

Trident Land Transfer Company
431 West Lancaster Avenue
Devon, PA 19333
Phone: 610-889-7669
Fax:

COMMITMENT FOR TITLE INSURANCE

Commonwealth Land Title Insurance Company

Effective Date: July 26, 2016

Schedule A

1. Policy or Policies to be issued:

A. Policy to be issued:
ALTA Owners 2006 (as modified by TIRBOP)
Proposed Insured: To Be Determined
Amount of Insurance:
Effective Date:

B. Policy to be issued:
ALTA Loan 2006 (as modified by TIRBOP)
Proposed Insured: To Be Determined
Amount of Insurance:
Effective Date:

2. Title to the estate or interest in the land described or referred to in this Commitment is a Fee Simple and is at the effective date hereof vested in:

Premises A:
Oak Leaf Investors, Ltd., a Pennsylvania corporation

Premises B:
Oak Leaf Investors, Inc., a Pennsylvania corporation

3. The land referred to in this Commitment is described in Schedule C attached hereto and made part hereof.

For Information Purposes Only:
Golden Oaks Golf Club

Premises A:
10 Stonehedge Drive
Ruscombmanor Township
Berks County, Pennsylvania

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Premises B:
Augusta Lane
Ruscombmanor Township
Berks County, Pennsylvania

Schedule B Section 1 Requirements

This Title Insurance Commitment (the "Commitment") is issued pursuant to the Agreement to Issue Policy contained on the American Land Title Insurance Commitment (2006) front cover form (the "Form") and is subject to the Conditions stated therein. Any title search and examination conducted by or for the Company in connection with the issuance of this Commitment is solely for the benefit of the Company. The sole liability of Company and its agent shall arise under and be governed by the Commitment and/or Policy subsequently issued. If this copy of the Commitment is not accompanied by the Form, a copy of the Form may be obtained from this Company upon request.

PLEASE BE ADVISED THAT A CONTINUATION SEARCH WILL BE MADE AT THE TIME OF CLOSING TO UPDATE THE EFFECTIVE DATE OF THE COMMITMENT AND THAT THE EARLIER EFFECTIVE DATE SHOWN AT THE BEGINNING OF THIS COMMITMENT WILL NOT AFFECT THE DATE OF COVERAGE OF THE POLICY. THE DATE OF THE POLICY WILL BE THE DATE OF RECORDING OF THE INSURED INSTRUMENT AND WILL COVER THE GAP BETWEEN THE LAST DATE COVERED BY THE OFFICIAL RECORD AT THE TIME OF CLOSING AND THE DATE OF RECORDING.

THE FOLLOWING REQUIREMENTS MUST BE MET:

1. Instrument(s) satisfactory to us, creating the estate or interest to be insured must be executed, delivered and filed for record.
 - A. **DEED FROM:** Oak Leaf Investors, Ltd., a Pennsylvania corporation, a/k/a Oak Leaf Investors, Inc.
TO: To Be Determined
DATED:
RECORDED:
 - B. **MORTGAGE FROM:** To Be Determined
TO:
DATED:
RECORDED:
2. Payment of full consideration to or for the account of the grantors or mortgagors.
3. Payment of the premiums, fees and charges for the policy.
4. Possible unfiled mechanics liens and municipal claims.
5. Terms of any unrecorded lease or rights of parties in possession.
6. Proof that all natural persons in this transaction are of full age and legally competent.
7. Proof of identity of parties as set forth in Recital.
8. **POWERS OF ATTORNEY:** If any party to the settlement intends to use a Power of Attorney at settlement, a copy of such Power of Attorney must be submitted for review in advance of settlement. Failure to comply with this requirement may result in the postponement of the settlement. Acceptability of the Power of Attorney for purposes of completion of settlement is within the discretion of the insurer.

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**Schedule B Section 1
Requirements continued**

9. Proof that no parties to this transaction are involved in bankruptcy proceedings; if bankruptcy has been filed, same to be examined; possible additional requirements/exceptions to be added.
10. Satisfactory evidence should be provided that improvements and/or repairs or alterations thereto are completed; that contractor, sub-contractors, labor and materialmen are all paid; and have released of record all liens or notice of intent to perfect a lien for labor material.

11. ASSESSMENT:

Premises A (Tract 1 & 2):
UPI/Property ID: 76543004812278
Total Assessed Value: \$1,640,100.00

Premises B:
UPI/Property ID: 76543004828175
Total Assessed Value: \$15,300.00

12. TAXES:

Receipts for Township, County and School Taxes for the three prior years to be produced.
Township, County and School Taxes for the current year 2016 to be produced.

13. WATER AND SEWER RENTS:

Receipts for Water and Sewer Rents for the three prior years to be produced.
Water and Sewer Rents for the current year 2016 to be produced.

14. MORTGAGES:

A. Mortgage

Amount: \$3,150,000.00
Mortgagor: Oak Leaf Investors, Ltd.
Mortgagee: Leesport Bank
Dated: 12/23/2003 and Recorded: 12/26/2003
Record Book: 3954 Page: 2188

i. Assignment Of Leases And Rents

Assignor: Oak Leaf Investors, Ltd.
Assignee: Leesport Bank
Dated: 12/23/2003 and Recorded: 12/26/2003
Record Book: 3954 Page: 2207

15. UCC FINANCING STATEMENTS:

A. UCC Financing Statement

Debtor: Oak Leaf Investors, Ltd.
Secured Party: VIST Bank fka Leesport Bank
Recorded: 1/26/2012
Instrument No.: 2012003514

B. UCC Financing Statement

Debtor: Oak Leaf Investors, Ltd.
Secured Party: VIST Bank fka Leesport Bank

**Schedule B Section 1
Requirements continued**

Recorded: 1/26/2012
Instrument No.: 2012003515

16. BANKRUPTCIES: NONE

17. JUDGMENTS:

- A. NOTICE ONLY:
Complaint - Tort
Docket No.: 16-15947
Plaintiff: Agnes Lepold and Lou Lepold
Defendant: Oak Leaf Investors Ltd., et.al.
Filed: 8/2/2016
Copy of Complaint not yet available.

18. Names of all relevant parties to the within real estate transaction to be searched prior to closing to verify that they are not Specially Designated Nationals subject to the provisions of President's Executive Order Targeting Terrorist Assets.

19. Owner's Affidavit on Company form to be executed by sellers or mortgagors and filed with Company.

20. Letter must be furnished from the Municipality and/or Municipal Authority showing that there are no unfiled municipal liens or claims.

21. Purchase money mortgages or notes, if any, must be disclosed to the Company.

22. Prior to settlement, search of statewide support lien system (<http://www.childsupport.state.pa.us>) to be performed to determine the existence of support arrearages, if any. Company or its Agent to be provided with social security numbers of all natural persons that are a party to the transaction so that this search can be performed by the closing officer no more than 30 days in advance of closing.

23. Possible additional Company approvals, which approvals depend on liability amount as shown on Schedule A, currently designated as TBD.

24. The following note is for Informational Purposes Only:

The following deed(s) affecting said land were recorded within six (6) months of the date of this report: NONE

25. Last Insured: Commonwealth Land Title Insurance Company; No. A60-0633124; Dated: 12/26/2003; Amount: \$4,500,000.00.

26. Requirements for Oak Leaf Investors, Ltd., a Pennsylvania corporation:

- A. Certificate of Incorporation to be furnished.
- B. Certified copy of Resolution of the Board of Directors authorizing the execution of the documents for this transaction to be furnished.
- C. Furnish proof that corporation is presently in good standing with the Commonwealth of Pennsylvania.

**Schedule B Section 1
Requirements continued**

- D. Furnish proof that any taxes settled by or due the Commonwealth of Pennsylvania have been paid.
- 27. Name and nature of buyer to be disclosed, additional searching to be performed on same, and additional proofs/requirements to be added.

Schedule B Section 2 Exceptions

In the event that one or more of the Exceptions listed below references covenants, conditions and/or restrictions, please note that the Exception(s) specifically exclude any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this report.
2. Rights or claims of parties in possession of the land not shown by the public record.
3. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
4. Easements, encroachments, overlaps, shortages of area, boundary line disputes and other matters affecting title that an accurate and complete survey would disclose.
5. Real estate taxes for the current and prior tax years which are hereafter assessed and are not yet due and payable.
6. Title to that portion of the premises lying in the bed of any public or private roads is subject to public and private rights therein.
7. Rights of ingress, egress, internment, and sepulcher in and to a cemetery located on the premises.
8. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Sketch Plan For Record For Stephanie E. Bean & R. Kerry Bean" recorded in Plan Book 163 page 52.
9. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Yorgey Subdivision II" recorded in Plan Book 177 page 3.
10. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Sketch Plan For Record For Golden Oaks, Inc., II" recorded in Plan Book 183 page 29.
11. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Final Plan For Golden Oaks, Inc. I" recorded in Plan Book 183 page 46.
12. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan recorded in Plan Book 187 page 23.
13. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan recorded in Plan Book 190 page 52.

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Schedule B Section 2
Exceptions continued

14. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Golden Oaks Country Club" recorded in Plan Book 192 page 23.
15. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Golden Oaks Clubhouse Land Development" recorded in Plan Book 196 page 51.
16. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Golden Oaks/Wierzbicki Annexation Plan" recorded in Plan Book 196 page 52.
17. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Annexation Plan For Fillipini Real Estate" recorded in Plan Book 212 page 50.
18. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Golden Oaks Country Club Subdivision" recorded in Plan Book 212 page 51.
19. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Sketch Plan Of Record Made For Golden Oaks Country Club Subdivision" recorded in Plan Book 216 page 38.
20. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Subdivision Plan Of Golden Oaks" recorded in Plan Book 244 page 38.
21. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Subdivision Plan Of Golden Oaks" recorded in Plan Book 245 page 35.
22. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Golden Oaks Sewage Treatment Plant" recorded in Plan Book 261 page 38.
23. Notes, conditions, setback lines, easements, reservations, covenants, and restrictions as shown and set forth on Plan titled "Ruscombmanor Sewage Plant" recorded in Plan Book 301 page 25.
24. Rights granted to Metropolitan Edison Company in Misc. Book 119 page 353; 119 page 354; 131 page 207; 132 page 668; 142 page 331; 157 page 269; 179 page 263; 222 page 622; 295 page 977; 328 page 124; 354 page 175; 419 page 880 and Record Book 2115 page 121; 2182 page 2319; 2428 page 2385 and 2564 page 2039.
25. Rights granted to Bell Telephone Company of Pennsylvania in Record Book 2531 page 480 and 2542 page 1902.
26. Rights granted to Susquehanna Pipe Line Co. in Misc. Book 111 page 677 and amendment recorded in Record Book 2332 page 1352.
27. Rights granted to Susquehanna Pipe Line Co. in Misc. Book 111 page 678.
28. Rights granted to Sun Oil Co. in Misc. Book 112 page 100. Assigned to Susquehanna Pipe Line Co. in Misc. Book 115 page 87.

Schedule B Section 2
Exceptions continued

29. Golf Privileges Agreement between Golden Oaks, Inc. and Harry E. Naugle, Jr. and Robin Naugle, dated October 3, 1991 and recorded in Record Book 2243 page 921.
30. Easement and Right of Way Agreement between Golden Oaks, Inc. and Emma K. Naugle, Harry E. Naugle, Jr. and Robin Naugle, dated October 3, 1991 and recorded in Record Book 2247 page 430.
31. Golf Privileges Agreement between Golden Oaks, Inc. and R. Gordon Yorgey, Mark Yorgey, Joel Yorgey, Philip Yorgey, Andrew Yorgey and Lois E. Yorgey, dated September 30, 1991 and recorded in Record Book 2252 page 955.
32. Agreement between Golden Oaks, Inc. and R. Gordon Yorgey and Fern H. Yorgey, dated February 18, 1992 and recorded in Record book 2282 page 2343.
33. Pennsylvania Department of Transportation Highway Occupancy Permit recorded in Record Book 2310 page 1197.
34. Subdivider Agreement between Golden Oaks, Inc. and The Township of Ruscombmanor, dated July 2, 1992 and recorded in Record Book 2368 page 1954.
35. Detention Pond Maintenance Agreement between Golden Oaks, Inc. and Ruscombmanor Township, dated July 2, 1992 and recorded in Record Book 2368 page 1959.
36. Installation and Maintenance Agreement for a Stream Discharge Wastewater Disposal System between the Township of Ruscombmanor and Golden Oaks, Inc., dated September 3, 1992 and recorded in Record Book 2368 page 1965.
37. Installation and Maintenance Agreement for a Stream Discharge Wastewater Disposal System between Township of Ruscombmanor and Golden Oaks, Inc., dated September 3, 1992 and recorded in Record Book 2416 page 1936.
38. Easement for Surface Water Drainage between R. Kerry Bean and Judith D. Bean and Golden Oaks, Inc., dated July 22, 1992 and recorded in Record Book 2416 page 1944.
39. Deed of Easement between R. Kerry Bean and Judith D. Bean and Golden Oaks, Inc. dated June 2, 1994 and recorded in Record Book 2550 page 1226.
40. Pennsylvania Department of Transportation Highway Occupancy Permit recorded in Record Book 2595 page 496.
41. Memorandum of Lease Agreement between Golden Oaks, Inc. and Bell Atlantic Mobile Systems, Inc., dated December 9, 1993 and recorded in Record Book 2695 page 2353.
42. Covenants regarding Erhardt Lane and 25 feet wide right of way set forth in deed recorded in Record Book 2695 page 2357.
43. Covenants and conditions set forth in deed to Benjamin Brubacher recorded in Record Book 2695 page 2357.
44. Sewage Treatment Easement and Agreement between Golden Oaks, Inc. and Benjamin S. Brubacher, dated January 4, 1996 and recorded in Record Book 2695 page 2366.
45. Rights of use, access and right-of-way as set forth in deed to National Golf Operating Partnership, L.P. in Record Book 2695 page 2376.

**Schedule B Section 2
Exceptions continued**

46. Golf Play Easement between Golden Oaks, Inc. and National Golf Operating Partnership, L.P., dated January 11, 1996 and recorded in Record Book 2696 page 1.
47. Declaration Of Covenants, Conditions And Restrictions dated January 11, 1996, and recorded in Record Book 2696 page 19.
48. Storm Water Drainage Easement and Agreement between National Golf Operating Partnership, LP and Golden Oaks, Inc., dated January 11, 1996 and recorded in Record Book 2696 page 26.
49. Development Grant given to Bell Atlantic - Pennsylvania, Inc. in Record Book 3018 page 853.
50. Easement For Development given to Metropolitan Edison Company d/b/a GPU Energy in Record Book 3043 page 1009.
51. Deed Of Easement by and between Harry E. Naugle, Jr. and Robin L. Naugle and Filippini Real Estate, Inc., dated August 7, 2000, and recorded in Record Book 3229 page 2122.
52. Bill of Sale between National Golf Operating Partnership, LP and Filippini Real Estate, Inc., dated August 4, 2000 and recorded in Record Book 3229 page 2148.
53. Easement between National Golf Operation Partnership, LP and Filippini Real Estate, Inc., dated August 4, 2000 and recorded in Record Book 3229 page 2155.
54. Easement And Right Of Way Agreement by and between R. Kerry Bean and Judith D. Bean and Filippini Real Estate, Inc., dated December 22, 1998, and recorded in Record Book 3229 page 2188.
55. Deed of Easement between National Golf Operation Partnership, LP and Harry E. Naugle, Jr. and Robin I. Naugle, dated August 4, 2000 and recorded in Record Book 3229 page 2197.
56. Deed Of Easement by and between Benjamin Fox and Filippini Real Estate, Inc., dated June 15, 2000, and recorded in Record Book 3229 page 2218.
57. Easement Agreement by and between R. Gordon Yorgey and Fern H. Yorgey and Filippini Real Estate, Inc., dated November 18, 1999, and recorded in Record Book 3229 page 2225.
58. Detention Pond Maintenance Agreement by and between Filippini Real Estate, Inc., Emidio Filippini and Helen Filippini, and Ruscombmanor Township dated August 10, 2000, and recorded in Record Book 3235 page 1028.
59. Subdivider Agreement by and between the Township of Ruscombmanor and Filippini Real Estate, Inc., dated November 30, 1999, and recorded in Record Book 3254 page 507.
60. Easement Modification Agreement between National Golf Operating Partnership, LP and Filippini Real Estate, Inc., dated July 12, 2002 and recorded in Record Book 3569 page 893.
61. Deed Of Dedication to Ruscombmanor Township dated November 14, 2002, and recorded in Record Book 3795 page 133.
62. Revised And Restated Detention Pond Maintenance Agreement by and between Filippini Real Estate, Inc., Emidio Filippini and Helen Filippini, Oak Leaf Investors, Ltd., and Ruscombmanor Township dated May 6, 2004, and recorded in Record Book 4055 page 2129.

