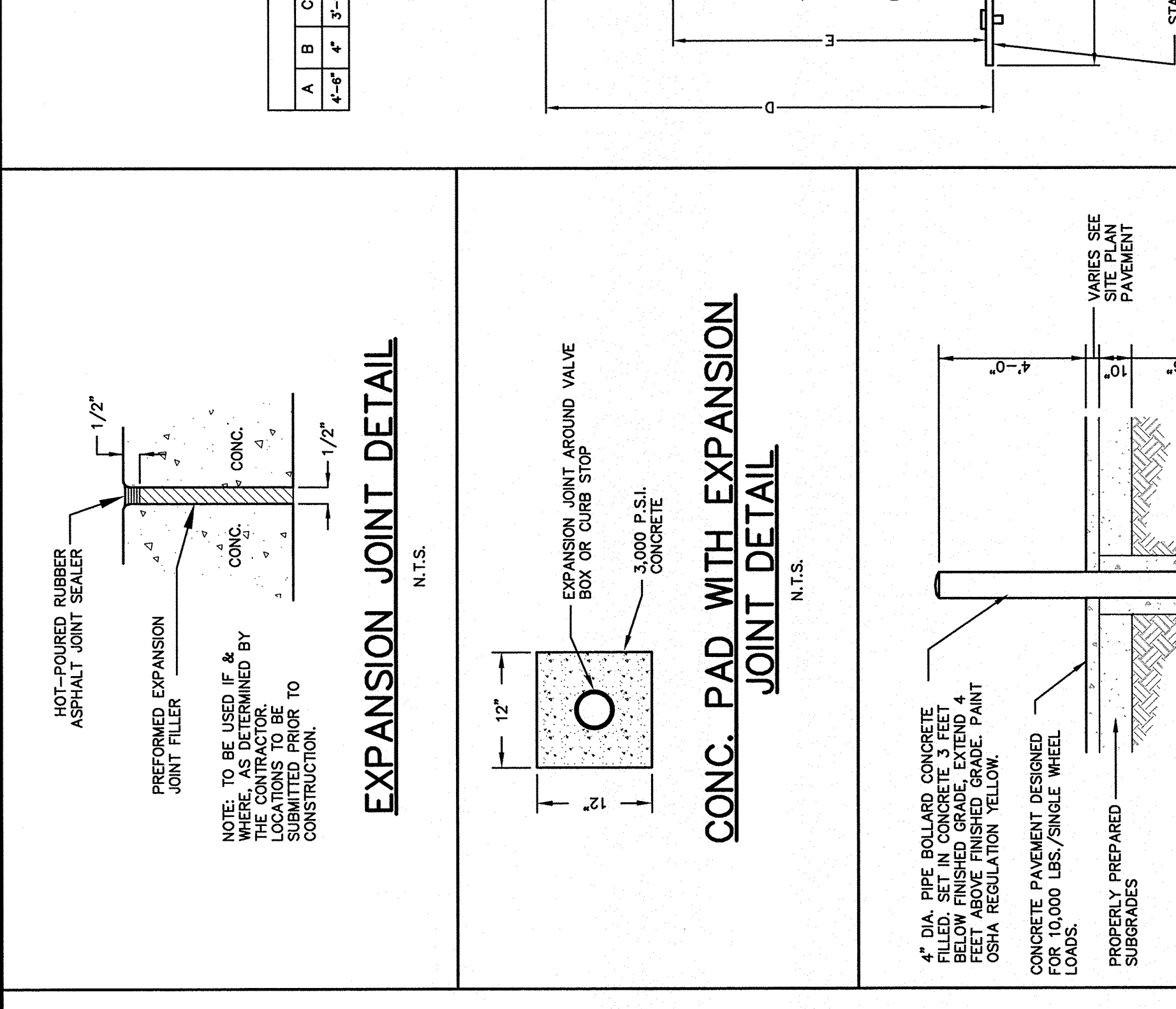
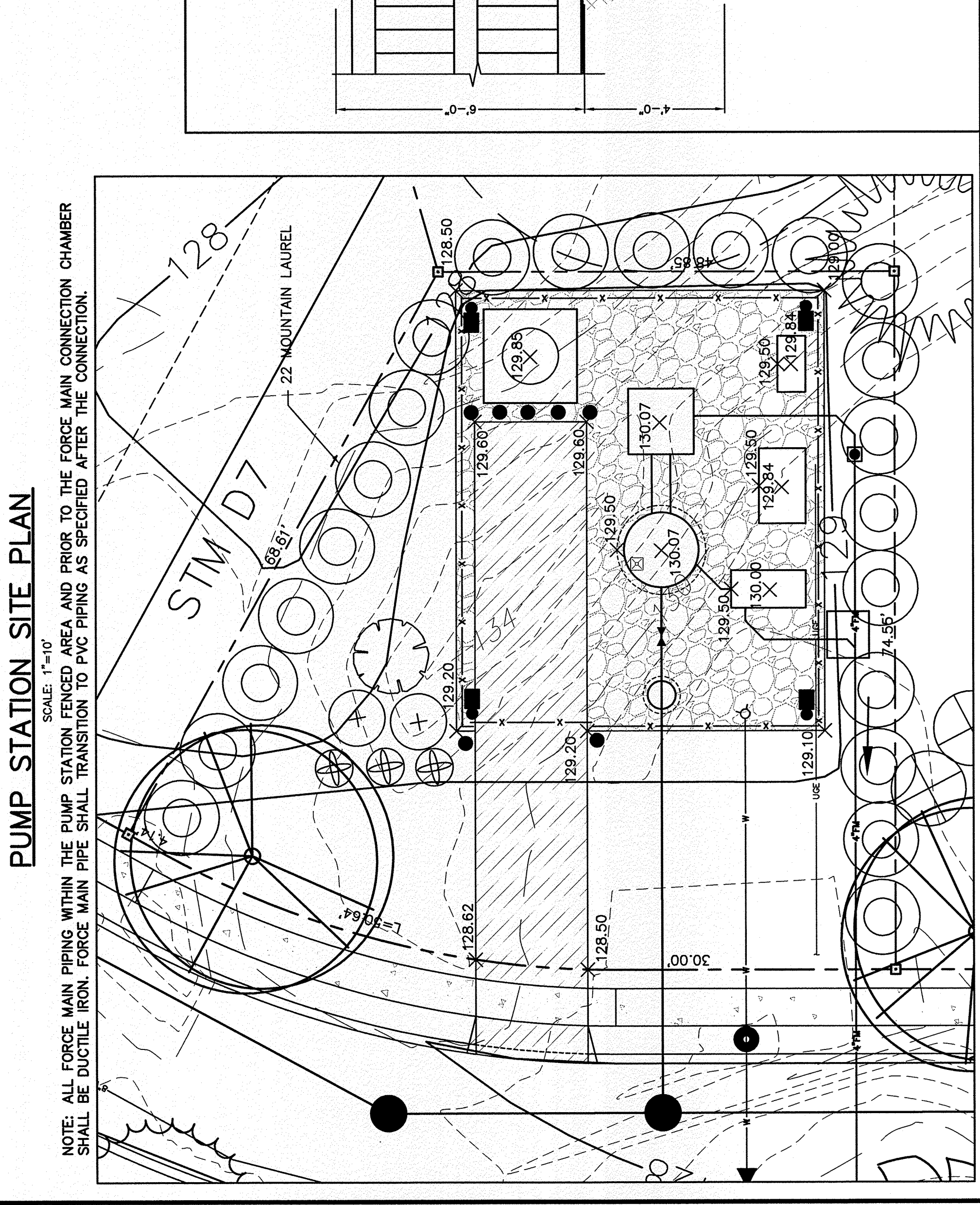
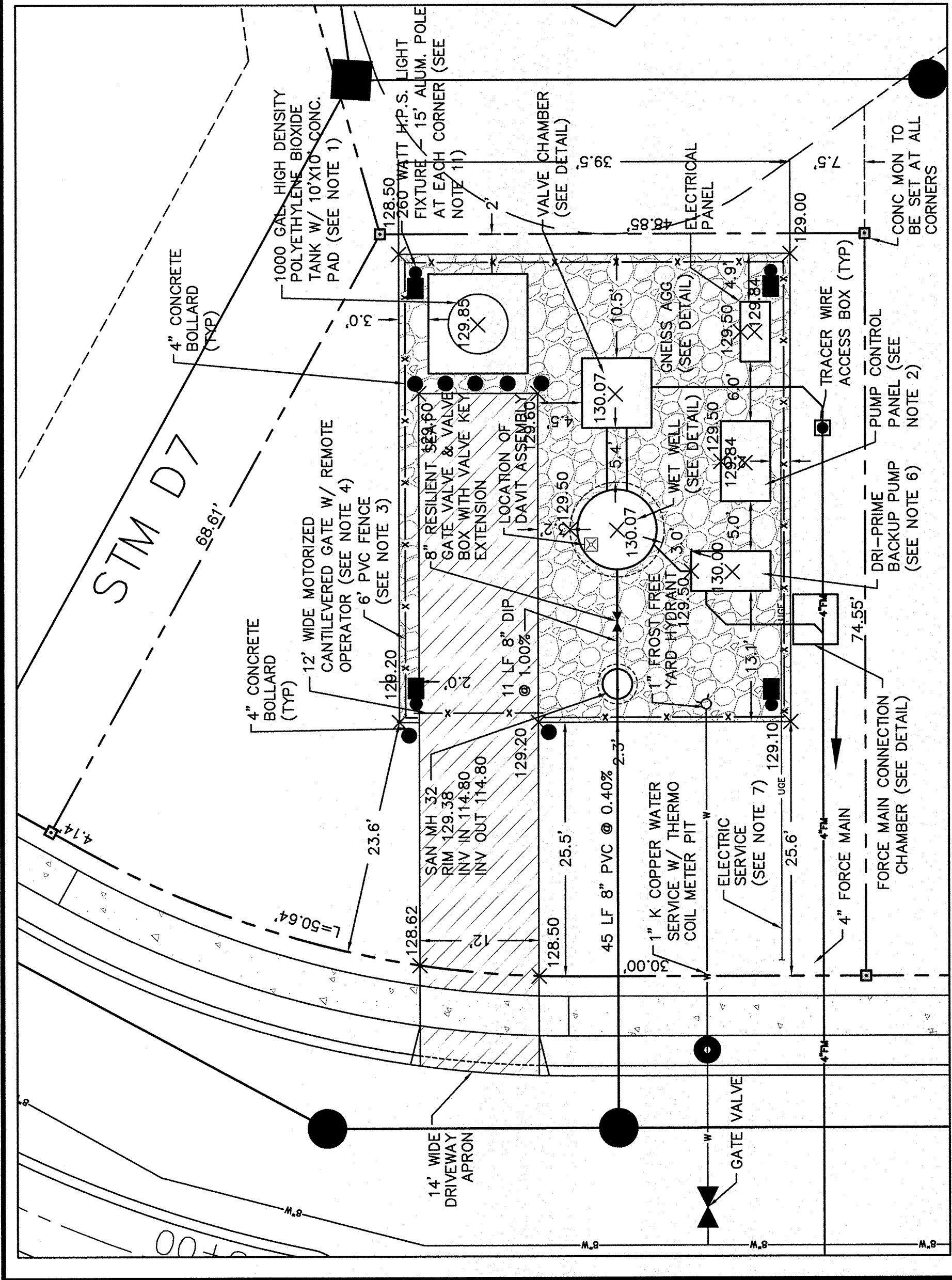
CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEWILLE, NEW JERSEY 08081
 PHONE (856) 228-2200 - FAX (856) 232-2346 - EMAIL: ddd@berlin.com
 N.J. CERTIFICATE OF AUTHORIZATION NO. Z462375700