Schedule B Section 2
Exceptions continued

63. Agreement To Extinguish Easement between Ruscombmanor Township and Oak Leaf Investors, Ltd. dated May 5, 2005, and recorded in Record Book 4586 page 1023.
64. Agreement To Extinguish Easement between Benjamin Brubacher and Oak Leaf Investors, Ltd. dated April 22, 2005, and recorded in Record Book 4586 page 1030.
65. Dedication Of Easements by and between Oak Leaf Investors, Ltd. and Township of Ruscombmanor dated May 5, 2005, and recorded in Record Book 4587 page 765.
66. Deed Of Dedication to Township of Ruscombmanor dated April 22, 2005, and recorded in Record Book 4587 page 775.
67. Deed Of Dedication to Township of Ruscombmanor dated May 5, 2005, and recorded in Record Book 4587 page 782.
68. Agreement between Oak Leaf Investors, Inc. and Westrum Land Development, LLC dated April 26, 2005, and recorded in Record Book 5202 page 1021.
69. Declaration Of Easements dated April 26, 2005, and recorded in Record Book 5202 page 1058.
70. Release Of Restrictions by Oak Leaf Investors, Inc. dated April 26, 2005, and recorded in Record Book 5202 page 1077.
71. Amendment No. 1 To Agreement between Oak Leaf Investors, Inc. and Westrum Land Development, LLC dated May 1, 2007, and recorded in Record Book 5202 page 1088.
72. Amendment No. 2 To Agreement between Oak Leaf Investors, Inc. and Westrum Land Development, LLC dated June 7, 2007, and recorded in Record Book 5202 page 1103.
73. Declaration Of Storm Water Easements between Oak Leaf Investors, Inc. and Benjamin Brubacher and Westrum Land Development, LLC dated June 7, 2007, and recorded in Record Book 5202 page 1116.
74. Deed Of Easement And Right Of Way between Oak Leaf Investors, Ltd. and Pennsylvania-American Water Company dated July 24, 2007, and recorded in Record Book 5230 page 1500.
75. Wellhead Protection Deed Restriction between Oak Leaf Investors, Ltd. and Pennsylvania-American Water Company dated July 24, 2007, and recorded in Record Book 5230 page 1525.

Schedule C Description and Recital

Premises A, Tract 1:

ALL CERTAIN tract of ground situate in the Township of Ruscombmanor, County of Berks, Commonwealth of Pennsylvania, being bounded and described as follows, to wit:

BEGINNING at the centerline of Memorial Highway (variable width) and a common corner of lands now or formerly R. Kerry and Judith D. Bean; thence along the centerline of Memorial Highway (variable width), South 12 degrees 45 minutes 22 seconds West a distance of 324.91 feet to a point; thence leaving the said Memorial Highway (variable width), South 77 degrees 14 minutes 38 seconds East a distance of 30 feet to the place of beginning; thence along the lands now or formerly of R. Kerry and Judith D. Bean the following five courses and distance:

- 1) Along a curve to the left having a radius of 20 feet an arc length of 31.42 feet, with a chord bearing South 32 degrees 12 minutes 27 seconds East a chord distance of 28.29 feet to a point;
- 2) South 77 degrees 13 minutes 35 seconds East a distance of 126.77 feet to a point;
- 3) Thence along a curve to the left having a radius of 273.50 feet with an arc distance of 57.03 feet, having a chord bearing of South 83 degrees 12 minutes 02 seconds East a chord distance of 56.93 feet to a point;
- 4) South 89 degrees 10 minutes 27 seconds East a distance of 660.88 feet to a point;
- 5) North 01 degree 42 minutes 41 seconds East a distance of 211.93 feet to a corner of lands now or formerly of R. Kerry and Judith D. Bean;

Thence along the dividing line of lands now or formerly Nathanael Naugle, South 77 degrees 51 minutes 49 seconds East, a distance of 1248.02 feet to a corner of the Golden Oaks Subdivision; thence along the said Golden Oaks Subdivision the four following courses and distance;

- 1) South 06 degrees 05 minutes 48 seconds West a distance of 278.78 feet to a point;
- 2) South 22 degrees 43 minutes 09 seconds East a distance of 119.62 feet to a point;
- 3) South 72 degrees 51 minutes 28 seconds East a distance of 947.90 feet to a point;
- 4) North 33 degrees 00 minutes 00 seconds East a distance of 285.00 feet to a point on the southerly right of way of Augusta Lane (53.00' R/W);

Thence along the southerly right of way of Augusta Lane (53.00' R/W) the seven following courses and distances;

- 1) South 57 degrees 00 minutes 00 seconds East a distance of 53.29 feet to a point of curvature;
- 2) Along a curve to the right having a radius of 500.00 feet an arc length of 57.30 feet, with a chord bearing of South 53 degrees 43 minutes 01 second East a chord distance of 57.27 feet to a point of tangency;
- 3) South 50 degrees 26 minutes 02 seconds East a distance of 129.93 feet to a point of curvature;
- 4) Along a curve to the left having a radius of 500.00 feet an arc length of 57.30 feet with a chord bearing of South 53 degrees 43 minutes 01 second East a chord distance of 57.27 feet to a point of tangency;
- 5) South 57 degrees 00 minutes 00 seconds East a distance of 579.68 feet to a point of curvature;

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- 6) Along a curve to the left having a radius of 650.00 feet with an arc length of 277.90 feet having a chord bearing of South 69 degrees 14 minutes 52 seconds East a chord distance of 275.79 feet to a point of tangency;
- 7) South 81 degrees 29 minutes 45 seconds East a distance of 398.91 feet to a point on the westerly right of way of Spook Lane (54.00' R/W);

Thence along the westerly right of way of Spook Lane (54' R/W) along a curve to the left having a radius of 82.00 feet an arc length of 20.60 feet with a chord bearing of South 30 degrees 09 minutes 50 seconds East a chord distance of 20.55 feet to a corner of Lot 2A of the Yorgey Subdivision (P.B.V. 250 page 7);

Thence along the line of Lot 2A of the Yorgey Subdivision (P.B.V. 250 page 7) South 52 degrees 57 minutes 12 seconds West a distance of 34.67 feet to a point; thence South 12 degrees 49 minutes 19 seconds West a distance of 1369.79 feet to a corner of lands now or formerly of Susan L. Fraser Trust; thence North 77 degrees 16 minutes 20 seconds West a distance of 1530.67 feet to a corner of lands now or formerly of Beverly M. Geiger; thence continuing along the dividing line of lands now or formerly of Beverly M. Geiger the three following courses;

- 1) North 13 degrees 36 minutes 08 seconds a distance of 68.64 feet to a point;
- 2) North 76 degrees 23 minutes 11 seconds West a distance of 649.02 feet to a point;
- 3) South 13 degrees 56 minutes 39 seconds West a distance of 814.25 feet to a corner of lands now or formerly of David and Diane Small;

Thence along the dividing line of lands now or formerly David and Diane Small, North 76 degrees 44 minutes 26 seconds West a distance of 312.46 feet to a corner of lands now or formerly of Benjamin Brubacher; thence along the dividing line of lands now or formerly of Benjamin Brubacher the three following courses and distances;

- 1) North 02 degrees 12 minutes 08 seconds East a distance of 972.68 feet to a point;
- 2) North 65 degrees 48 minutes 41 seconds West a distance of 919.40 feet to a point;
- 3) South 30 degrees 55 minutes 54 seconds West a distance of 51.06 feet to a corner of lands now or formerly of William Vanbuskirk;

Thence along the dividing line of lands now or formerly of William Vanbuskirk, North 89 degrees 39 minutes 11 seconds West a distance of 757.35 feet to a corner of lands now or formerly Benjamin F. Fox; thence along the dividing line now or formerly Benjamin F. Fox the two following courses and distances;

- 1) North 00 degrees 38 minutes 08 seconds West a distance of 1085.70 feet to a point;
- 2) North 71 degrees 17 minutes 55 seconds West a distance of 101.81 feet to a point on the Easterly right of way of Memorial Highway (variable width);

Thence along the Easterly right of way of Memorial Highway (variable width) the three following courses and distances:

- 1) Along a curve to the right with a radius of 3239.17 feet an arc length of 193.54 feet with a chord bearing North 11 degrees 02 minutes 40 seconds East a chord distance of 193.51 feet to a point;
- 2) North 77 degrees 14 minutes 38 seconds West a distance of 5.00 feet to a point;
- 3) North 12 degrees 45 minutes 22 seconds East a distance of 118.77 feet to the place of Beginning.

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CONTAINING 7,112,103.00 square feet or 163.27 acres, more or less.

Premises A, Tract 2:

ALL THAT rectangular shaped tract of land bounded on the north by lands of Benjamin S. Brubacher and lands of Oak Leaf Investors, Ltd., on the east by lands of Beverly M. Geiger, on the south by lands of David and Diane M. Small and lands of Raymond and Susan L. Himmelreich, and on the west by lands of Kevin Hoch and Brenda Harner, situate east of Erhardt Lane in the Township of Ruscombmanor, Berks County, Pennsylvania being more fully bounded and described as follows, to wit:

BEGINNING at an iron pin at a corner of property between lands of Kevin Hoch and Brenda Harner and lands of Benjamin S. Brubacher, said pin being a short distance eastwardly of Erhardt Lane;

THENCE along property of Benjamin S. Brubacher and property of Oak Leaf Investors, Ltd., South 76 degrees 44 minutes 26 seconds East, passing thru an iron pin found at a distance of 1234.74 feet from the last described point the distance of 1547.20 feet to an iron pin found;

THENCE South 13 degrees 56 minutes 39 seconds West the distance of 110.50 feet to a point;

THENCE along lands of David and Diane M. Small, and lands of Raymond and Susan L. Himmelreich, North 76 degrees 05 minutes 49 seconds West passing thru an iron pin found at a distance of 520.16 feet from the next described point the distance of 1508.49 feet to an iron pin found;

THENCE along property of Kevin Hoch and Brenda Harner, North 08 degrees 34 minutes 37 seconds West the distance of 100.78 feet to the place of BEGINNING.

CONTAINING IN AREA 3.575 acres of land, more or less.

BEING UPI/Property ID No. 76543004812278

Premises B:

ALL THAT CERTAIN lot or piece of ground situate in the Township of Ruscombmanor, County of Berks and Commonwealth of Pennsylvania, as shown on the final subdivision plan of Golden Oaks, prepared by Vitillo Corporation, dated April 1, 1998 and last revised November 17, 1999, and recorded in the Office of the Recorder of Deeds in and for Berks County, Pennsylvania, in Plan Book 244 page 38, more fully bounded and described as follows, to wit:

BEGINNING at a corner of lands now or late of Emma K. Naugle and Harry E. Naugle, Jr., National Golf Operating Partnership, now Oak Leaf Investors LLC, and the herein described premises; thence along land now or late of said Emma K. Naugle and Harry E. Naugle, Jr., South 77 degrees 51 minutes 49 seconds East, a distance of 32.37 feet to a corner of Lot 12 on the plan of Golden Oaks; thence along said lot, South 23 degrees 23 minutes 32 seconds East, a distance of 258.92 feet to a corner of Lot 11; thence along said lot (1) South 63

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ALTA Commitment (6-17-06)

degrees 58 minutes 53 seconds East, a distance of 97.59 feet and (2) South 17 degrees 08 minutes 32 seconds West, a distance of 16.73 feet to a corner of Lot 11; thence continuing along Lot 11, Lot 10, Lot 9, Lot 8, Lot 7 and Lot 6, South 72 degrees 51 minutes 28 seconds East, a distance of 688.37 feet to a corner in line of Lot 6; thence continuing along Lot 6, South 57 degrees 46 minutes 26 seconds West, a distance of 127.34 feet to a corner in line of land of National Golf Operating Partnership, now Oak Leaf Investors LLC; thence along the same (1) South 33 degrees 00 minutes 00 seconds West, a distance of 142.10 feet, (2) North 72 degrees 51 minutes 28 seconds West, a distance of 947.09 feet, (3) North 22 degrees 43 minutes 09 seconds West, a distance of 119.62 feet, and (3) North 06 degrees 05 minutes 48 seconds East, a distance of 278.78 feet to a corner of lands now or late of Emma K. Naugle and Harry E. Naugle, Jr., the point and place of BEGINNING.

BEING the annexation tract and storm water detention pond easement area shown on Phase 1 of the Plan of Golden Oaks.

BEING UPI/Property ID No. 76543004828175

Premises A:

Tract 1:

Being the same premises that NGP Realty Sub, L.P., a Delaware limited partnership, by Special Warranty Deed dated December 22, 2003, and recorded December 26, 2003, in the Office of the Recorder of Deeds of Berks County, Pennsylvania, in Record Book 3954 page 2180 granted and conveyed unto Oak Leaf Investors, Ltd., a Pennsylvania corporation, in fee.

Tract 2:

Being the same premises that Stephanie B. Wierzbicki by Corrective Deed dated May 10, 2006, and recorded May 31, 2006, in the Office of the Recorder of Deeds of Berks County, Pennsylvania, in Record Book 4888 page 2499 granted and conveyed unto Oak Leaf Investors, Ltd, a Pennsylvania corporation, in fee.

Premises B:

Being the same premises that Filippini Real Estate, Inc., a Pennsylvania Corporation, by Deed dated November 22, 2004, and recorded November 30, 2004, in the Office of the Recorder of Deeds of Berks County, Pennsylvania, in Record Book 4197 page 1344 granted and conveyed unto Oak Leaf Investors, Inc., a Pennsylvania Corporation, in fee.

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ALTA Commitment (6-17-06)



NOTICES

1. PLEASE BE ADVISED THAT Commonwealth Land Title Insurance Company ("COMPANY") AND Trident Land Transfer Company ("AGENT") HAVE NO KNOWLEDGE, TRAINING OR EXPERIENCE IN MATTERS THAT ARE UNRELATED TO TITLE INSURANCE, INCLUDING, BUT NOT LIMITED TO, SUCH MATTERS AS BULK SALE TRANSFERS, BULK SALE CLEARANCE CERTIFICATE REQUIREMENTS (IF APPLICABLE), ZONING/SUBDIVISION, STRUCTURAL REPAIRS, ENVIRONMENTAL, WATER INFILTRATION, WETLANDS, TERMITES OR ONSITE SEWAGE SYSTEMS, AND WE DO NOT INTEND TO, AND CANNOT, PROVIDE SERVICES OR ADVICE TO YOU ON SUCH MATTERS. IF YOU ARE FACED WITH ISSUES REGARDING SUCH MATTERS, YOU SHOULD CONSULT A LAWYER, ENGINEER, ARCHITECT OR OTHER APPROPRIATE CONSULTANT OR PROFESSIONAL OF YOUR CHOICE.
2. ALSO BE ADVISED THAT YOU MAY PURCHASE AT ADDITIONAL COST ENHANCED COVERAGES FROM THE BASIC POLICY OF TITLE INSURANCE. IF YOU WISH AN EXPLANATION OF THE ENHANCED COVERAGES AND THE COST FOR THESE ADDITIONAL COVERAGES, PLEASE CONTACT THE PARTY LISTED BELOW.
3. THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF INSURANCE REQUIRES THAT WE SEND THE FOLLOWING NOTICE TO YOU, OUR APPLICANT, PRIOR TO CLOSING. IF APPLICABLE, THE DEPARTMENT FURTHER REQUIRE THAT YOU, THE APPLICANT, FORWARD THIS NOTICE TO THE ULTIMATE CONSUMER IN ADVANCE OF THE DAY OF CLOSING:

YOUR TITLE INSURANCE FEE COVERS THE COST OF CLOSING ON THE INSURED REAL ESTATE PROPERTY IF IT TAKES PLACE DURING REGULAR OFFICE HOURS AND AT THE OFFICE OF THE TITLE INSURANCE AGENT OR UNDERWRITER. IF YOUR CLOSING TAKES PLACE AT A LOCATION OR TIME OF YOUR CHOOSING, OR THAT OF YOUR LENDER OR REALTOR, THE TITLE INSURANCE AGENT OR UNDERWRITER MAY IMPOSE AN ADDITIONAL CHARGE FOR THIS SPECIAL SERVICE. YOU MAY DETERMINE THE AMOUNT OF THIS ADDITIONAL CHARGE, IF ANY, BY CONTACTING THE PARTY LISTED BELOW.

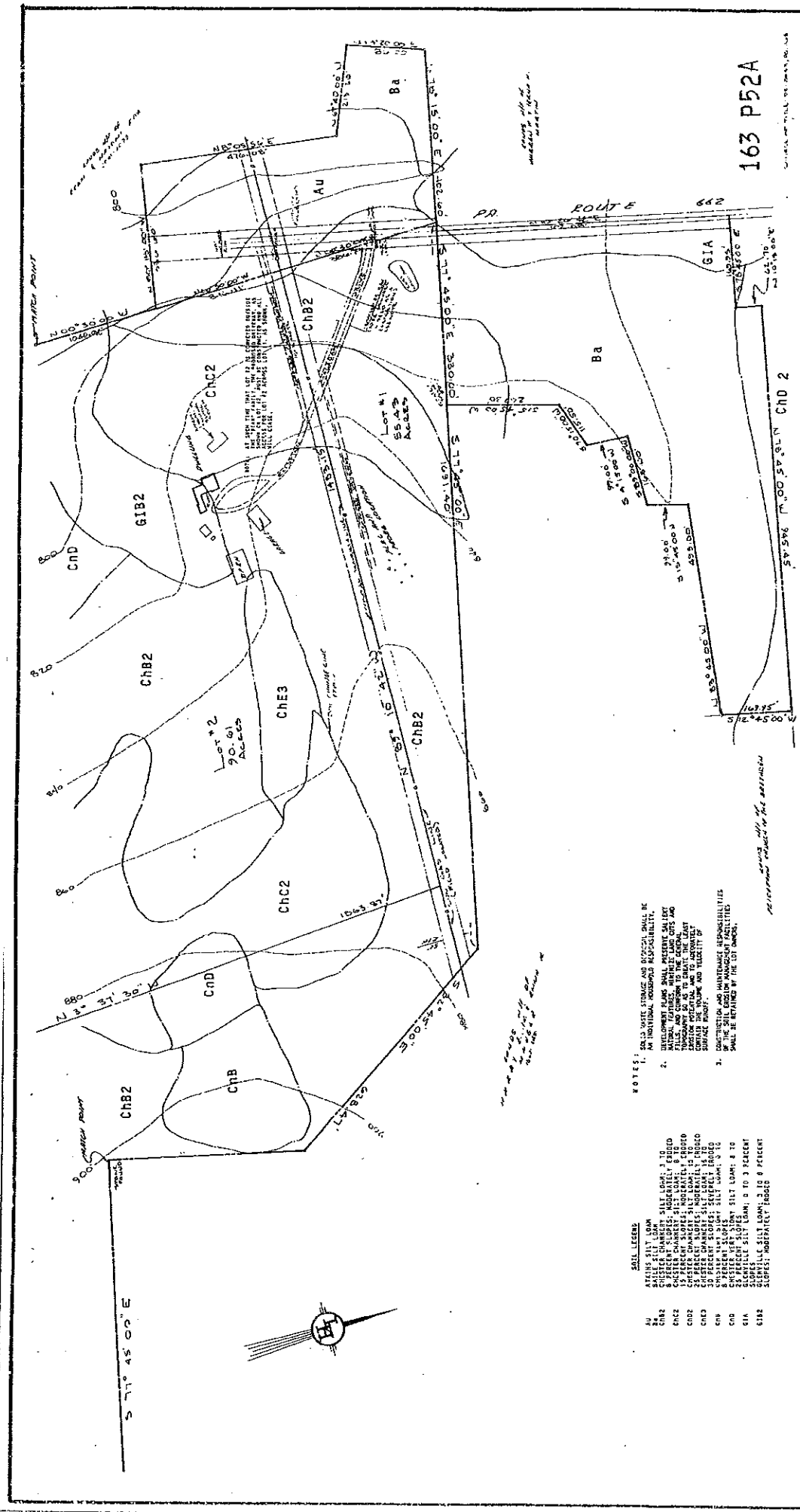
Trident Land Transfer Company
431 West Lancaster Avenue
Devon, PA 19333
Phone: 610-889-7669
Fax:

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ALTA Commitment (6-17-06)





163 P52A

- NOTES:**
1. ALL WASTE STORAGE AND DISPOSAL SHALL BE AN INDIVIDUAL HOMEOWNER'S RESPONSIBILITY.
 2. UTILIZATION PLANS SHALL PRESENT ALL BEST PRACTICES FOR THE PROTECTION OF THE PUBLIC HEALTH AND SAFETY AND TO THE ENVIRONMENT. ALL UTILIZATION PLANS SHALL BE APPROVED BY THE COUNTY ENGINEER AND TO THE SATISFACTION OF THE COUNTY ENGINEER AND TO THE SATISFACTION OF THE COUNTY ENGINEER AND TO THE SATISFACTION OF THE COUNTY ENGINEER.
 3. CONSTRUCTION AND MAINTENANCE RESPONSIBILITIES OF THE SOIL EROSION MANAGEMENT FACILITIES SHALL BE RETAINED BY THE LOT OWNER.

- SOIL LEGEND:**
- AU 100% SILT LOAM
 - Ba 50% SILT LOAM
 - ChB2 50% SILT LOAM
 - ChC2 50% SILT LOAM
 - ChC3 50% SILT LOAM
 - CND 50% SILT LOAM
 - G1A 50% SILT LOAM
 - G1B2 50% SILT LOAM
 - G1B 50% SILT LOAM
 - Lot #1 50% SILT LOAM
 - Lot #2 50% SILT LOAM

RECORD OF DEEDS
 100 L 103
 BEARERS EBBERT P. LARSEN, COMMISSIONER
 5/27/2014

BEARERS EBBERT P. LARSEN, COMMISSIONER
 I have read the conditions of Ass 247, the Pennsylvania Municipalities Code and the requirements of the Land Commission Act, and the County of Berks, and I hereby certify that the above described property is in compliance with the provisions of the said Act and the said Code and that the same is eligible for recordation. This is the County Planning Commission's responsibility for this Plan, other than the responsibility of the applicant.

CERTIFICATE OF RECORDATION
 I, the County Engineer, do hereby certify that the above described property is in compliance with the provisions of the said Act and the said Code and that the same is eligible for recordation. This is the County Engineer's responsibility for this Plan, other than the responsibility of the applicant.

CERTIFICATE OF MAINTENANCE APPROVAL
 I, the County Engineer, do hereby certify that the above described property is in compliance with the provisions of the said Act and the said Code and that the same is eligible for recordation. This is the County Engineer's responsibility for this Plan, other than the responsibility of the applicant.

SKETCH PLAN FOR RECORD
 STEPHANIE E. BEAN & R. KERRY BEAN
 RUSCOMBAMOR TWP., BERKS CO., PA
 ENGINEERS AND SURVEYORS
 10111 74th Street
 P.O. Box 111
 Pottsville, PA 17870
 (610) 748-8181

LIGHT-HEIDEL & ASSOCIATES, INC.
 ENGINEERS AND SURVEYORS
 10111 74th Street
 P.O. Box 111
 Pottsville, PA 17870
 (610) 748-8181

DATE: 5/27/2014

YORGEY SUBDIVISION II

Budgate Engineering Corporation
ENGINEERS SURVEYORS PLANNERS

The State House of Pennsylvania
Reading Room
North 7th Street
Reading, Pennsylvania 19602

PLANNING
DATE: 12-11-77
BY: [Signature]

DESIGN
DATE: 1-14-78
BY: [Signature]

CONSTRUCTION
DATE: 1-14-78
BY: [Signature]

REVISIONS

NO.	DATE	DESCRIPTION
1	12-11-77	PRELIMINARY
2	1-14-78	FINAL

SCALE
1" = 100'

SITUATE IN:
BERKS COUNTY
PENNSYLVANIA

SOILS LEGEND

C-1: [Symbol] [Description]
C-2: [Symbol] [Description]
C-3: [Symbol] [Description]
C-4: [Symbol] [Description]
C-5: [Symbol] [Description]
C-6: [Symbol] [Description]
C-7: [Symbol] [Description]
C-8: [Symbol] [Description]
C-9: [Symbol] [Description]
C-10: [Symbol] [Description]
C-11: [Symbol] [Description]
C-12: [Symbol] [Description]
C-13: [Symbol] [Description]
C-14: [Symbol] [Description]
C-15: [Symbol] [Description]
C-16: [Symbol] [Description]
C-17: [Symbol] [Description]
C-18: [Symbol] [Description]
C-19: [Symbol] [Description]
C-20: [Symbol] [Description]
C-21: [Symbol] [Description]
C-22: [Symbol] [Description]
C-23: [Symbol] [Description]
C-24: [Symbol] [Description]
C-25: [Symbol] [Description]
C-26: [Symbol] [Description]
C-27: [Symbol] [Description]
C-28: [Symbol] [Description]
C-29: [Symbol] [Description]
C-30: [Symbol] [Description]

FINAL PLAN

ISSUED

177P3A

NO.	AREA	ACRES	AREA	ACRES
1	100' x 100'	1.0000	100' x 100'	1.0000
2	100' x 100'	1.0000	100' x 100'	1.0000
3	100' x 100'	1.0000	100' x 100'	1.0000
4	100' x 100'	1.0000	100' x 100'	1.0000
5	100' x 100'	1.0000	100' x 100'	1.0000
6	100' x 100'	1.0000	100' x 100'	1.0000
7	100' x 100'	1.0000	100' x 100'	1.0000
8	100' x 100'	1.0000	100' x 100'	1.0000
9	100' x 100'	1.0000	100' x 100'	1.0000
10	100' x 100'	1.0000	100' x 100'	1.0000
11	100' x 100'	1.0000	100' x 100'	1.0000
12	100' x 100'	1.0000	100' x 100'	1.0000
13	100' x 100'	1.0000	100' x 100'	1.0000
14	100' x 100'	1.0000	100' x 100'	1.0000
15	100' x 100'	1.0000	100' x 100'	1.0000
16	100' x 100'	1.0000	100' x 100'	1.0000
17	100' x 100'	1.0000	100' x 100'	1.0000
18	100' x 100'	1.0000	100' x 100'	1.0000
19	100' x 100'	1.0000	100' x 100'	1.0000
20	100' x 100'	1.0000	100' x 100'	1.0000
21	100' x 100'	1.0000	100' x 100'	1.0000
22	100' x 100'	1.0000	100' x 100'	1.0000
23	100' x 100'	1.0000	100' x 100'	1.0000
24	100' x 100'	1.0000	100' x 100'	1.0000
25	100' x 100'	1.0000	100' x 100'	1.0000
26	100' x 100'	1.0000	100' x 100'	1.0000
27	100' x 100'	1.0000	100' x 100'	1.0000
28	100' x 100'	1.0000	100' x 100'	1.0000
29	100' x 100'	1.0000	100' x 100'	1.0000
30	100' x 100'	1.0000	100' x 100'	1.0000
31	100' x 100'	1.0000	100' x 100'	1.0000
32	100' x 100'	1.0000	100' x 100'	1.0000
33	100' x 100'	1.0000	100' x 100'	1.0000
34	100' x 100'	1.0000	100' x 100'	1.0000
35	100' x 100'	1.0000	100' x 100'	1.0000
36	100' x 100'	1.0000	100' x 100'	1.0000
37	100' x 100'	1.0000	100' x 100'	1.0000

GENERAL NOTES

1. THE TOWNSHIP NOTES ARE THE INTERNATIONAL ANNOTATION SYSTEM NOT REPRODUCED AS RESTRICTIONS TO WHATEVER THE PLAN. THE ENGINEER HAS REVIEWED THE RECORD DRAWINGS AND THE SOURCE OF THE DATA HAS BEEN MADE BY [Name], ENGINEER, P.E., YORK, PA. 17403.

2. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

3. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

4. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

5. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

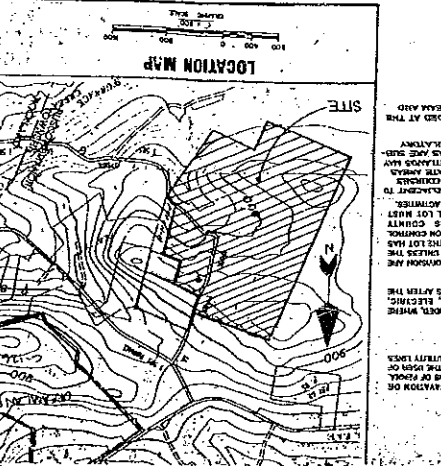
6. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

7. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

8. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

9. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

10. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.



RESTRICTIONS

1. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

2. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

3. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

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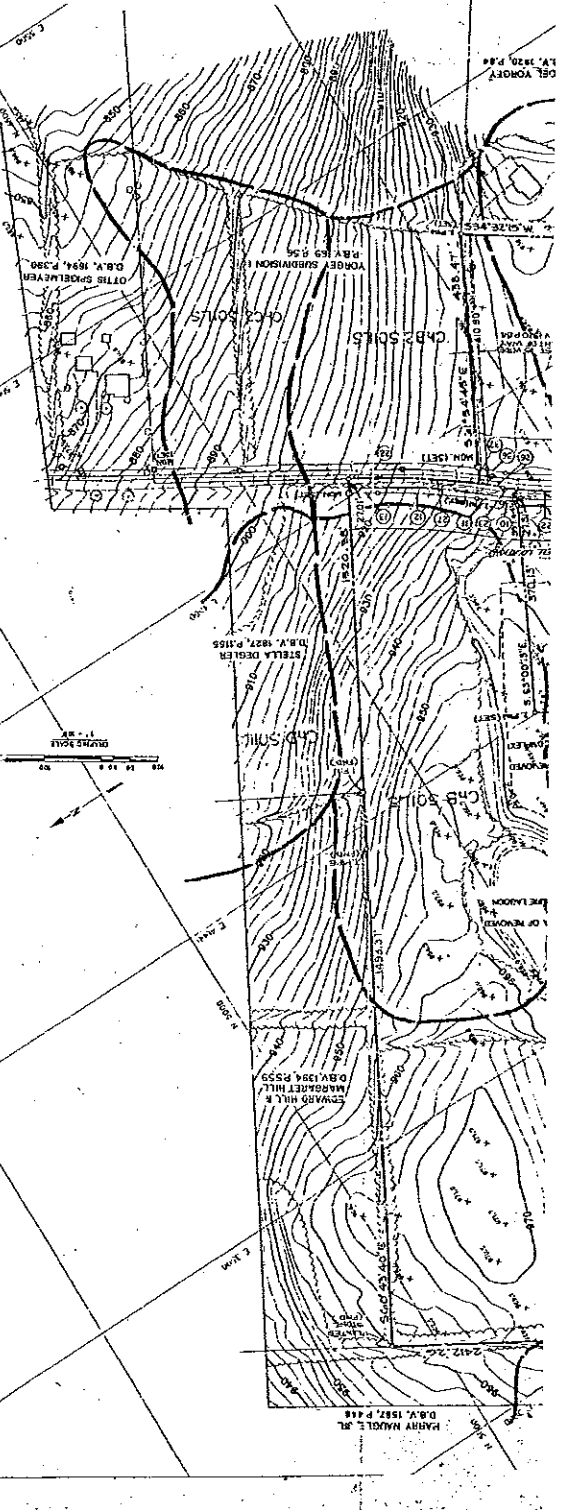
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7. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

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RESTRICTIONS

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9. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

10. THE PLAN IS NOT INTENDED TO REQUIRE EXCAVATION OR UNDERGROUND UTILITIES.

SQ'S LEGEND

C22	EXISTING DRAINAGE SPLIT LANE, 1-1/2 ACRES.
C23	MIDDLE CHERRY SPLIT LANE, 0.49 ACRES.
C24	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C25	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C26	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C27	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C28	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C29	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C30	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C31	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C32	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C33	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C34	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C35	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C36	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C37	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C38	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C39	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C40	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C41	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C42	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C43	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C44	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C45	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C46	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C47	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C48	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C49	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C50	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C51	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C52	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C53	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C54	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C55	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C56	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C57	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C58	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C59	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.
C60	EXISTING DRAINAGE SPLIT LANE, 0.51 ACRES.

STATE OF PENNSYLVANIA
PLANNING COMMISSION
PLANNING COMMISSIONS' CERTIFICATE

At a meeting held on the 17th day of June, 1970, the Planning Commission of the Township of Easttown in the County of Berk, Pennsylvania, duly convened in regular session and after a public hearing held on the 17th day of June, 1970, the following resolution was adopted:

Resolved, That the Planning Commission of the Township of Easttown in the County of Berk, Pennsylvania, hereby approves and certifies that the proposed subdivision described herein is in conformity with the zoning ordinance and other applicable laws of the Township of Easttown in the County of Berk, Pennsylvania, and that the subdivision described herein is in conformity with the zoning ordinance and other applicable laws of the Township of Easttown in the County of Berk, Pennsylvania.

In testimony whereof, the Planning Commission of the Township of Easttown in the County of Berk, Pennsylvania, has hereunto set its hand and seal this 17th day of June, 1970.