PREPARED BY
OFF SITE SANITARY SEWER
BLOCK 3704, LOT 1
MALAGA ROAD TRACT
 PLATE 27, BLOCK 2702, LOTS 11, 15, 17, 40 AND 41
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

REV	DATE	REVISIONS
05/09/14		REV PER COMMENTS FROM 05/07/14 MEETING
04/15/14		REV PER MALA REVIEW COMMENTS
02/26/14		ISSUED SANITARY SEWER MAIN
DRWN		

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
HENRY J. HALEY
 DATE: *5/12/2014*





PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24098
 HENRY J. HALEY
 DATE: 2/12/2012

REVISIONS:
 NO. DATE REVISIONS
 01/05/14 REVISION COMMENTS FROM 05/07/14 MUA MEETING
 04/05/14 REVISION COMMENTS FROM 05/07/14 MUA MEETING
 11/07/13 REVISION COMMENTS FROM 12/13/13 REVIEW LETTERS MR-14-13 REVISIONS
 10/24/12 REVISION COMMENTS FROM 10/24/12 REVIEW LETTERS MR-14-13 REVISIONS

DATE: 02/09/2012 SCALE: AS NOTED CDS NO. 2912 FILE NO. 2912.950 DRAWN BY: LHM



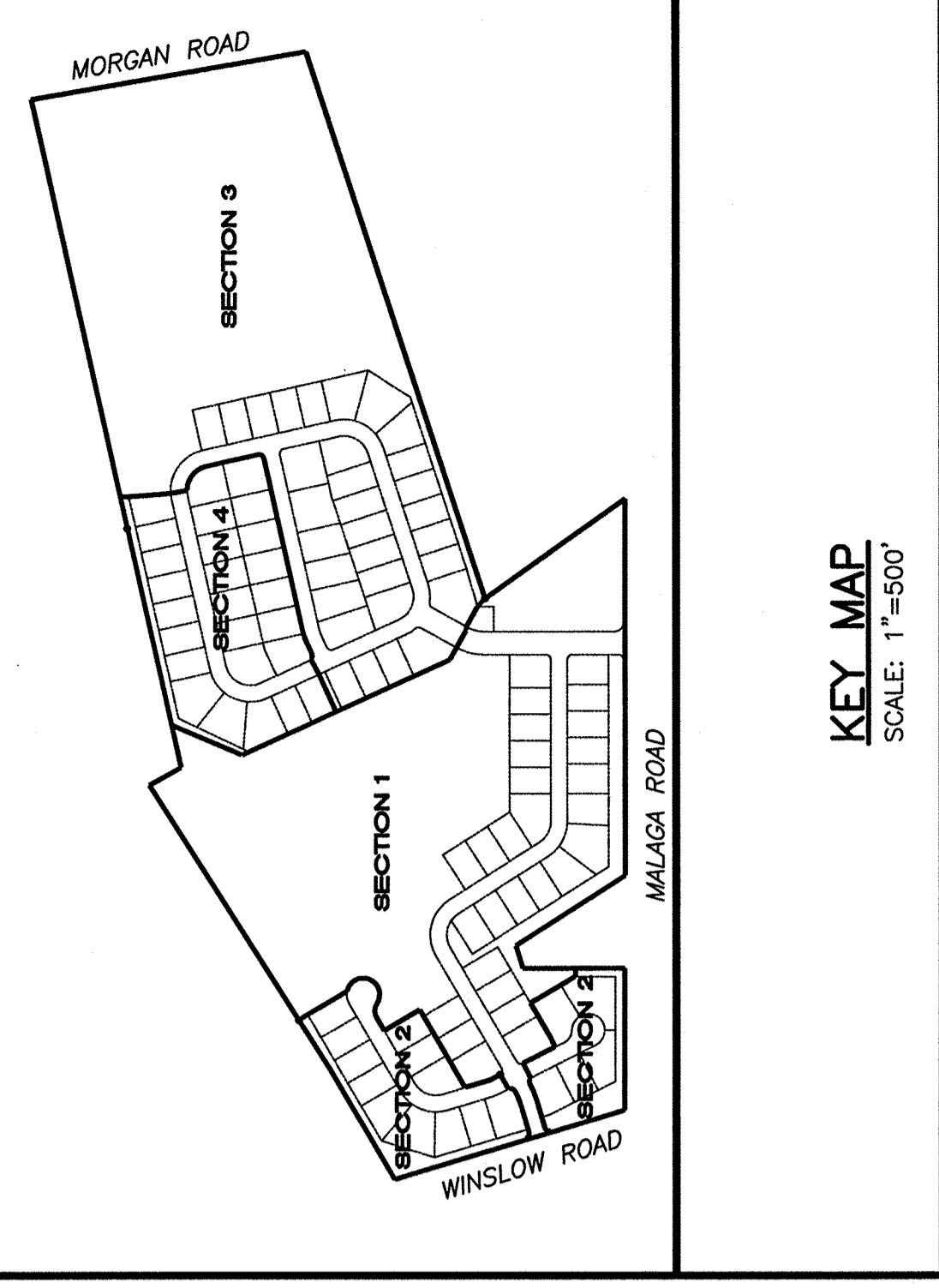
CONSULTING ENGINEERS SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 150 DELSEA DRIVE, SUITE 11, SEWELL, NEW JERSEY 08080
 PHONE (609) 228-2200
 FAX (609) 232-2348
 N.J. CERTIFICATE OF AUTHORIZATION NO. 06A20287700

PLAN OF SURVEY
MORGAN & MALAGA - NEW BROOKLYN ROADS
 PLATES 26 & 27, BLOCK 2702, LOTS 11, 15, 16, 17, 18, 40, & 41

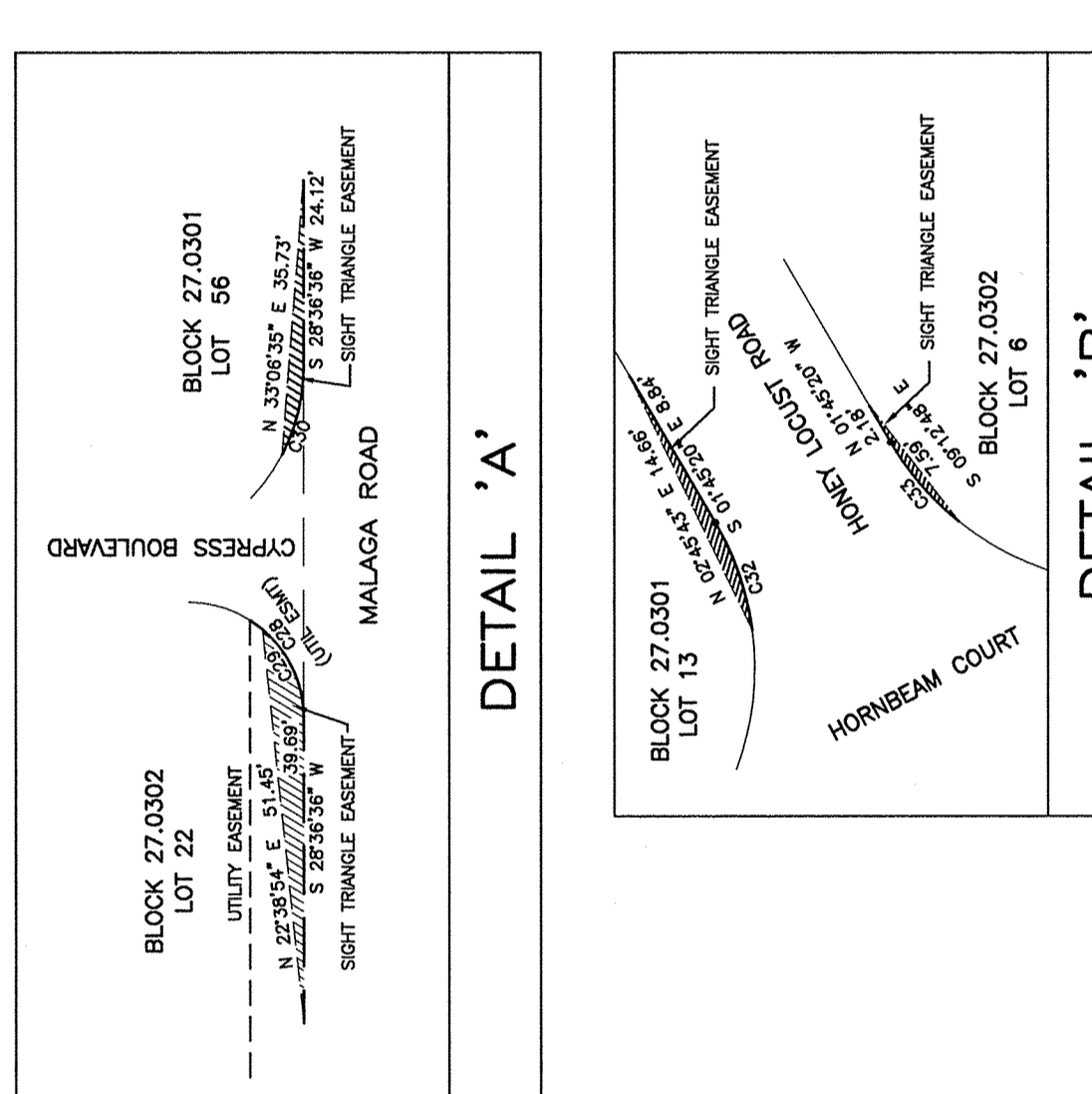
CD	DATE	REVISIONS
02-29-11		REVISED PER PINELANDS COMMISSION
DRWN		
DATE		
REVISIONS		