(Signature)
Chairman

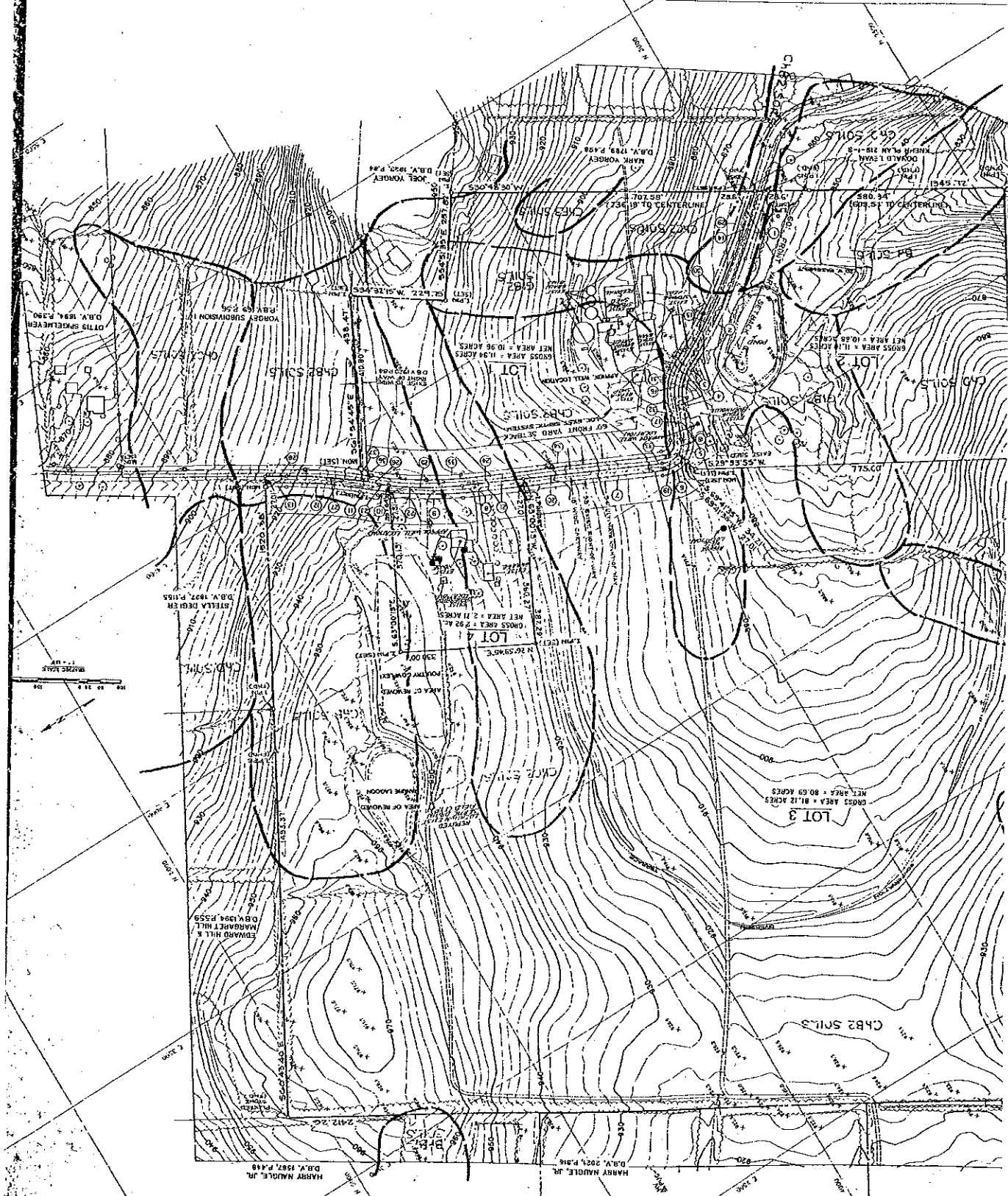
MUNICIPAL APPROVAL

At a meeting held on the 17th day of June, 1970, the Board of Easttown in the County of Berk, Pennsylvania, duly convened in regular session and after a public hearing held on the 17th day of June, 1970, the following resolution was adopted:

Resolved, That the Board of Easttown in the County of Berk, Pennsylvania, hereby approves and certifies that the proposed subdivision described herein is in conformity with the zoning ordinance and other applicable laws of the Township of Easttown in the County of Berk, Pennsylvania.

In testimony whereof, the Board of Easttown in the County of Berk, Pennsylvania, has hereunto set its hand and seal this 17th day of June, 1970.

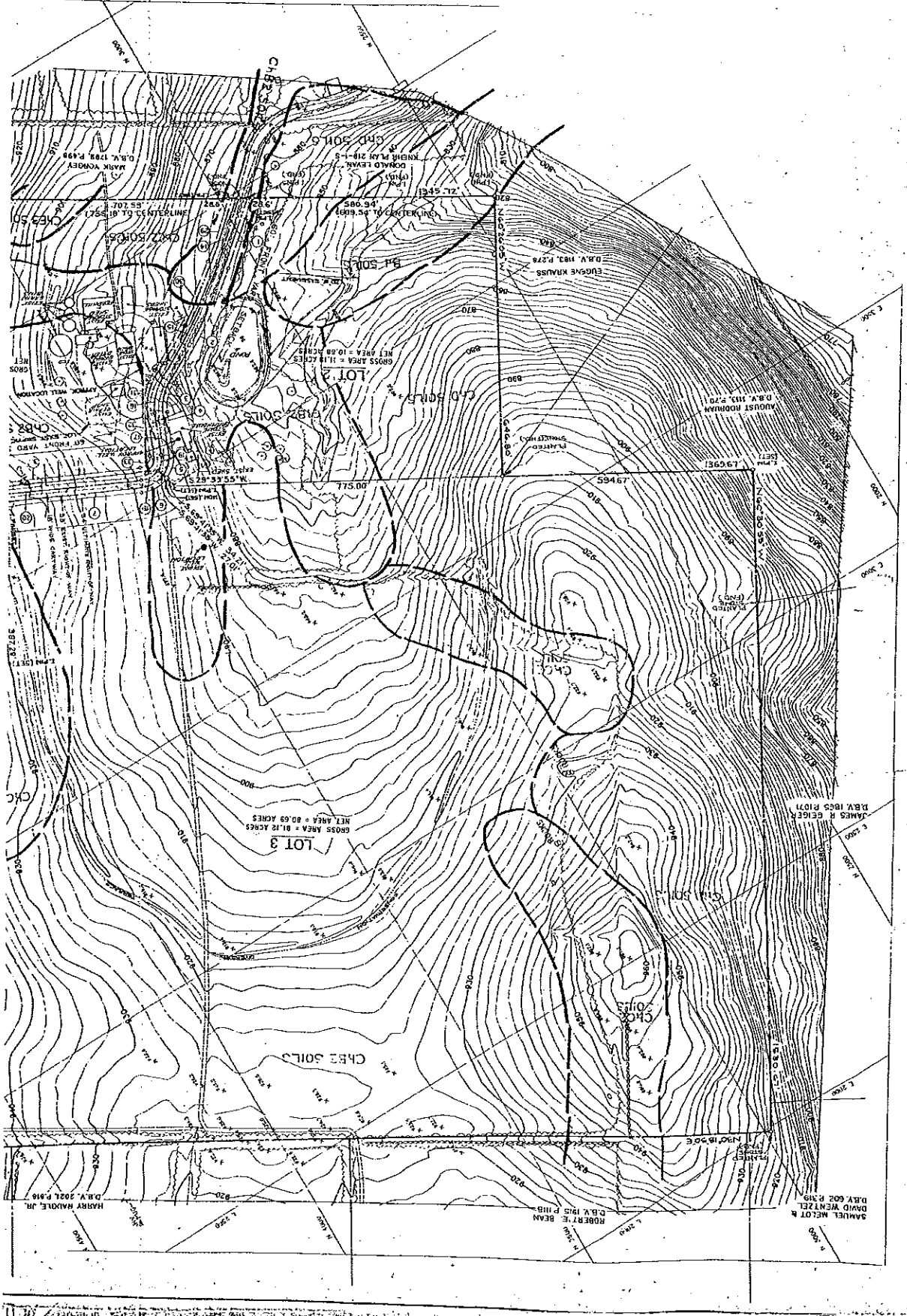
(Signature)
Mayor



777P3B

77P3C

<p>As per the provisions of Art. 222, the Planning Commission is hereby authorized to recommend to the Board of Supervisors the following zoning change for this plan, which zoning change is hereby recommended by the Planning Commission as shown on the attached map.</p> <p>The Board of Supervisors is authorized to change the zoning from R-1 to R-2 for the property shown on this map and is hereby authorized to do so.</p> <p>The date of the meeting of the Board of Supervisors is hereby set for the 10th day of February, 1990, at 10:00 A.M. in the Board Room of the County Administration Center, 200 West 1st Street, San Jose, California.</p> <p>Attest: _____ Planning Commission Secretary</p>	<p>RECORDED OF DEED DEEDS COUNTY, CA 5222 51 16 16</p> <p>68-177-03</p>	<p>At a meeting held on 1/11/90, the Board of Supervisors of the County of Santa Clara, California, approved the attached map of the property of GEORGE WOODRUFF & FAMILY, which map is hereby recommended to the Planning Commission for its review and approval.</p> <p>At a meeting held on 1/11/90, the Board of Supervisors of the County of Santa Clara, California, approved the attached map of the property of GEORGE WOODRUFF & FAMILY, which map is hereby recommended to the Planning Commission for its review and approval.</p>	<p>At a meeting held on 1/11/90, the Board of Supervisors of the County of Santa Clara, California, approved the attached map of the property of GEORGE WOODRUFF & FAMILY, which map is hereby recommended to the Planning Commission for its review and approval.</p>	<p>At a meeting held on 1/11/90, the Board of Supervisors of the County of Santa Clara, California, approved the attached map of the property of GEORGE WOODRUFF & FAMILY, which map is hereby recommended to the Planning Commission for its review and approval.</p>
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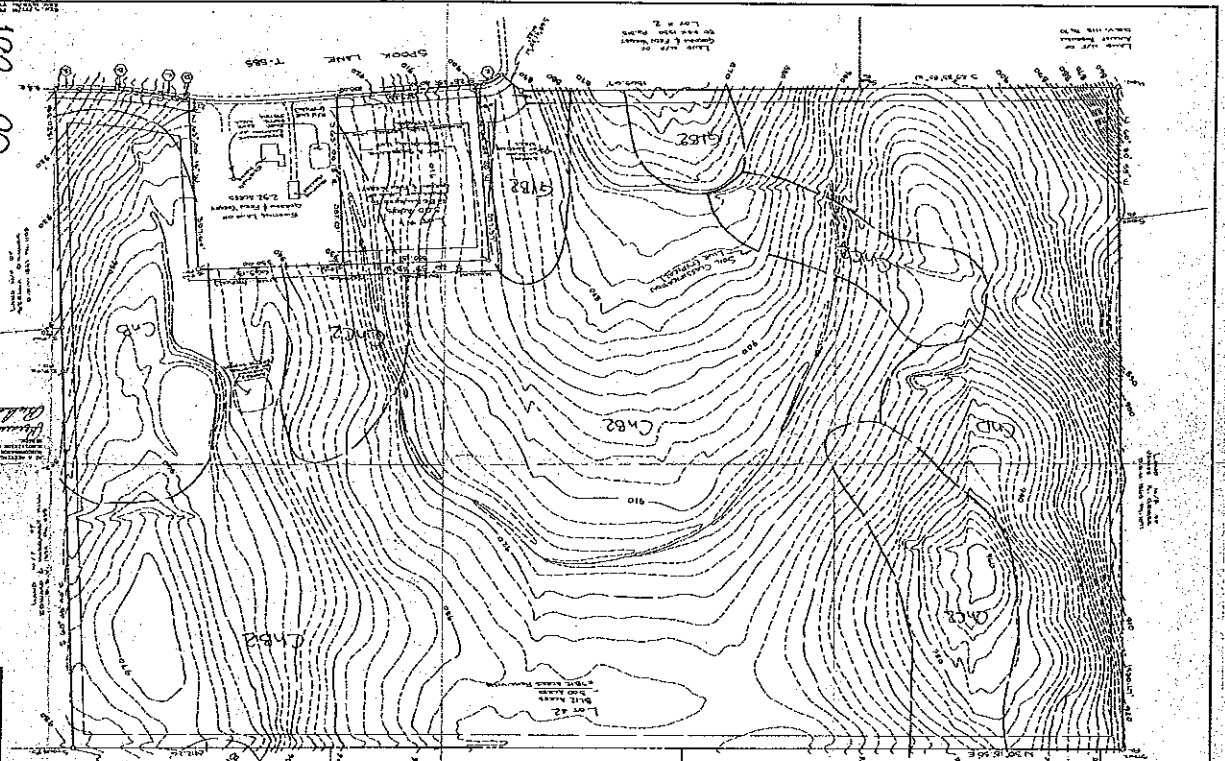
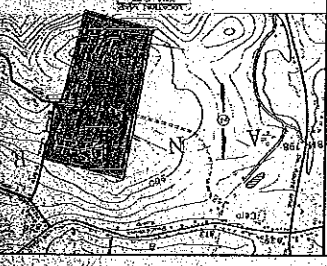
183A29

DONALD C. LOWERY
GOLDEN OAKS, INC.
SKETCH PLAN FOR RECORD

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL THE REQUIREMENTS OF THE CITY OF LOS ANGELES AND THE STATE OF CALIFORNIA. I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA, LICENSE NO. 45678.

APPROVED AND ACCEPTED FOR RECORD

APPROVED AND ACCEPTED FOR RECORD



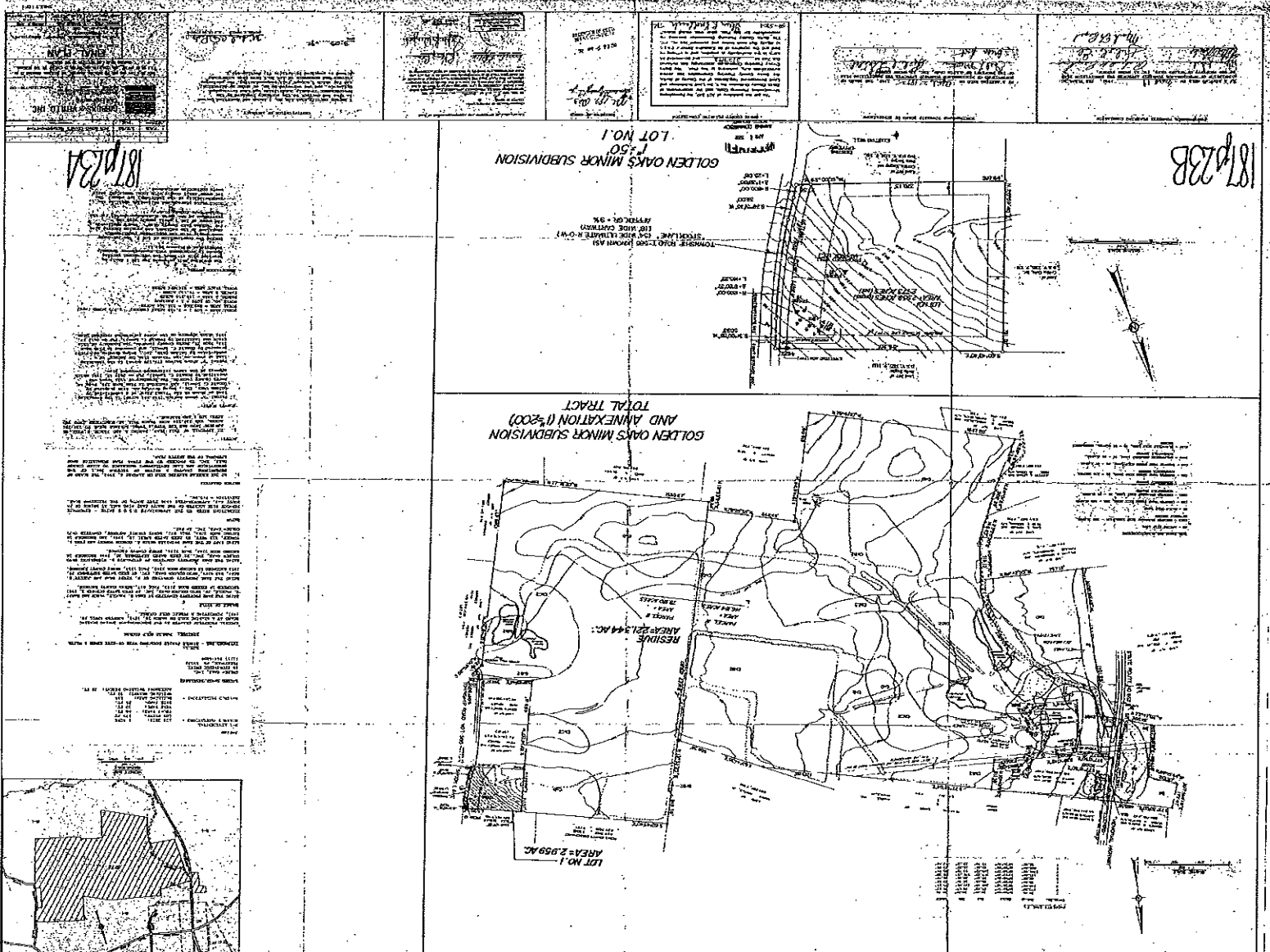
APPROVED AND ACCEPTED FOR RECORD

APPROVED AND ACCEPTED FOR RECORD

APPROVED AND ACCEPTED FOR RECORD

APPROVED AND ACCEPTED FOR RECORD





187p23A
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[Illegible text and stamps in the top-middle-left section]