PROFESSIONAL LAND SURVEYOR, NEW JERSEY LIC. NO. 38943
MARGARET KULIK
Margaret Kulik
 DATE 2/25/11





CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	15.00'	1.00'	1.00'	1.41'	N 89°45'00" E
C2	250.00'	52.48'	28.34'	120.13'	N 05°45'00" E
C3	15.00'	19.01'	11.05'	22.57'	S 36°20'01" W
C4	15.00'	19.01'	11.05'	22.57'	N 53°39'59" E
C5	200.00'	44.89'	22.56'	125.24'	N 05°48'00" E
C6	15.00'	23.95'	13.00'	28.02'	N 85°54'45" E
C7	50.00'	74.83'	34.39'	83.54'	N 85°54'45" E
C8	75.00'	113.13'	51.18'	125.24'	N 85°54'45" E
C9	15.00'	1.00'	1.00'	1.41'	S 85°54'45" E
C10	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C11	15.00'	1.00'	1.00'	1.41'	S 85°54'45" E
C12	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C13	75.00'	113.13'	51.18'	125.24'	S 42°10'37" W
C14	15.00'	1.00'	1.00'	1.41'	S 42°10'37" W
C15	15.00'	1.00'	1.00'	1.41'	S 42°10'37" W
C16	15.00'	1.00'	1.00'	1.41'	S 42°10'37" W
C17	25.00'	39.74'	21.00'	46.51'	N 16°23'24" E
C18	25.00'	39.74'	21.00'	46.51'	N 73°36'36" E
C19	170.00'	86.08'	43.89'	232.04'	N 46°33'00" E
C20	15.00'	23.95'	13.00'	28.02'	N 85°54'45" E
C21	15.00'	23.95'	13.00'	28.02'	N 85°54'45" E
C22	120.00'	181.69'	100.43'	227.54'	N 42°10'37" W
C23	75.00'	85.81'	48.35'	102.02'	S 31°53'37" W
C24	75.00'	85.81'	48.35'	102.02'	S 31°53'37" W
C25	120.00'	181.69'	100.43'	227.54'	N 42°10'37" W
C26	120.00'	181.69'	100.43'	227.54'	N 42°10'37" W
C27	120.00'	181.69'	100.43'	227.54'	N 42°10'37" W
C28	120.00'	181.69'	100.43'	227.54'	N 42°10'37" W
C29	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C30	25.00'	39.74'	21.00'	46.51'	N 16°23'24" E
C31	25.00'	39.74'	21.00'	46.51'	N 73°36'36" E
C32	15.00'	5.92'	3.00'	6.74'	N 09°33'28" W
C33	15.00'	5.92'	3.00'	6.74'	N 17°11'25" W
C34	25.00'	39.74'	21.00'	46.51'	N 16°23'24" E
C35	25.00'	39.74'	21.00'	46.51'	N 73°36'36" E
C36	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C37	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C38	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C39	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C40	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C41	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C42	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C43	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C44	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C45	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C46	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C47	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C48	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C49	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C50	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C51	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C52	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C53	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C54	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C55	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C56	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C57	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C58	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C59	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C60	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C61	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C62	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C63	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C64	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C65	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C66	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C67	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C68	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C69	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C70	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C71	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C72	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C73	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C74	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C75	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C76	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C77	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C78	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C79	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C80	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C81	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C82	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C83	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C84	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C85	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C86	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C87	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C88	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C89	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C90	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C91	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C92	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C93	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C94	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C95	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C96	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C97	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C98	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C99	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E
C100	15.00'	1.00'	1.00'	1.41'	N 85°54'45" E



OWNERS CERTIFICATION:
 I, THE UNDERSIGNED, OWNER OF THE PROPERTY SHOWN ON THIS MAP, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN ON THIS MAP AND THAT I HAVE THE NECESSARY RIGHTS TO CONVEY THE SAME.
 DATE: _____ OWNER: ROBERT V. NICOLETTI

INDEXES
 1. NUMBER OF BUILDING LOTS = 28
 2. TOTAL AREA OF THIS SECTION = 30.93 AC.±
 3. TOTAL AREA OF OPEN SPACE IN THIS SECTION = 20.98 AC.±
 4. SIGHT TRIANGLE EASEMENTS GRANTED TO THE MONROE TOWNSHIP
 5. PROPERTY BOUNDARY INFORMATION BASED UPON:
 a) PLAN ENTITLED: PLAN OF SURVEY, MONROE & MALAGA - NEW BROOKLYN ROADS, MONROE TOWNSHIP, GLoucester COUNTY, NEW JERSEY 08033, DATED 11/02/2010, RENSSED 02/25/2011
 6. PROPERTY IN QUESTION IS ZONED: RG-MR, REGIONAL GROWTH MODERATE RESIDENTIAL DISTRICT
 7. PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
 8. BULK REQUIREMENTS:

DESCRIPTION
 10,000 SF
 MINIMUM LOT AREA:
 75 SF
 MINIMUM LOT FRONTAGE:
 15 SF
 MINIMUM FRONT YARD SETBACK:
 40 FT
 MINIMUM REAR YARD SETBACK:
 10 FT
 MINIMUM SIDE YARD SETBACK:
 25 FT
 MAXIMUM LOT COVERAGE:
 30%

9. BY THE FILING OF THIS MAP IN ACCORDANCE WITH THE PROVISIONS OF THE MAP FILING LAW, THE UNDERSIGNED CERTIFIES THAT THE PROPERTY IS OWNED BY THE UNDERSIGNED AND THAT THE PROPERTY IS NOT SUBJECT TO ANY OTHER EASEMENTS OR ENCUMBRANCES.
 USE OF THE PROPERTY BY THE LANDOWNER.

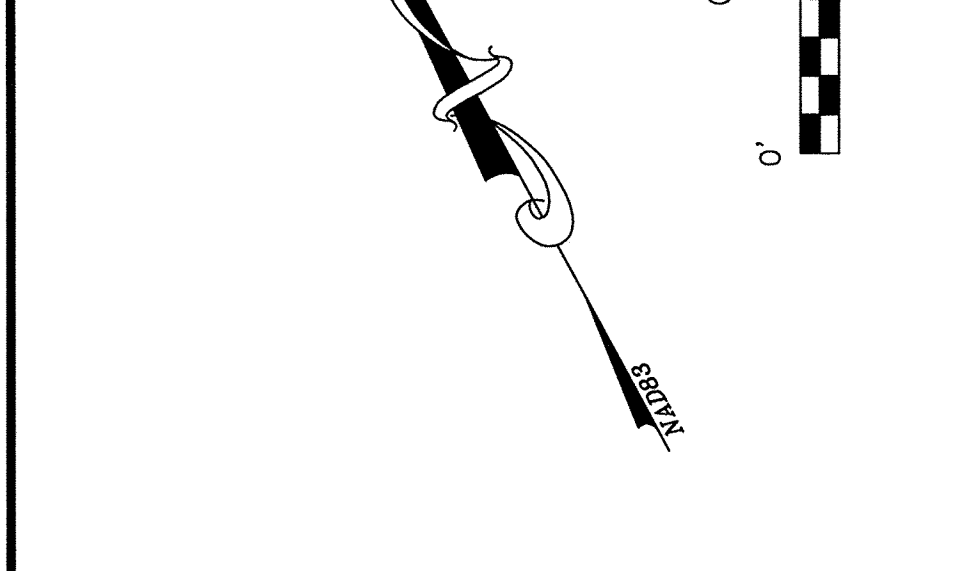
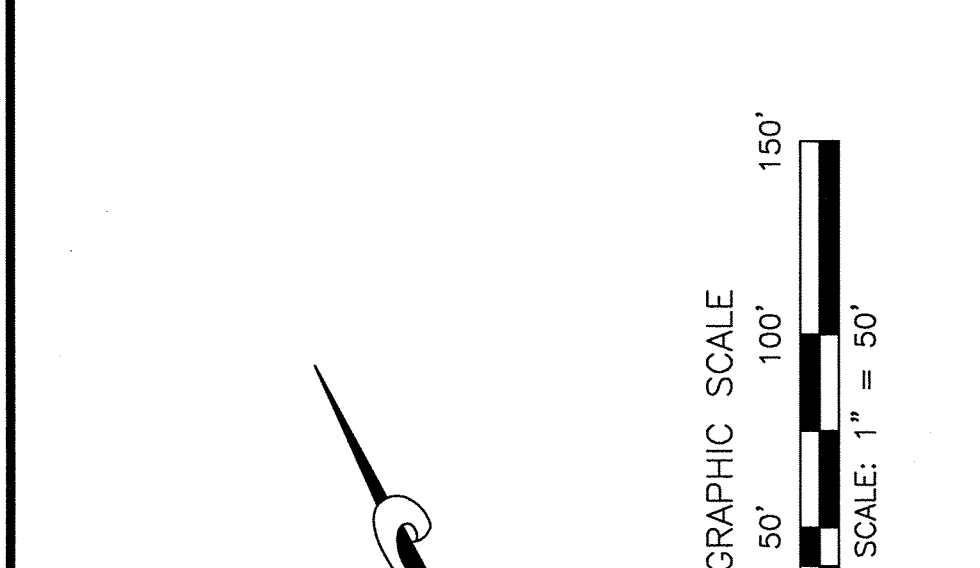
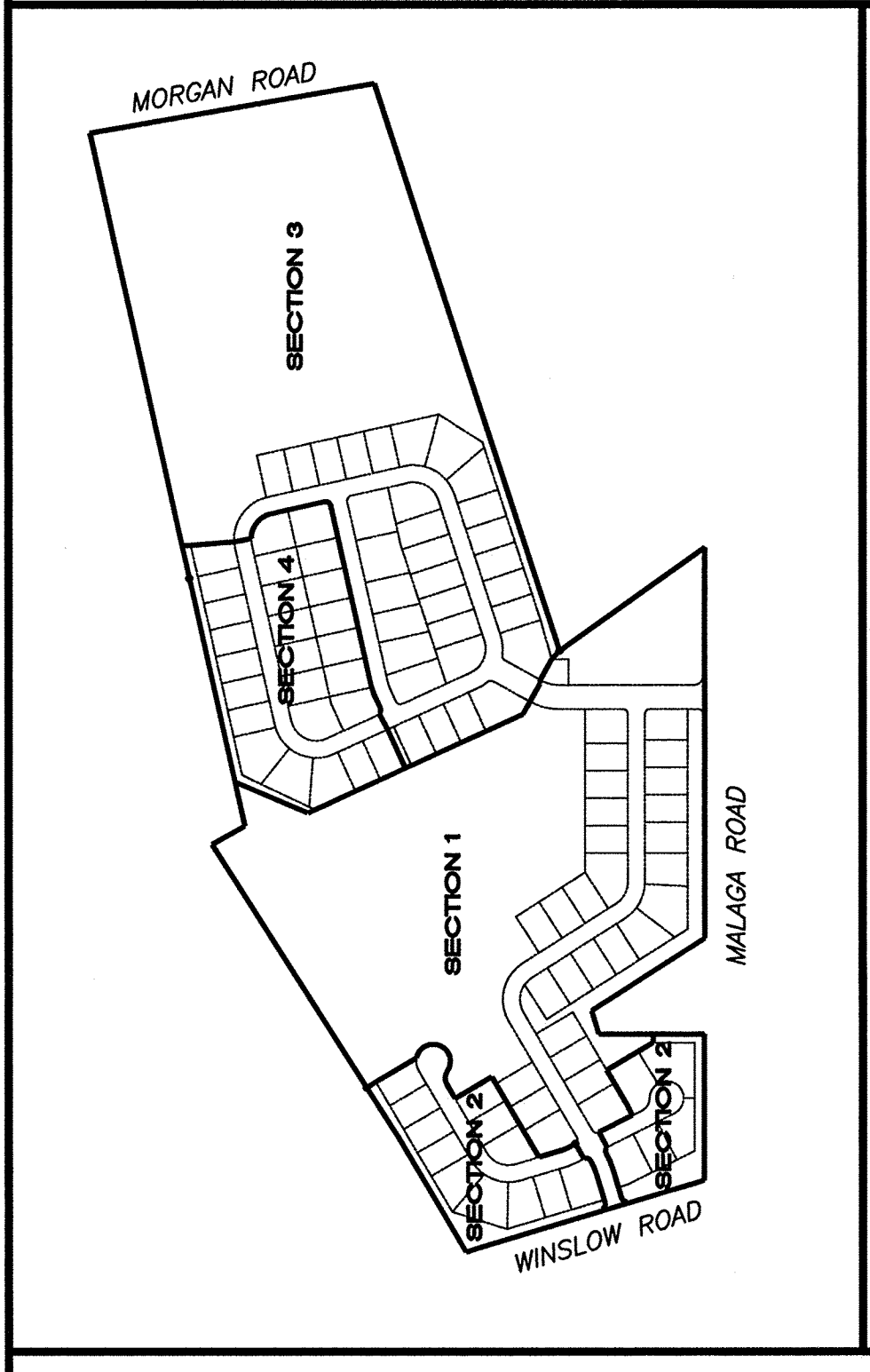
MONROE TOWNSHIP PLANNING BOARD APPROVAL:
 THIS PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MONROE, NEW JERSEY.
 DATE: _____ PLANNING BOARD CHAIRMAN: CORNELIUS O'BRIEN