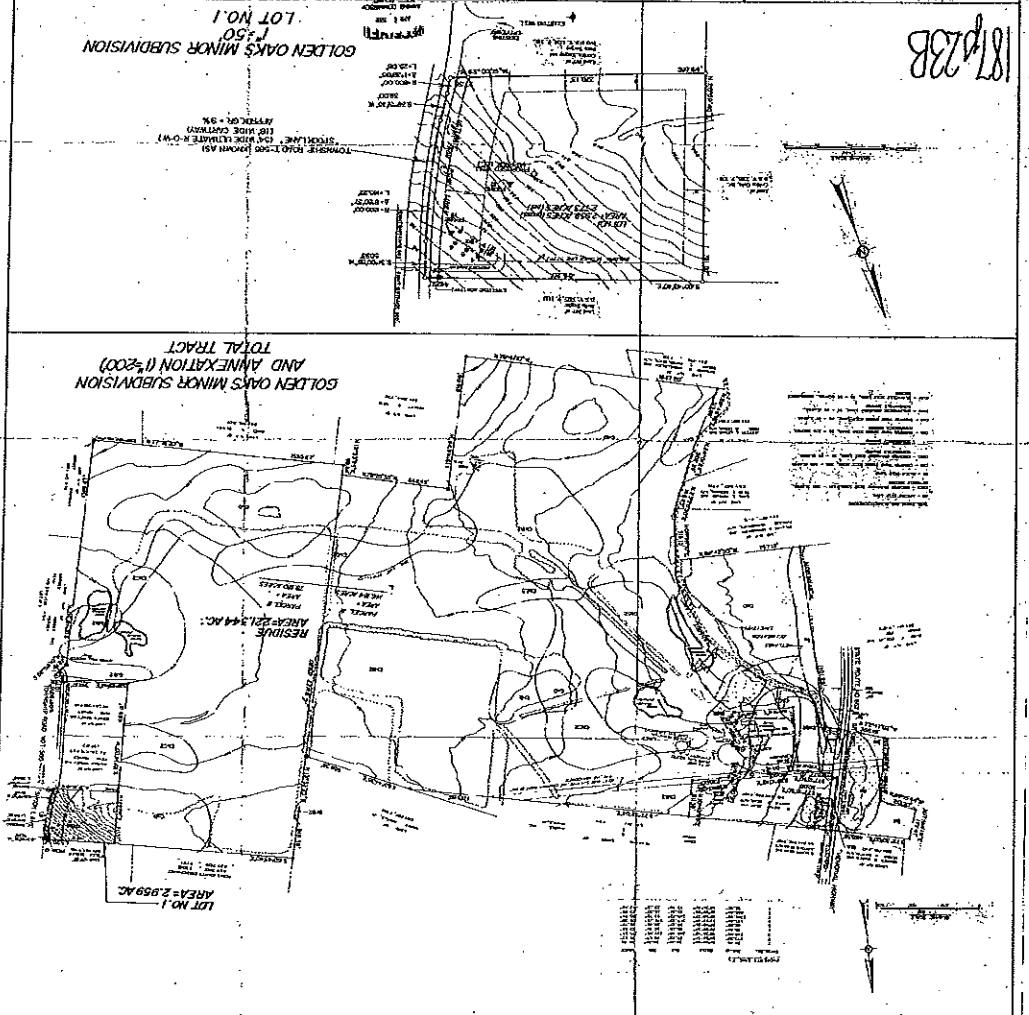
[Illegible text and stamps in the top-middle-right section]

[Illegible text and stamps in the top-right section]

[Illegible text and stamps in the top-far-right section]

187p23B
 [Illegible text and stamps in the top-far-right corner]

[Large block of illegible text, likely a legal description or deed, occupying the left side of the page]



<p>REVISIONS</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>1</td><td>10/15/20</td><td>REVISED FINAL PLAN</td></tr> </table> <p>APPROVED FOR RECORDATION COUNTY OF LOS ANGELES REGISTERED PROFESSIONAL LAND SURVEYOR JAMES H. HARRIS, No. 12345</p>	NO.	DATE	DESCRIPTION	1	10/15/20	REVISED FINAL PLAN	<p>APPROVED FOR RECORDATION COUNTY OF LOS ANGELES REGISTERED PROFESSIONAL LAND SURVEYOR JAMES H. HARRIS, No. 12345</p>	<p>APPROVED FOR RECORDATION COUNTY OF LOS ANGELES REGISTERED PROFESSIONAL LAND SURVEYOR JAMES H. HARRIS, No. 12345</p>	<p>APPROVED FOR RECORDATION COUNTY OF LOS ANGELES REGISTERED PROFESSIONAL LAND SURVEYOR JAMES H. HARRIS, No. 12345</p>	<p>APPROVED FOR RECORDATION COUNTY OF LOS ANGELES REGISTERED PROFESSIONAL LAND SURVEYOR JAMES H. HARRIS, No. 12345</p>	<p>APPROVED FOR RECORDATION COUNTY OF LOS ANGELES REGISTERED PROFESSIONAL LAND SURVEYOR JAMES H. HARRIS, No. 12345</p>
NO.	DATE	DESCRIPTION									
1	10/15/20	REVISED FINAL PLAN									

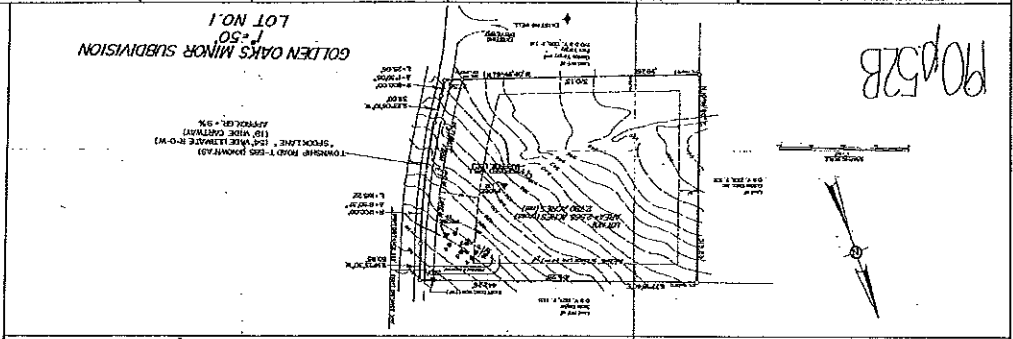
190p52A

THESE ARE THE ORIGINAL RECORDS OF THE SURVEY AND THE SURVEYOR'S OFFICE SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF THE SAME. ANY REPRODUCTION OF THESE RECORDS WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR IS PROHIBITED.

THIS SURVEY WAS MADE IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA. THE SURVEYOR HAS BEEN DULY LICENSED BY THE BOARD OF SURVEYING AND MAPPING.

THE SURVEYOR HAS BEEN DULY LICENSED BY THE BOARD OF SURVEYING AND MAPPING.

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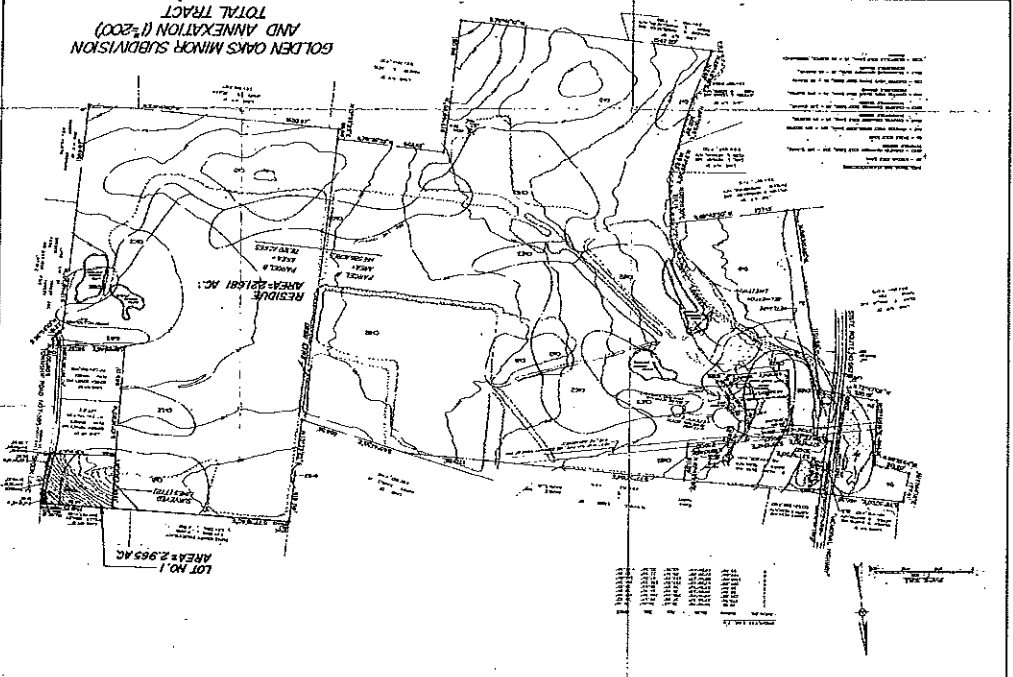
190p52B

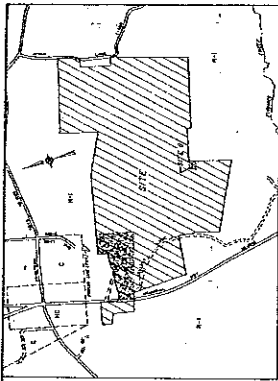
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GENERAL NOTES:

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. THE SITE IS TO BE DEVELOPED IN ACCORDANCE WITH THE CITY OF GAITHERSBURG ZONING ORDINANCE.
3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.

ADDITIONAL NOTES:

1. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.
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192p23C

"GOLDEN OAKS COUNTRY CLUB"

FINAL PLAN FOR

ANNEXATION PARCEL A

VITILLO GROUP, INC.

2001 ENGINEERING

REGISTERED PROFESSIONAL ENGINEER

NO. 12345

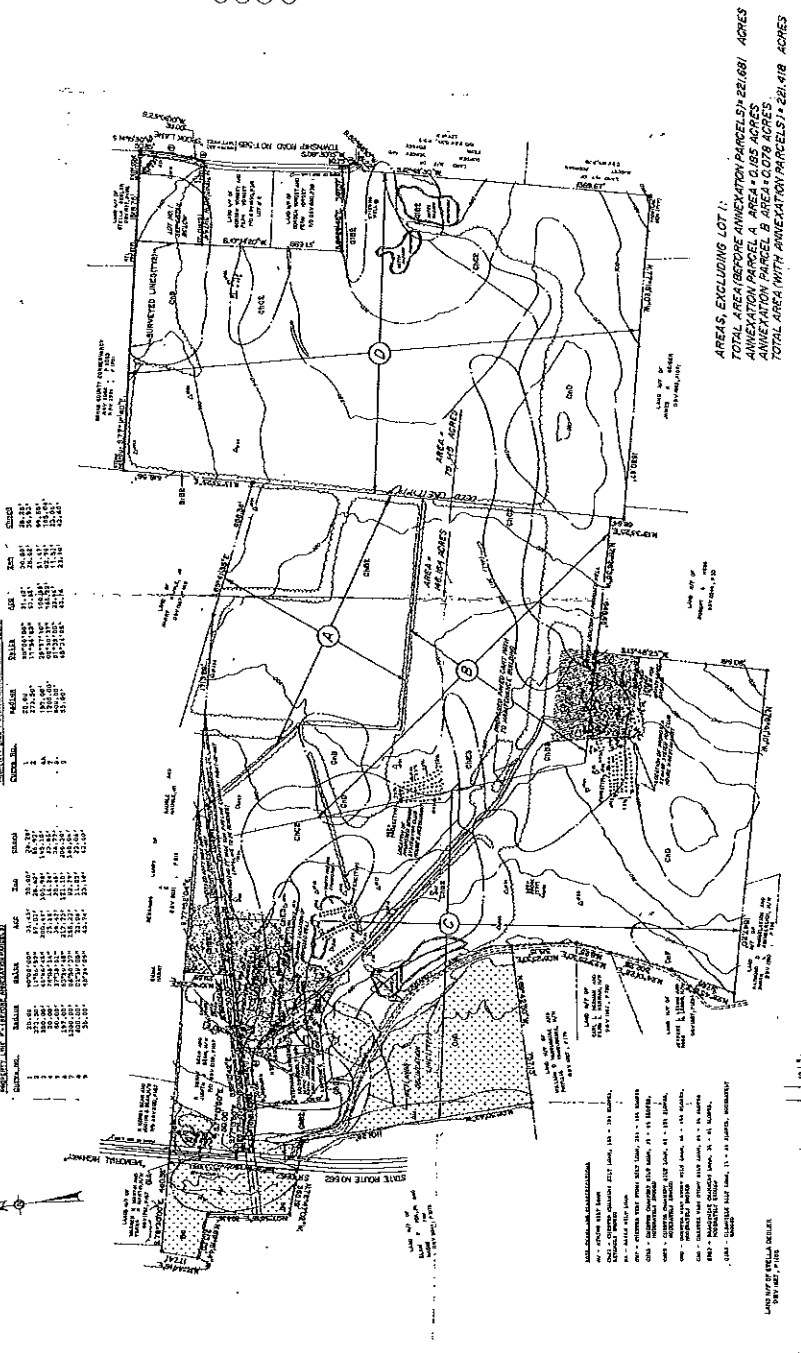
STATE OF MARYLAND

OVERALL SITE PLAN

SCALE: 1" = 100'

DATE: 10/15/2010

PROJECT NO: 10-001



AREAS EXCLUDING LOT 1:

TOTAL AREA (BRIDGE ANNEXATION PARCELS) 281,681 ACRES

ANNEXATION PARCEL A AREA 1,078 ACRES

ANNEXATION PARCEL B AREA 1,078 ACRES

TOTAL AREA (WITH ANNEXATION PARCELS A & B) 281,418 ACRES

TRACT	AREA (ACRES)	OWNER
TRACT 1	10.00	STATE OF MARYLAND
TRACT 2	10.00	STATE OF MARYLAND
TRACT 3	10.00	STATE OF MARYLAND
TRACT 4	10.00	STATE OF MARYLAND
TRACT 5	10.00	STATE OF MARYLAND
TRACT 6	10.00	STATE OF MARYLAND
TRACT 7	10.00	STATE OF MARYLAND
TRACT 8	10.00	STATE OF MARYLAND
TRACT 9	10.00	STATE OF MARYLAND
TRACT 10	10.00	STATE OF MARYLAND
TRACT 11	10.00	STATE OF MARYLAND
TRACT 12	10.00	STATE OF MARYLAND
TRACT 13	10.00	STATE OF MARYLAND
TRACT 14	10.00	STATE OF MARYLAND
TRACT 15	10.00	STATE OF MARYLAND
TRACT 16	10.00	STATE OF MARYLAND
TRACT 17	10.00	STATE OF MARYLAND
TRACT 18	10.00	STATE OF MARYLAND
TRACT 19	10.00	STATE OF MARYLAND
TRACT 20	10.00	STATE OF MARYLAND
TRACT 21	10.00	STATE OF MARYLAND
TRACT 22	10.00	STATE OF MARYLAND
TRACT 23	10.00	STATE OF MARYLAND
TRACT 24	10.00	STATE OF MARYLAND
TRACT 25	10.00	STATE OF MARYLAND
TRACT 26	10.00	STATE OF MARYLAND
TRACT 27	10.00	STATE OF MARYLAND
TRACT 28	10.00	STATE OF MARYLAND
TRACT 29	10.00	STATE OF MARYLAND
TRACT 30	10.00	STATE OF MARYLAND
TRACT 31	10.00	STATE OF MARYLAND
TRACT 32	10.00	STATE OF MARYLAND
TRACT 33	10.00	STATE OF MARYLAND
TRACT 34	10.00	STATE OF MARYLAND
TRACT 35	10.00	STATE OF MARYLAND
TRACT 36	10.00	STATE OF MARYLAND
TRACT 37	10.00	STATE OF MARYLAND
TRACT 38	10.00	STATE OF MARYLAND
TRACT 39	10.00	STATE OF MARYLAND
TRACT 40	10.00	STATE OF MARYLAND
TRACT 41	10.00	STATE OF MARYLAND
TRACT 42	10.00	STATE OF MARYLAND
TRACT 43	10.00	STATE OF MARYLAND
TRACT 44	10.00	STATE OF MARYLAND
TRACT 45	10.00	STATE OF MARYLAND
TRACT 46	10.00	STATE OF MARYLAND
TRACT 47	10.00	STATE OF MARYLAND
TRACT 48	10.00	STATE OF MARYLAND
TRACT 49	10.00	STATE OF MARYLAND
TRACT 50	10.00	STATE OF MARYLAND
TRACT 51	10.00	STATE OF MARYLAND
TRACT 52	10.00	STATE OF MARYLAND
TRACT 53	10.00	STATE OF MARYLAND
TRACT 54	10.00	STATE OF MARYLAND
TRACT 55	10.00	STATE OF MARYLAND
TRACT 56	10.00	STATE OF MARYLAND
TRACT 57	10.00	STATE OF MARYLAND
TRACT 58	10.00	STATE OF MARYLAND
TRACT 59	10.00	STATE OF MARYLAND
TRACT 60	10.00	STATE OF MARYLAND
TRACT 61	10.00	STATE OF MARYLAND
TRACT 62	10.00	STATE OF MARYLAND
TRACT 63	10.00	STATE OF MARYLAND
TRACT 64	10.00	STATE OF MARYLAND
TRACT 65	10.00	STATE OF MARYLAND
TRACT 66	10.00	STATE OF MARYLAND
TRACT 67	10.00	STATE OF MARYLAND
TRACT 68	10.00	STATE OF MARYLAND
TRACT 69	10.00	STATE OF MARYLAND
TRACT 70	10.00	STATE OF MARYLAND
TRACT 71	10.00	STATE OF MARYLAND
TRACT 72	10.00	STATE OF MARYLAND
TRACT 73	10.00	STATE OF MARYLAND
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TRACT 78	10.00	STATE OF MARYLAND
TRACT 79	10.00	STATE OF MARYLAND
TRACT 80	10.00	STATE OF MARYLAND
TRACT 81	10.00	STATE OF MARYLAND
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TRACT 83	10.00	STATE OF MARYLAND
TRACT 84	10.00	STATE OF MARYLAND
TRACT 85	10.00	STATE OF MARYLAND
TRACT 86	10.00	STATE OF MARYLAND
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TRACT 92	10.00	STATE OF MARYLAND
TRACT 93	10.00	STATE OF MARYLAND
TRACT 94	10.00	STATE OF MARYLAND
TRACT 95	10.00	STATE OF MARYLAND
TRACT 96	10.00	STATE OF MARYLAND
TRACT 97	10.00	STATE OF MARYLAND
TRACT 98	10.00	STATE OF MARYLAND
TRACT 99	10.00	STATE OF MARYLAND
TRACT 100	10.00	STATE OF MARYLAND

192p23D

LOT NO. 1 DETAIL

SCALE: 1" = 100'

DATE: 10/15/2010

PROJECT NO: 10-001

GENERAL NOTES:

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. THE SITE IS TO BE DEVELOPED IN ACCORDANCE WITH THE CITY OF GAITHERSBURG ZONING ORDINANCE.
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192p23C

"GOLDEN OAKS COUNTRY CLUB"

FINAL PLAN FOR

ANNEXATION PARCEL A

VITILLO GROUP, INC.