I HEREBY CERTIFY THAT THIS MAP WAS DULY APPROVED BY RESOLUTION OF THE PLANNING BOARD AT AN OFFICIAL MEETING HELD ON _____ AND SHALL BE FILED ON OR BEFORE _____.

I HEREBY FURTHER CERTIFY THAT THE PLANNING BOARD IS THE CONSTITUTED PROPER AUTHORITY.

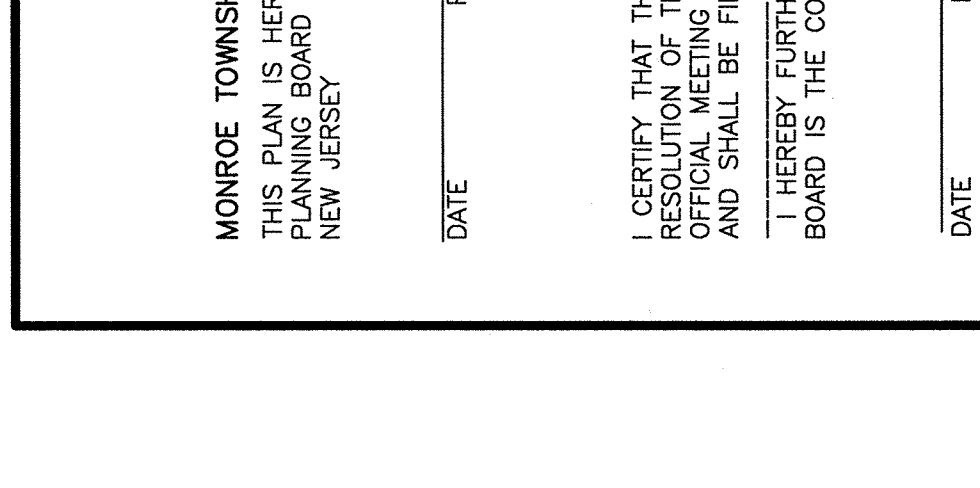
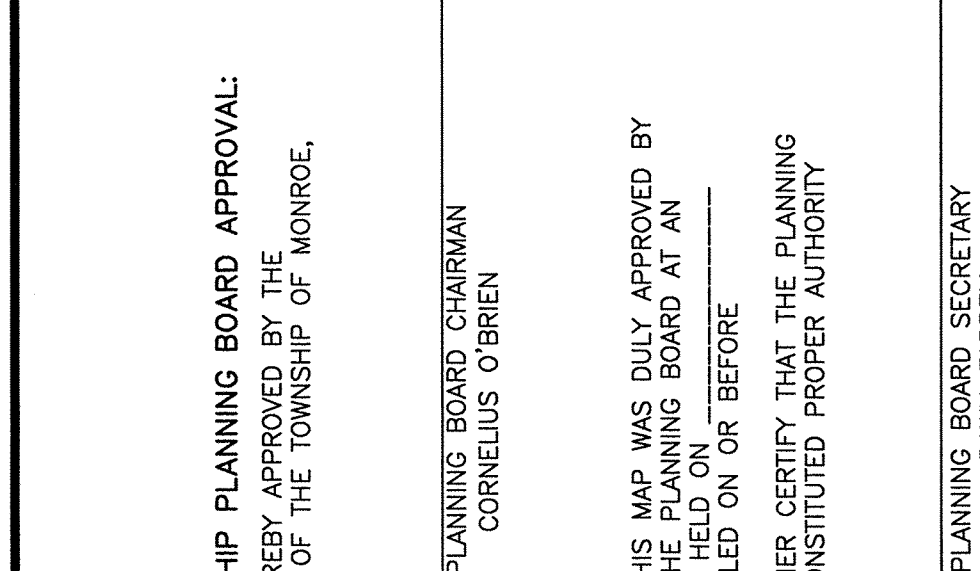
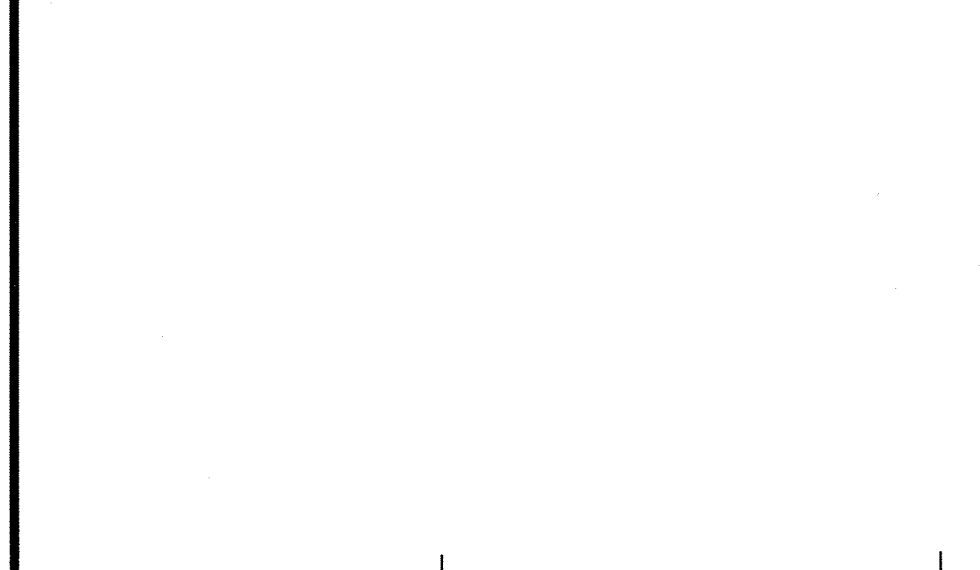
DATE: _____ PLANNING BOARD SECRETARY: DAWN FARRELL

MUNICIPAL CLERK:
 THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND SURVEYING ACT", N.J.A.C. 17:27, OR LOCAL ORDINANCE, N.J.A.C. 17:27.1, OR LOCAL ORDINANCE, N.J.A.C. 17:27.2, OR LOCAL ORDINANCE, N.J.A.C. 17:27.3, OR LOCAL ORDINANCE, N.J.A.C. 17:27.4, OR LOCAL ORDINANCE, N.J.A.C. 17:27.5, OR LOCAL ORDINANCE, N.J.A.C. 17:27.6, OR LOCAL ORDINANCE, N.J.A.C. 17:27.7, OR LOCAL ORDINANCE, N.J.A.C. 17:27.8, OR LOCAL ORDINANCE, N.J.A.C. 17:27.9, OR LOCAL ORDINANCE, N.J.A.C. 17:27.10, OR LOCAL ORDINANCE, N.J.A.C. 17:27.11, OR LOCAL ORDINANCE, N.J.A.C. 17:27.12, OR LOCAL ORDINANCE, N.J.A.C. 17:27.13, OR LOCAL ORDINANCE, N.J.A.C. 17:27.14, OR LOCAL ORDINANCE, N.J.A.C. 17:27.15, OR LOCAL ORDINANCE, N.J.A.C. 17:27.16, OR LOCAL ORDINANCE, N.J.A.C. 17:27.17, OR LOCAL ORDINANCE, N.J.A.C. 17:27.18, OR LOCAL ORDINANCE, N.J.A.C. 17:27.19, OR LOCAL ORDINANCE, N.J.A.C. 17:27.20, OR LOCAL ORDINANCE, N.J.A.C. 17:27.21, OR LOCAL ORDINANCE, N.J.A.C. 17:27.22, OR LOCAL ORDINANCE, N.J.A.C. 17:27.23, OR LOCAL ORDINANCE, N.J.A.C. 17:27.24, OR LOCAL ORDINANCE, N.J.A.C. 17:27.25, OR LOCAL ORDINANCE, N.J.A.C. 17:27.26, OR LOCAL ORDINANCE, N.J.A.C. 17:27.27, OR LOCAL ORDINANCE, N.J.A.C. 17:27.28, OR LOCAL ORDINANCE, N.J.A.C. 17:27.29, OR LOCAL ORDINANCE, N.J.A.C. 17:27.30, OR LOCAL ORDINANCE, N.J.A.C. 17:27.31, OR LOCAL ORDINANCE, N.J.A.C. 17:27.32, OR LOCAL ORDINANCE, N.J.A.C. 17:27.33, OR LOCAL ORDINANCE, N.J.A.C. 17:27.34, OR LOCAL ORDINANCE, N.J.A.C. 17:27.35, OR LOCAL ORDINANCE, N.J.A.C. 17:27.36, OR LOCAL ORDINANCE, N.J.A.C. 17:27.37, OR LOCAL ORDINANCE, N.J.A.C. 17:27.38, OR LOCAL ORDINANCE, N.J.A.C. 17:27.39, OR LOCAL ORDINANCE, N.J.A.C. 17:27.40, OR LOCAL ORDINANCE, N.J.A.C. 17:27.41, OR LOCAL ORDINANCE, N.J.A.C. 17:27.42, OR LOCAL ORDINANCE, N.J.A.C. 17:27.43, OR LOCAL ORDINANCE, N.J.A.C. 17:27.44, OR LOCAL ORDINANCE, N.J.A.C. 17:27.45, OR LOCAL ORDINANCE, N.J.A.C. 17:27.46, OR LOCAL ORDINANCE, N.J.A.C. 17:27.47, OR LOCAL ORDINANCE, N.J.A.C. 17:27.48, OR 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17:27.74, OR LOCAL ORDINANCE, N.J.A.C. 17:27.75, OR LOCAL ORDINANCE, N.J.A.C. 17:27.76, OR LOCAL ORDINANCE, N.J.A.C. 17:27.77, OR LOCAL ORDINANCE, N.J.A.C. 17:27.78, OR LOCAL ORDINANCE, N.J.A.C. 17:27.79, OR LOCAL ORDINANCE, N.J.A.C. 17:27.80, OR LOCAL ORDINANCE, N.J.A.C. 17:27.81, OR LOCAL ORDINANCE, N.J.A.C. 17:27.82, OR LOCAL ORDINANCE, N.J.A.C. 17:27.83, OR LOCAL ORDINANCE, N.J.A.C. 17:27.84, OR LOCAL ORDINANCE, N.J.A.C. 17:27.85, OR LOCAL ORDINANCE, N.J.A.C. 17:27.86, OR LOCAL ORDINANCE, N.J.A.C. 17:27.87, OR LOCAL ORDINANCE, N.J.A.C. 17:27.88, OR LOCAL ORDINANCE, N.J.A.C. 17:27.89, OR LOCAL ORDINANCE, N.J.A.C. 17:27.90, OR LOCAL ORDINANCE, N.J.A.C. 17:27.91, OR LOCAL ORDINANCE, N.J.A.C. 17:27.92, OR LOCAL ORDINANCE, N.J.A.C. 17:27.93, OR LOCAL ORDINANCE, N.J.A.C. 17:27.94, OR LOCAL ORDINANCE, N.J.A.C. 17:27.95, OR LOCAL ORDINANCE, N.J.A.C. 17:27.96, OR LOCAL ORDINANCE, N.J.A.C. 17:27.97, OR LOCAL ORDINANCE, N.J.A.C. 17:27.98, OR LOCAL ORDINANCE, N.J.A.C. 17:27.99, OR LOCAL 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ORDINANCE, N.J.A.C. 17:27.200, OR LOCAL ORDINANCE, N.J.A.C. 17:27.201, OR LOCAL ORDINANCE, N.J.A.C. 17:27.20