2001 ENGINEERING

REGISTERED PROFESSIONAL ENGINEER

NO. 12345

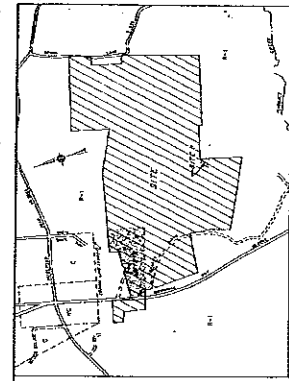
STATE OF MARYLAND

OVERALL SITE PLAN

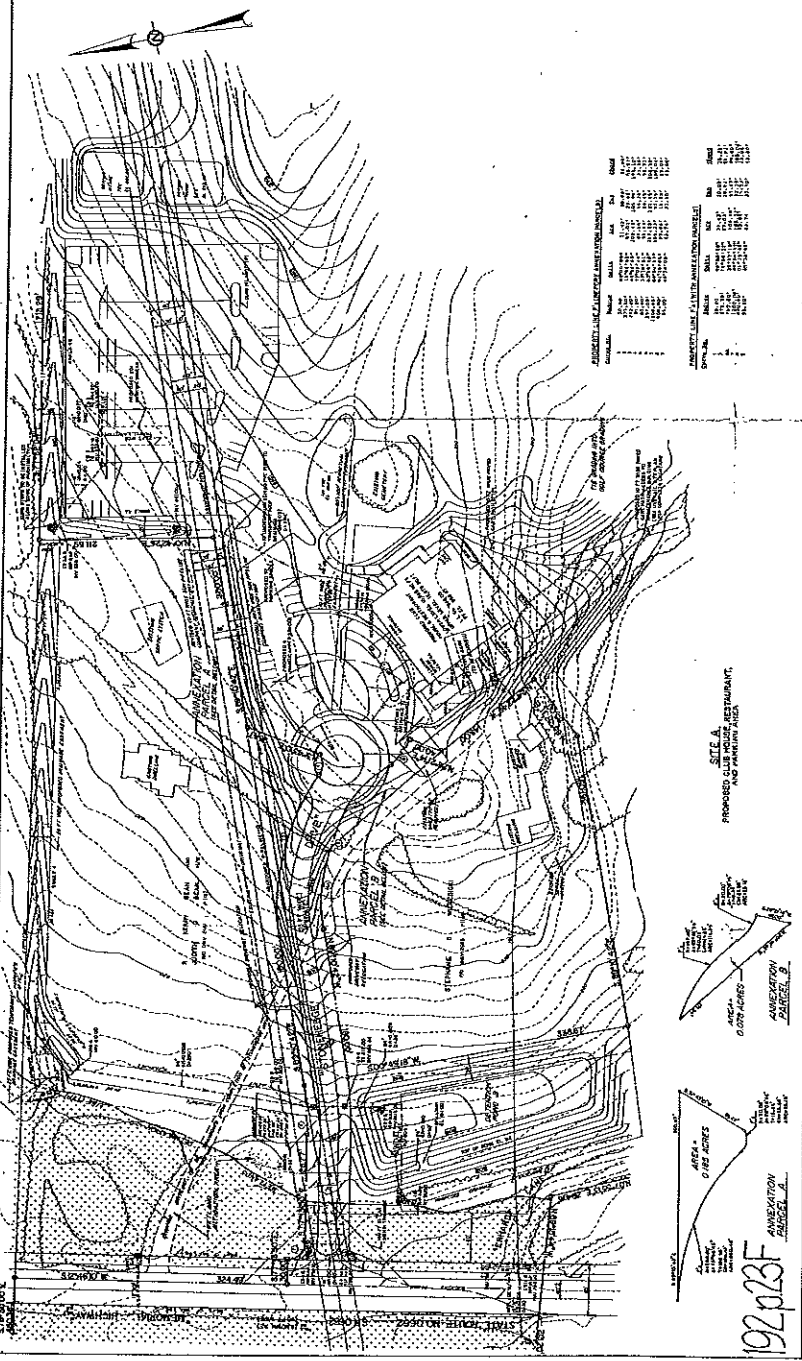
SCALE: 1" = 100'

DATE: 10/15/2010

PROJECT NO: 10-001



VOLUME MAP
 SHEET NO. 1000
 SHEET NO. 1001
 SHEET NO. 1002
 SHEET NO. 1003
 SHEET NO. 1004
 SHEET NO. 1005
 SHEET NO. 1006
 SHEET NO. 1007
 SHEET NO. 1008
 SHEET NO. 1009
 SHEET NO. 1010



ADJUSTED TOTAL AREA (ANALYZED AREAS)

Category	Area	Per Sq Ft	Total Sq Ft
Club House	12,500	300	3,750,000
Restaurant	8,000	300	2,400,000
Parking Area	15,000	100	1,500,000
Maintenance Buildings	10,000	100	1,000,000
Landscaping	20,000	100	2,000,000
Walkways	5,000	100	500,000
Other	10,000	100	1,000,000
Total	70,500	300	21,550,000

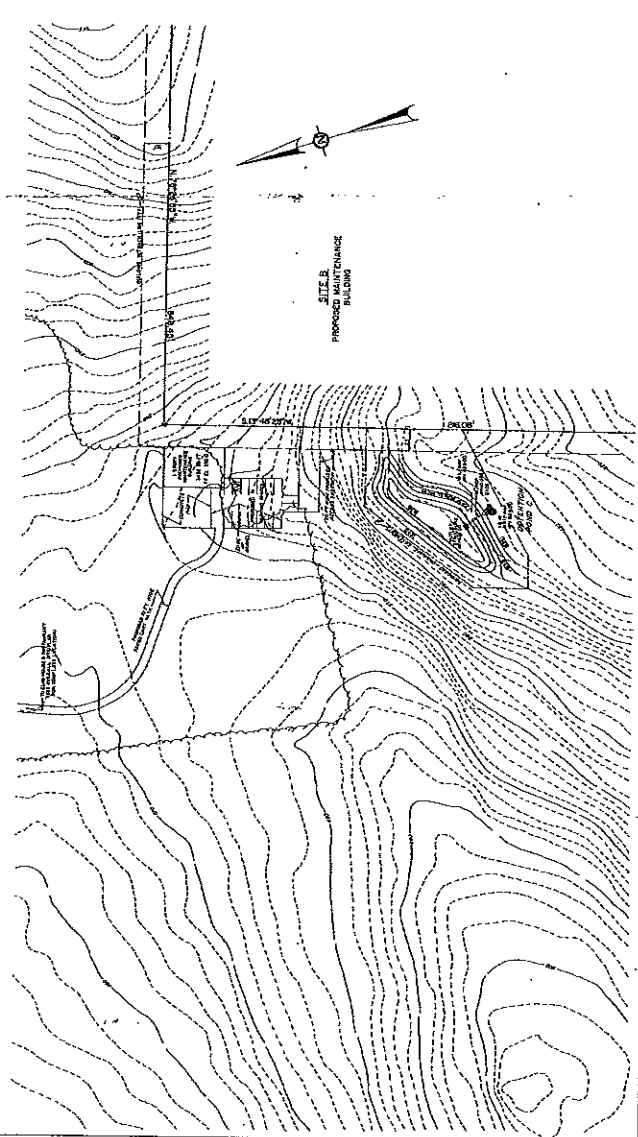
SITE A
 PROPOSED CLUB HOUSE, RESTAURANT,
 AND PARKING AREA

AREA - 0.187 ACRES

AREA - 0.077 ACRES

AREA - 0.077 ACRES

AREA - 0.077 ACRES



SITE B
 PROPOSED MAINTENANCE
 BUILDINGS

192023E

ANNEARSON ENGINEERS, INC.

192023E

192023E

VITILLO GROUP, INC.	
Civil Engineering & Surveying	
4700 W. 12th Street, Suite 100 Portland, Oregon 97224	
TEL: (503) 241-1111 FAX: (503) 241-1112	
PROJECT NO. 192023E	
DATE: 12/15/87	
DRAWN BY: J. VITILLO	
CHECKED BY: J. VITILLO	
SCALE: AS SHOWN	
PROJECT: GRADING & EARTHWORK PLAN	
SHEET NO. 1000 OF 1000	

"GOLDEN OAKS COUNTRY CLUB"

CHINA RIVER, OREGON

FINAL PLAN FOR

PROPOSED MAINTENANCE BUILDINGS

ADJACENT TO EXISTING GOLF COURSE

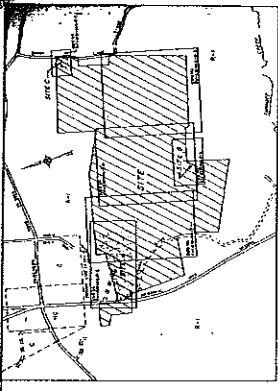
PREPARED BY: VITILLO GROUP, INC.

DATE: 12/15/87

SCALE: AS SHOWN

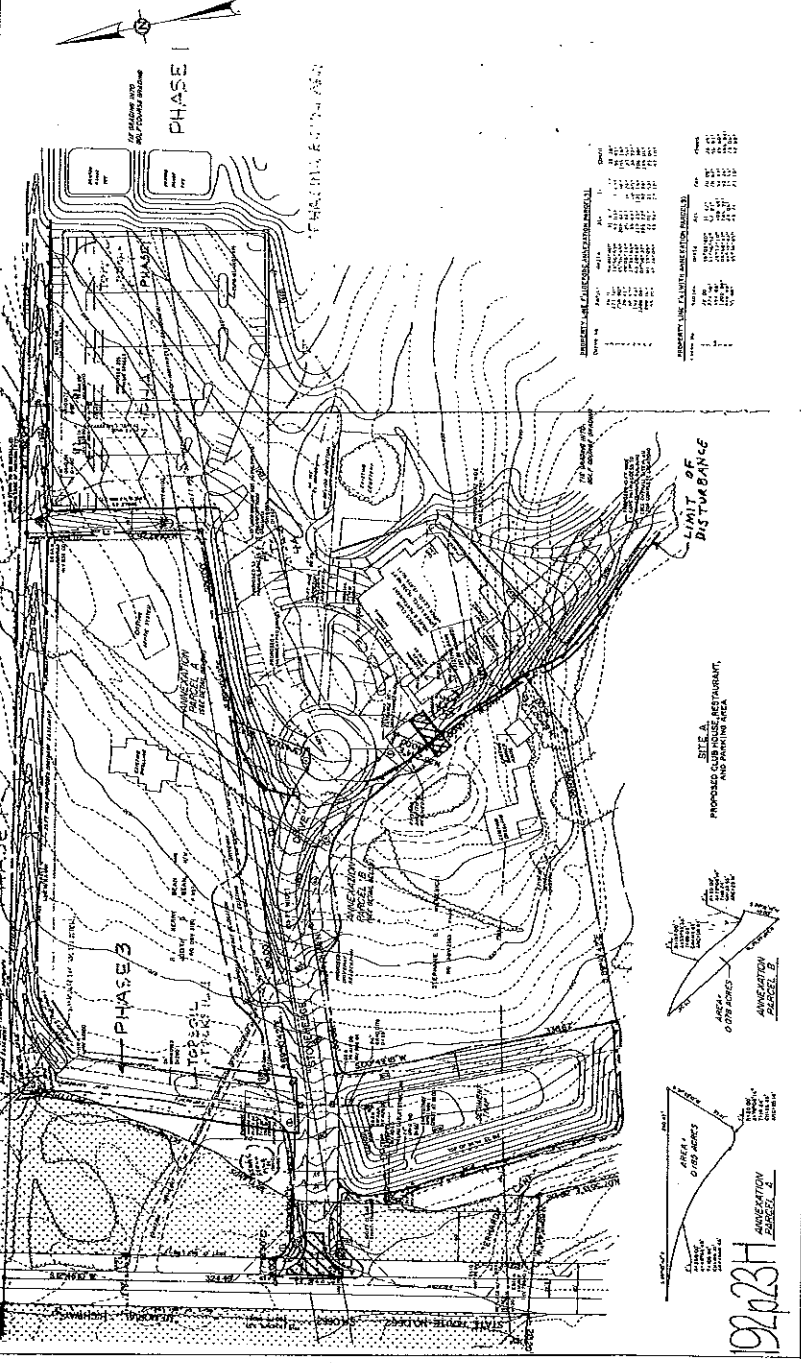
PROJECT NO. 192023E

SHEET NO. 1000 OF 1000



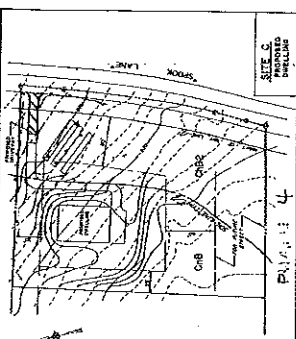
PHASE I
SITE PLAN

- NOTES:
1. ALL DISTANCES ARE TO BE MEASURED FROM THE CENTERLINE OF THE ROAD OR FROM THE CENTERLINE OF THE PROPERTY LINE AS SHOWN ON THIS PLAN.
 2. ALL DISTANCES ARE TO BE MEASURED FROM THE CENTERLINE OF THE ROAD OR FROM THE CENTERLINE OF THE PROPERTY LINE AS SHOWN ON THIS PLAN.
 3. ALL DISTANCES ARE TO BE MEASURED FROM THE CENTERLINE OF THE ROAD OR FROM THE CENTERLINE OF THE PROPERTY LINE AS SHOWN ON THIS PLAN.
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 5. ALL DISTANCES ARE TO BE MEASURED FROM THE CENTERLINE OF THE ROAD OR FROM THE CENTERLINE OF THE PROPERTY LINE AS SHOWN ON THIS PLAN.
 6. ALL DISTANCES ARE TO BE MEASURED FROM THE CENTERLINE OF THE ROAD OR FROM THE CENTERLINE OF THE PROPERTY LINE AS SHOWN ON THIS PLAN.
 7. ALL DISTANCES ARE TO BE MEASURED FROM THE CENTERLINE OF THE ROAD OR FROM THE CENTERLINE OF THE PROPERTY LINE AS SHOWN ON THIS PLAN.