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD	BEARING
C1	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C2	250.000'	52.48	26.34	120.135°	52.38	N 59.54200° E
C3	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° W
C4	15.000'	11.921'	11.921'	72.3742°	17.77	S 35.19201° W
C5	200.000'	44.89	22.445	123.24°	44.89	N 0.25807° E
C6	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C7	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C8	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C9	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C10	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C11	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C12	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C13	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C14	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C15	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C16	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C17	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C18	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C19	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C20	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C21	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C22	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C23	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C24	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C25	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C26	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C27	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C28	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C29	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C30	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C31	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C32	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C33	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C34	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E
C35	15.000'	11.921'	11.921'	72.3742°	17.77	N 35.19201° E



MONROE TOWNSHIP PLANNING BOARD APPROVAL:
 PLANNING BOARD CHAIRMAN
 CORNELIUS O'BRIEN

DATE: _____

I CERTIFY THAT THIS MAP WAS DULY APPROVED BY
 RESOLUTION OF THE PLANNING BOARD AT AN
 MEETING HELD ON _____
 AND SHALL BE FILED ON OR BEFORE _____
 I HEREBY FURTHER CERTIFY THAT THE PLANNING
 BOARD IS THE CONSTITUTED PROPER AUTHORITY

DATE: _____

PLANNING BOARD SECRETARY
 DAWN FARRELL

MUNICIPAL CLERK:
 SUSAN MCCORMICK

MUNICIPAL ENGINEER:
 CHRIS REHMANN

GLoucester COUNTY APPROVAL:
 APPROVED SUBDIVISION:
 DATE: _____

OWNER/APPLICANT:
 PHILADELPHIA SUBURBAN
 100 ROSS ROAD, SUITE 200,
 KING OF PRUSSIA, PA 19406

OWNERS CERTIFICATION:
 I HEREBY CERTIFY THAT THE LANDS SUBMITTED
 BY THIS MAP ARE OWNED BY TITLE OF RECORD
 AND THAT CONSENT TO THE APPROVAL OF SAID
 PLAN IS GIVEN

DATE: _____

OWNER:
 ROBERT V. NICOLETTI

SURVEYORS CERTIFICATION:
 I, THE UNDERSIGNED, BEING A LICENSED SURVEYOR
 OF THE STATE OF NEW JERSEY, DO HEREBY CERTIFY
 THAT I HAVE PERSONALLY EXAMINED THE DATA
 AND INSTRUMENTS USED IN THE PREPARATION OF
 THIS MAP AND THAT I AM AWARE OF ALL THE
 FACTS AND CIRCUMSTANCES SURROUNDING THE
 SAME AND THAT I AM NOT PROVIDING ANY
 INFORMATION THAT IS FALSE OR MISLEADING
 IN ANY MANNER.

DATE: 2/04/2015
 MARGARET KULIK, P.L.L.C.
 N.J. LICENSED PROFESSIONAL LAND SURVEYOR NO. 38943

NOTES:
 1. NUMBER OF BUILDING LOTS = 17
 2. TOTAL AREA OF THIS SECTION = 7.36 AC.
 3. TOTAL AREA OF OPEN SPACE IN THIS SECTION = 1.45 AC.
 4. THE PROPOSED LOTS ARE TO BE USED FOR RESIDENTIAL PURPOSES.
 5. PROPERTY BOUNDARY INFORMATION BASED UPON:
 a) PLAN ENTITLED: "MORGAN & MALAGA - NEW BROOKLYN ROADS
 SUBDIVISION" PREPARED BY CONSULTING ENGINEERS SERVICES
 MONROE TOWNSHIP, GLoucester COUNTY, NEW JERSEY 08033
 b) FIELD NOTES DATED 11/02/2010 REV. 02/25/2011 MEET
 THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF
 SURVEYING AND MAPPING ENGINEERS.
 6. PROPERTY IN QUESTION IS ZONED: RG-HSR, REGIONAL GROWTH INCENTIVE RESIDENTIAL DISTRICT
 7. PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
 8. BULK REQUIREMENTS:
 MINIMUM LOT AREA: 10,000 SF
 MINIMUM LOT FRONTAGE: 75 SF
 MINIMUM LOT WIDTH: 75 SF
 MINIMUM FRONT YARD SETBACK: 40 FT
 MINIMUM REAR YARD SETBACK: 10 FT
 MINIMUM SIDE YARD SETBACK: 20 FT
 MAXIMUM LOT COVERAGE: 30%

9. BY THE FILING OF THIS MAP IN ACCORDANCE WITH THE PROVISIONS OF THE MAP FILING LAW,
 RESPONSIBLE SURVEY ACCESS TO THE MONUMENTS IS GRANTED, WHICH SHALL NOT RESTRICT IN ANY WAY THE
 USE OF THE PROPERTY OF THE LANDOWNER.

PREPARED BY:
 CONSULTING ENGINEERS SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS & LAND SURVEYORS
 645 BELMONT-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
 PHONE (609) 228-2300 FAX (609) 332-2348
 PROJECT NO. 1201501102, FILE NO. 2812, P.O. BOX 5232
 GRANBY, NJ 07828

FINAL PLAN OF LOTS
 SECTION 2
 MALAGA ROAD TRACT
 BLOCK 2702, LOTS 1, 15, 17, 40 AND 41
 MONROE TOWNSHIP, GLoucester COUNTY, NEW JERSEY

DRAWN BY: WJS
 DATE: 02/02/15
 REVISIONS:
 WJS 02/02/15 REVISED EASEMENT ALONG MALAGA ROAD