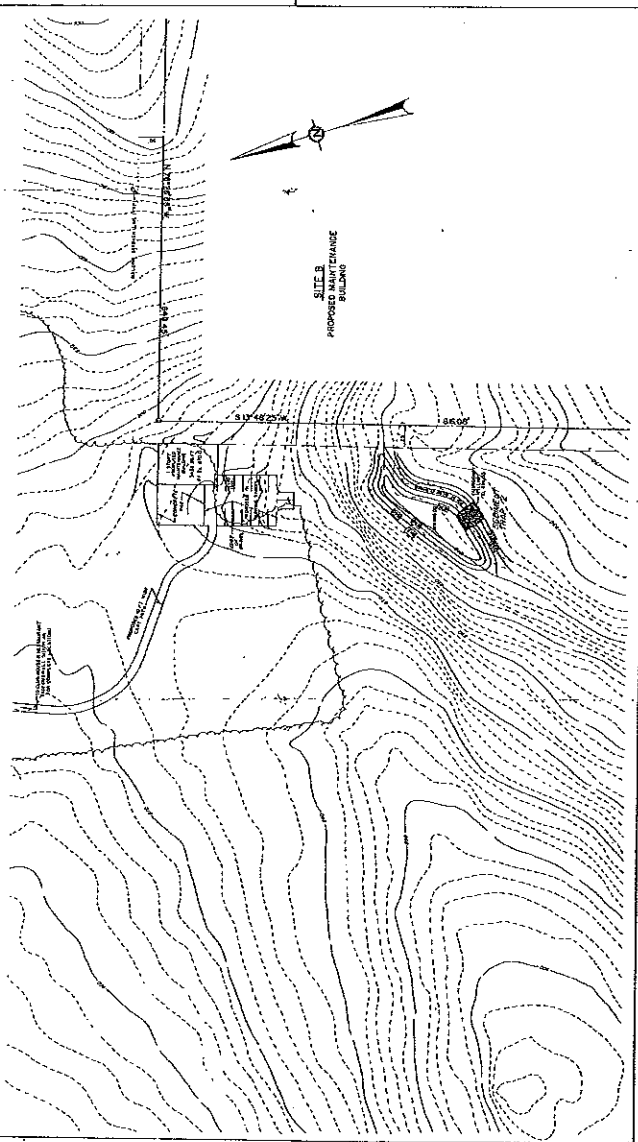


PROPERTY LINE LIMITATION TABLE

AREA	AREA	AREA	AREA	AREA
1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20
21	22	23	24	25
26	27	28	29	30
31	32	33	34	35
36	37	38	39	40
41	42	43	44	45
46	47	48	49	50



SITE C
PHASE I
SITE PLAN



SITE B
PROPOSED MAINTENANCE BUILDING

192p236

"GOLDEN OAKS COUNTRY CLUB"
FOR E & SPC
USE ONLY

- LEGEND
- PROPOSED MAINTENANCE BUILDING
 - PROPOSED MAINTENANCE BUILDING
 - PROPOSED MAINTENANCE BUILDING
 - PROPOSED MAINTENANCE BUILDING
 - PROPOSED MAINTENANCE BUILDING

DATE: 11/11/88
SCALE: 1" = 40'

MITILO GROUP, INC.
Civil Engineers
2000 S. GARDEN AVENUE
SUITE 100
GARDEN CITY, MO 64503

PROJECT: "GOLDEN OAKS COUNTRY CLUB"
EASPC PLAN
11/11/88

PREPARED BY: MITILO GROUP, INC.
CHECKED BY: [Name]
DATE: 11/11/88

192p236

192p23M

192p23N

EAS P.C. - DETAIL SHEET

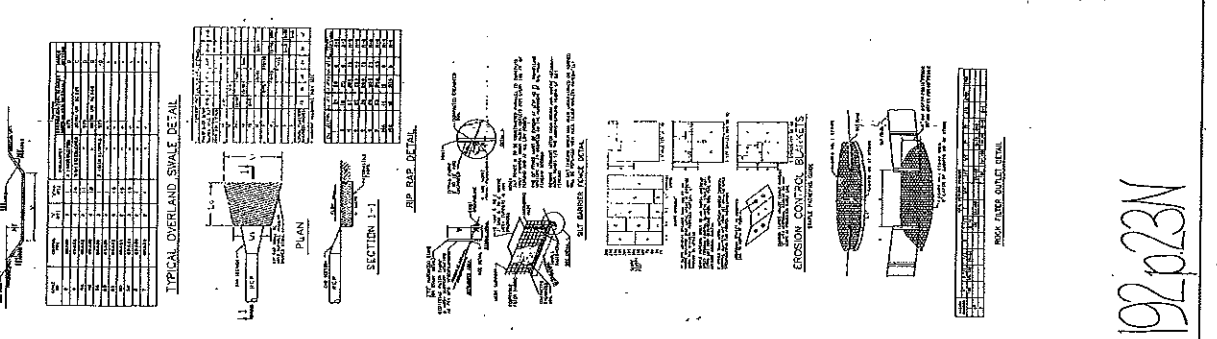
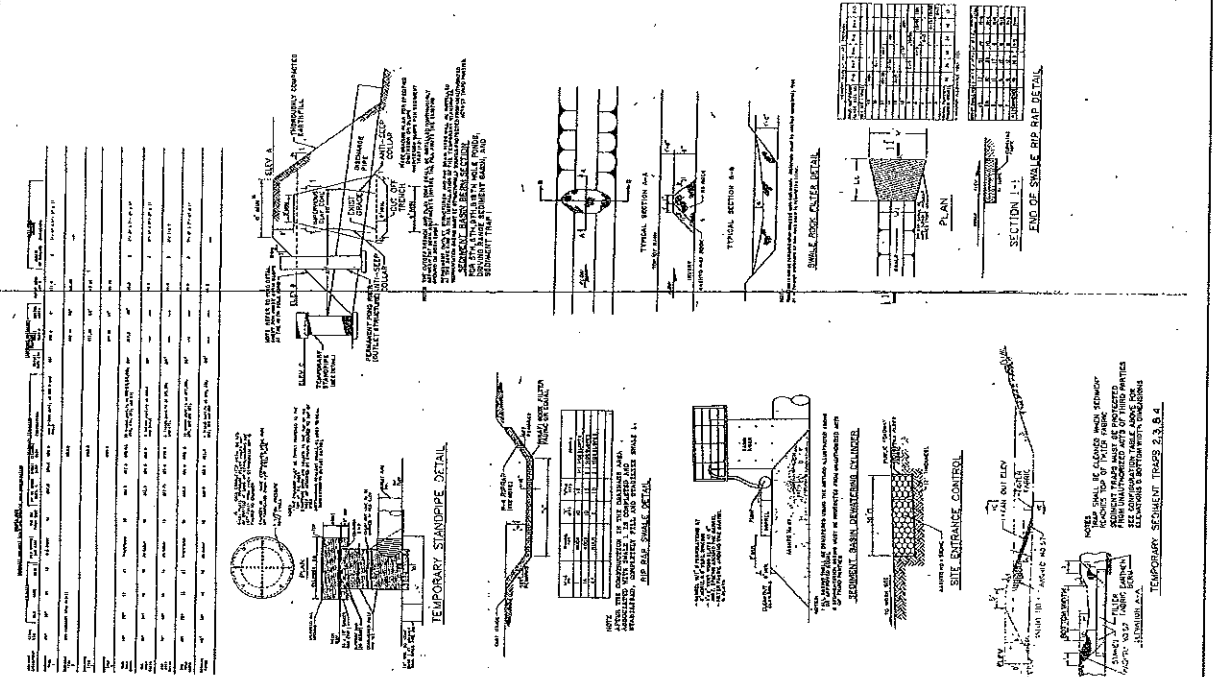
GOLDEN OAKS COUNTRY CLUB
PLEETWOOD, PA.

JIM BLAWGITCH
GOLF COURSE ARCHITECT
1770 ALENDORF BL. CHESTER, PA. 19380
610-338-4908

SCALE
AS SHOWN
DATE
BY

GENERAL NOTES:

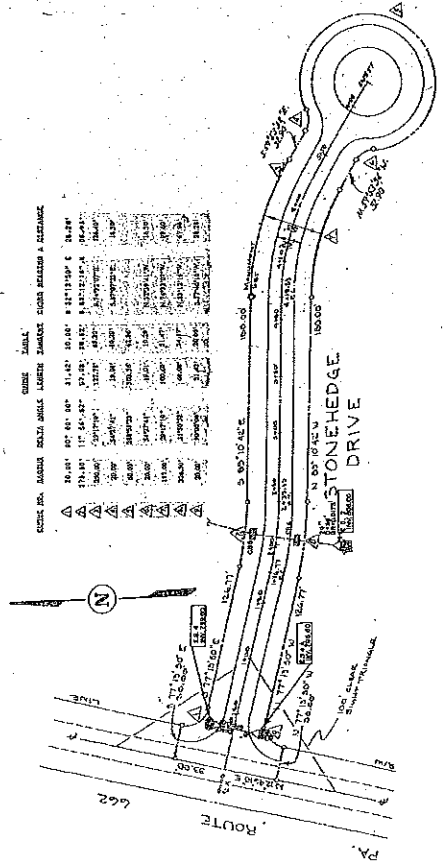
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PENNSYLVANIA CONSTRUCTION CODES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
3. ALL MATERIALS SHALL BE OF THE QUALITY AND QUANTITY SPECIFIED IN THESE DETAILS.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. ALL EXCAVATIONS SHALL BE PROTECTED FROM COLLAPSE AND FLOODING.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.
10. ALL MATERIALS SHALL BE STORED PROPERLY TO PREVENT DAMAGE.
11. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE.
12. ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT.



NO.	DESCRIPTION	QTY	UNIT	TOTAL
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CHORDS IN RADIUS

ANGLE	CHORD	HEIGHT	AREA
10°	17.36	3.21	15.15
20°	34.72	6.42	30.30
30°	52.08	9.63	45.45
40°	69.44	12.84	60.60
50°	86.80	16.05	75.75
60°	104.16	19.26	90.90
70°	121.52	22.47	106.05
80°	138.88	25.68	121.20
90°	156.24	28.89	136.35
100°	173.60	32.10	151.50
110°	190.96	35.31	166.65
120°	208.32	38.52	181.80
130°	225.68	41.73	196.95
140°	243.04	44.94	212.10
150°	260.40	48.15	227.25
160°	277.76	51.36	242.40
170°	295.12	54.57	257.55
180°	312.48	57.78	272.70



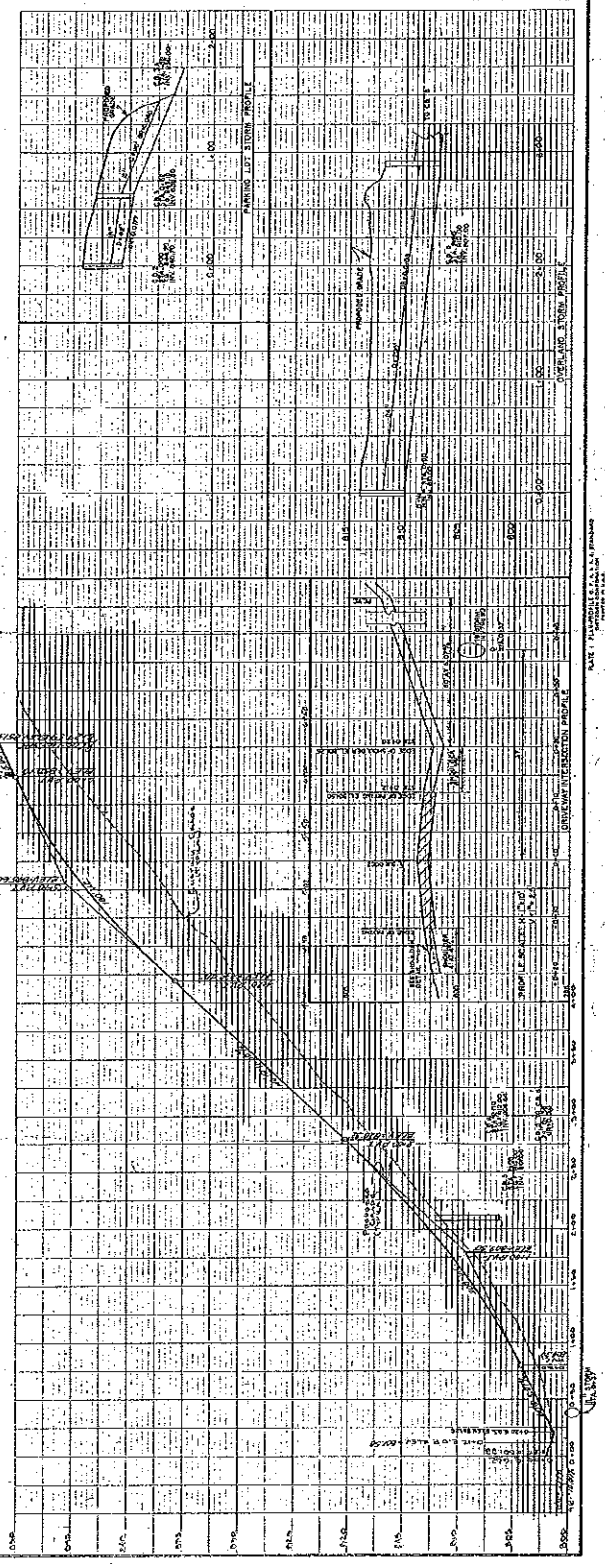
NOTE: THIS PLAN IS BASED ON THE SURVEY BY GEORGE W. BROWN, JR., PROFESSIONAL SURVEYOR, IN HIS REPORT DATED MAY 8, 1948. THE PLAN IS SUBJECT TO THE SURVEY BY GEORGE W. BROWN, JR., PROFESSIONAL SURVEYOR, IN HIS REPORT DATED MAY 8, 1948.

192 p 230
 FINAL PLAN FOR
 "GOLDEN OAKS"
 LAND DEVELOPMENT

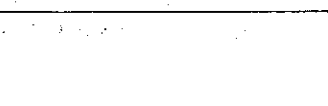
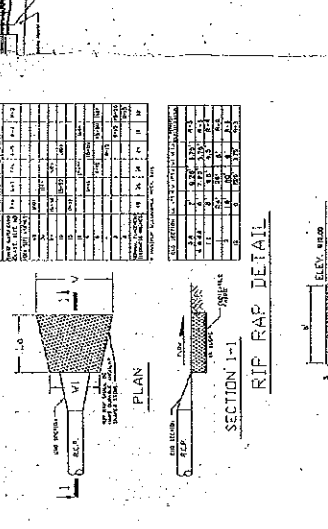
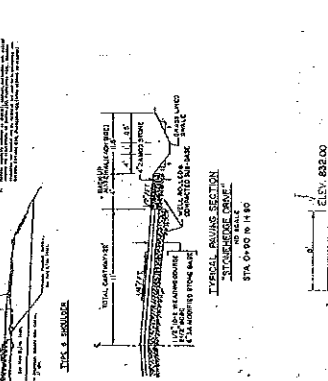
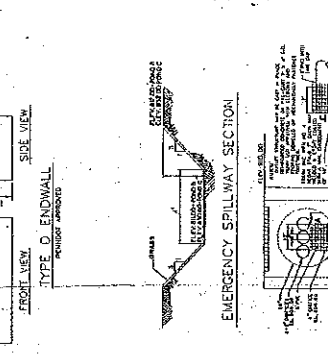
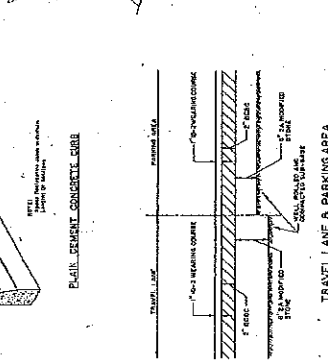
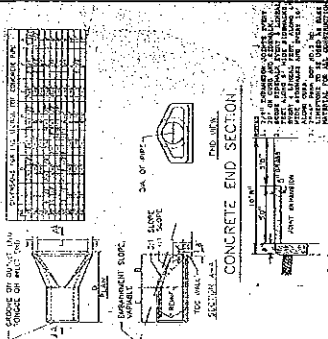
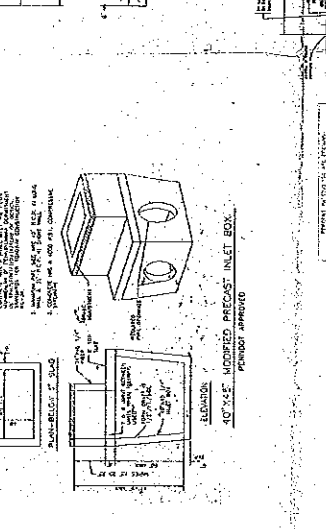
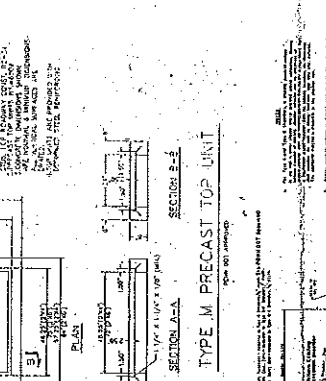
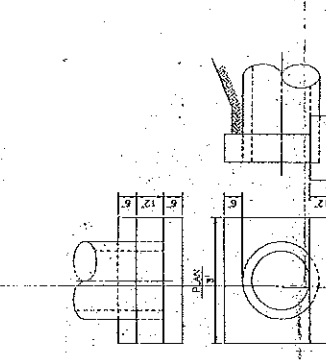
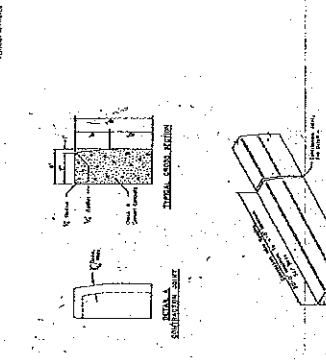
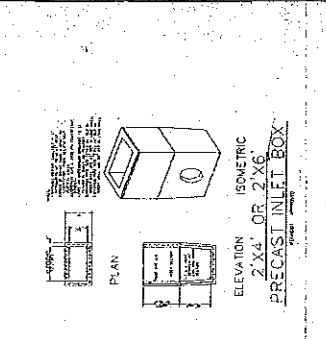
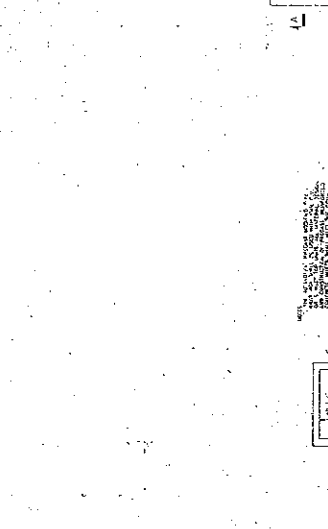
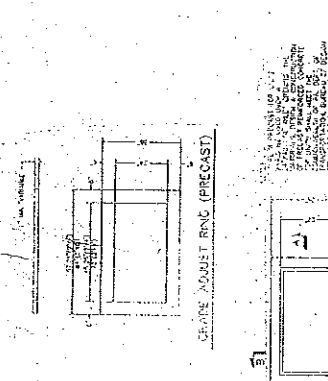
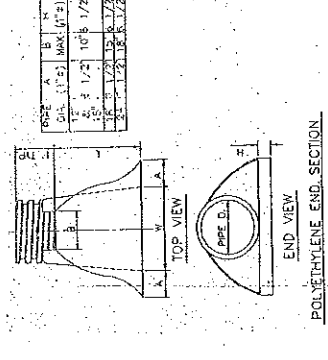
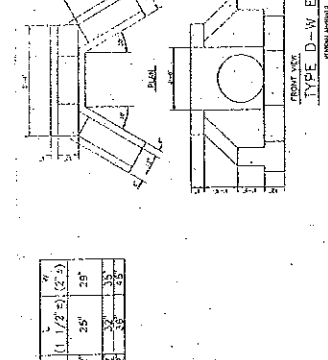
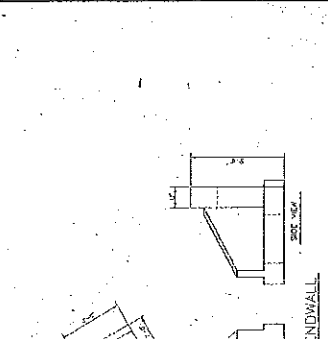
REVISION	DATE	DESCRIPTION

VITILLO GROUP INC.
 CIVIL Engineering
 1000 W. 10th St., Suite 100
 Oklahoma City, Oklahoma 73101
 Phone: 246-1100

PLAN & PROFILE - STONEHEDGE DRIVE
 Stonehedge Oaks, Inc.
 Local Improvement Township Series 001
 Sub Area 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100



PLAN & PROFILE - STONEHEDGE DRIVE
 Stonehedge Oaks, Inc.
 Local Improvement Township Series 001
 Sub Area 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

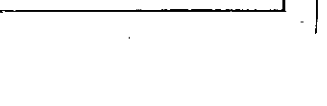
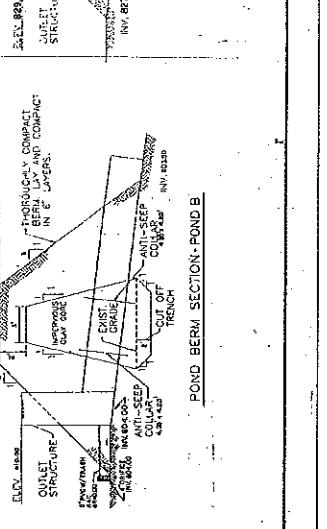
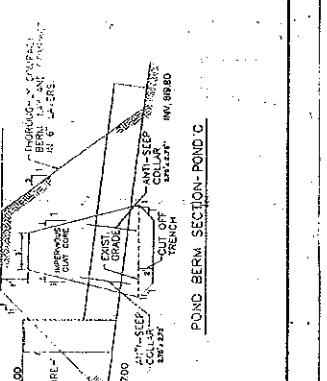
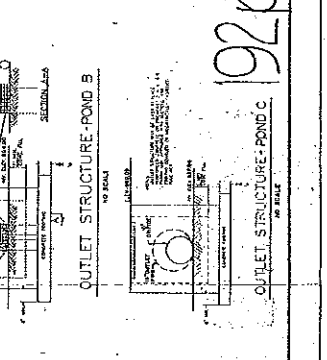


VITILLO GROUP, INC.
Civil Engineering
1000 W. 10th Street, Suite 100
Tulsa, Oklahoma 74103
Phone: (918) 438-1111

THIS IS A COPY OF THE ORIGINAL DRAWING. THE ORIGINAL DRAWING IS IN THE OFFICE OF THE ENGINEER. ANY CHANGES TO THIS DRAWING SHALL BE MADE IN THE ORIGINAL DRAWING OR BY A CORRECTIVE SHEET. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF VITILLO GROUP, INC.

DETAIL SHEET
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: [Date]

NO.	DATE	DESCRIPTION
1	01/15/00	ISSUED FOR PERMITS
2	02/10/00	REVISED PER COMMENTS
3	03/05/00	REVISED PER COMMENTS
4	04/01/00	REVISED PER COMMENTS
5	05/01/00	REVISED PER COMMENTS
6	06/01/00	REVISED PER COMMENTS
7	07/01/00	REVISED PER COMMENTS
8	08/01/00	REVISED PER COMMENTS
9	09/01/00	REVISED PER COMMENTS
10	10/01/00	REVISED PER COMMENTS
11	11/01/00	REVISED PER COMMENTS
12	12/01/00	REVISED PER COMMENTS

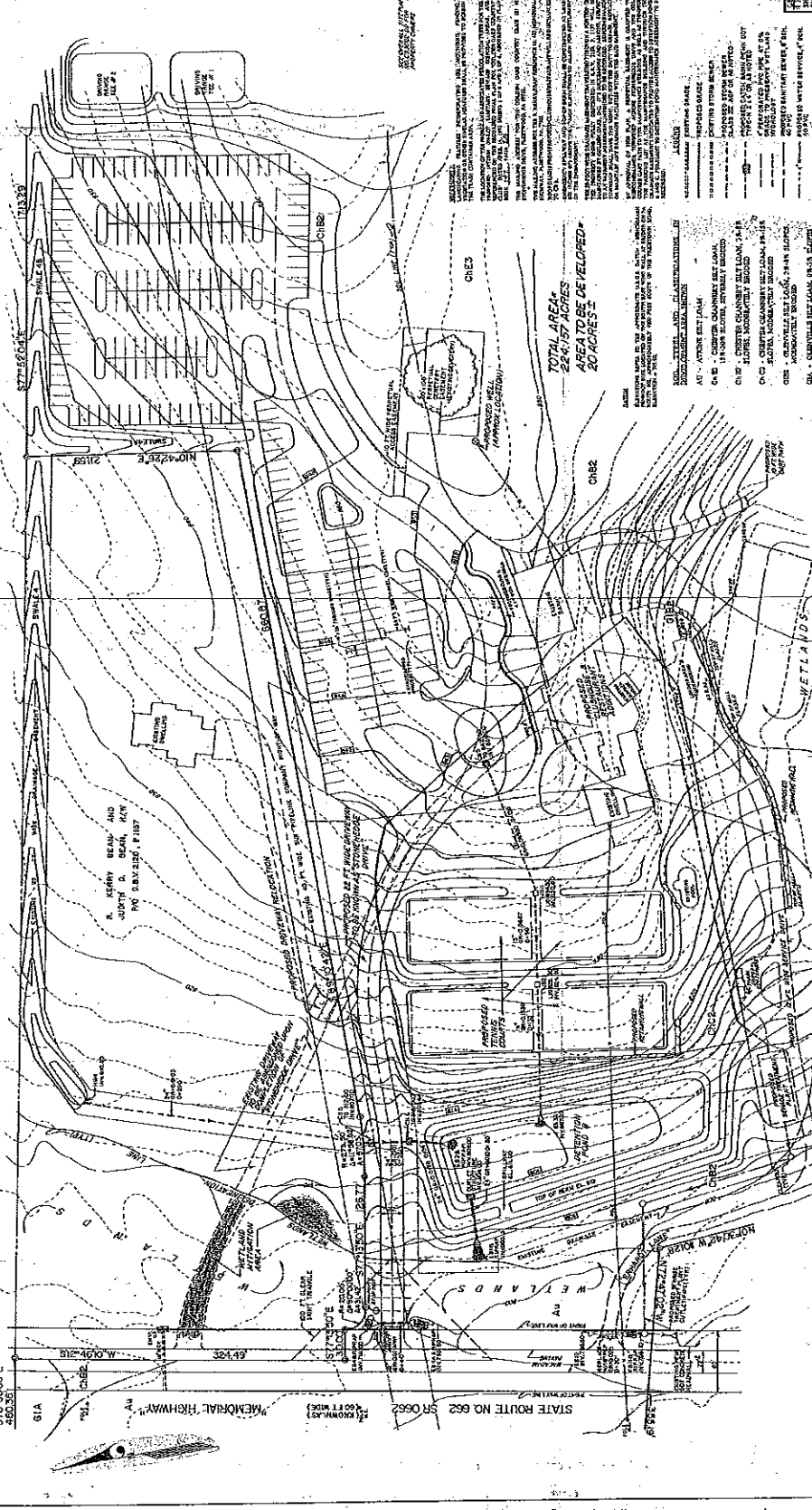


1920230

196051A

GENERAL NOTES:

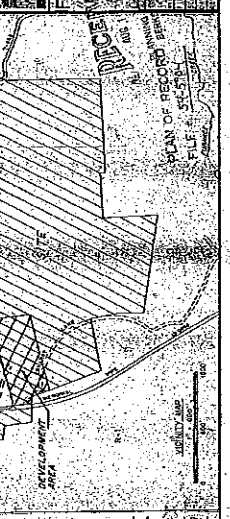
1. ALL DISTANCES GIVEN ARE APPROXIMATE.
2. THE EXISTING ROAD CENTERLINE IS SHOWN BY A DOTTED LINE.
3. THE PROPOSED ROAD CENTERLINE IS SHOWN BY A SOLID LINE.
4. THE PROPOSED ROAD WIDTH IS 30 FEET.
5. THE PROPOSED ROAD GRAD IS 2%.
6. THE PROPOSED ROAD CURVE RADIUS IS 50 FEET.
7. THE PROPOSED ROAD OFFSET IS 5 FEET.
8. THE PROPOSED ROAD DRAINAGE IS TO THE SOUTH.
9. THE PROPOSED ROAD SIGNAGE IS TO BE PLACED AT THE INTERSECTION.
10. THE PROPOSED ROAD LIGHTING IS TO BE PLACED AT THE INTERSECTION.
11. THE PROPOSED ROAD UTILITIES ARE TO BE PLACED AT THE INTERSECTION.
12. THE PROPOSED ROAD EROSION CONTROL IS TO BE PLACED AT THE INTERSECTION.
13. THE PROPOSED ROAD FENCING IS TO BE PLACED AT THE INTERSECTION.
14. THE PROPOSED ROAD LANDSCAPING IS TO BE PLACED AT THE INTERSECTION.



REVISION	DATE	DESCRIPTION

VITVILLO GROUP, INC.
 Engineers, Surveyors & Planners
 12345 Main Street
 Florissant, Missouri 63031
 (636) 922-1234

FINAL PLAN
GARDEN OAKS CLUBHOUSE
AND DEVELOPMENT
 PREPARED BY: [Name]
 DATE: [Date]



TOTAL AREA: 204,157 SQUARE FEET
AREA TO BE DEVELOPED: 20 ACRES

LEGEND:
 - ROAD CENTERLINE
 - ROAD WIDTH
 - ROAD GRAD
 - ROAD CURVE RADIUS
 - ROAD OFFSET
 - ROAD DRAINAGE
 - ROAD SIGNAGE
 - ROAD LIGHTING
 - ROAD UTILITIES
 - ROAD EROSION CONTROL
 - ROAD FENCING
 - ROAD LANDSCAPING

STATE ROUTE NO. 692 SR 0662
 324.49
 512' 46" W

R. BERRY BERRY AND
JOEY D. BERRY, SR.
 240 BAYVIEW, P. 1187

RESOLUTION NO. 681
Adopted by the Board of Supervisors of St. Louis County, Missouri, on this 15th day of February, 1963.

FOR THE BOARD OF SUPERVISORS:
 [Signature]
Chairman

RESOLUTION NO. 682
Adopted by the Board of Supervisors of St. Louis County, Missouri, on this 15th day of February, 1963.

FOR THE BOARD OF SUPERVISORS:
 [Signature]
Chairman

- 1. THESE LOTS ARE TO BE DEVELOPED AS RESIDENTIAL LOTS.
- 2. THESE LOTS ARE TO BE DEVELOPED AS RESIDENTIAL LOTS.
- 3. THESE LOTS ARE TO BE DEVELOPED AS RESIDENTIAL LOTS.
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- 19. THESE LOTS ARE TO BE DEVELOPED AS RESIDENTIAL LOTS.
- 20. THESE LOTS ARE TO BE DEVELOPED AS RESIDENTIAL LOTS.

TOTAL AREA = 224.157 ACRES

196051B

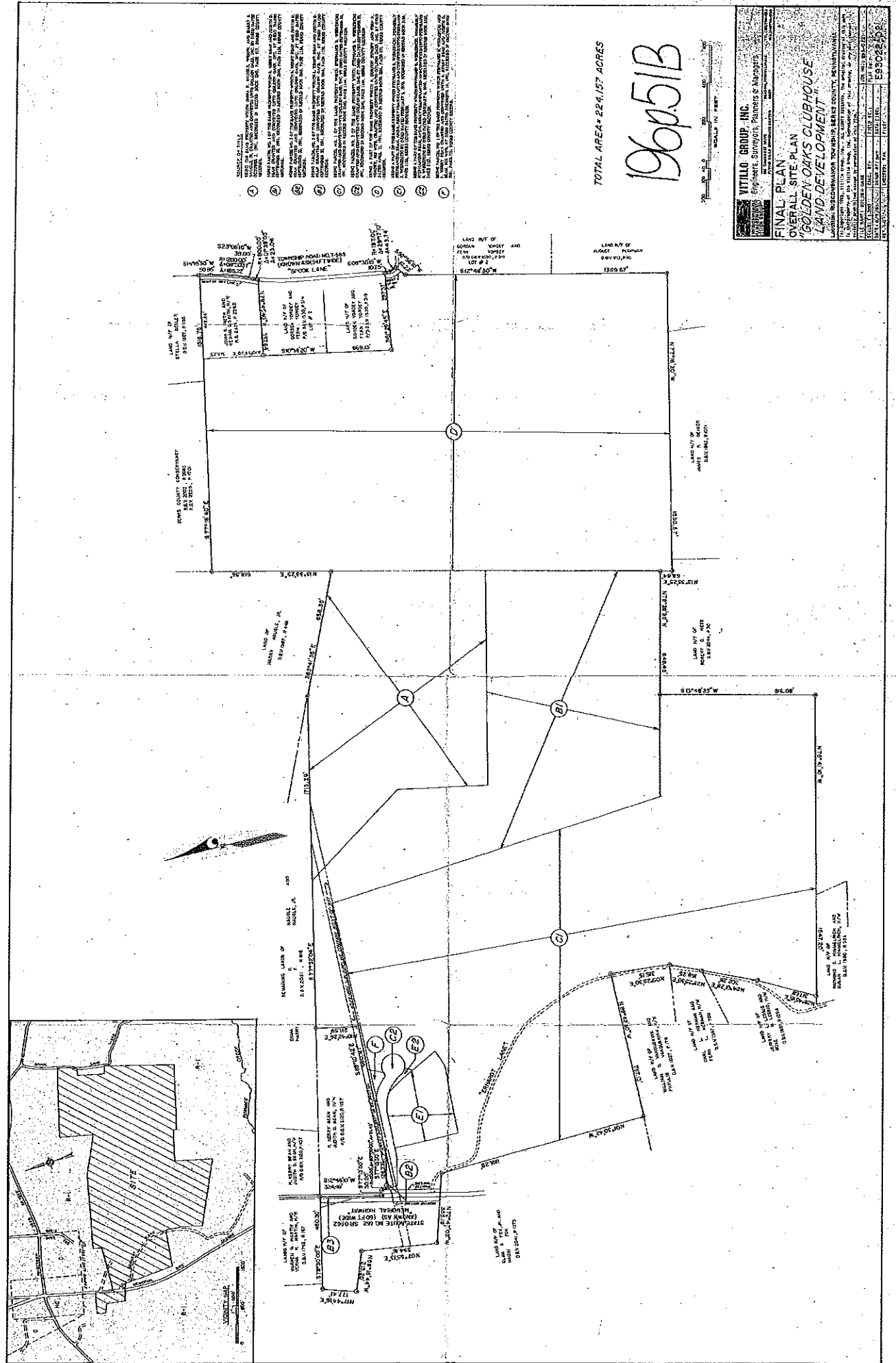


MITILLO GROUP, INC.
 Engineers, Surveyors, Planners & Managers

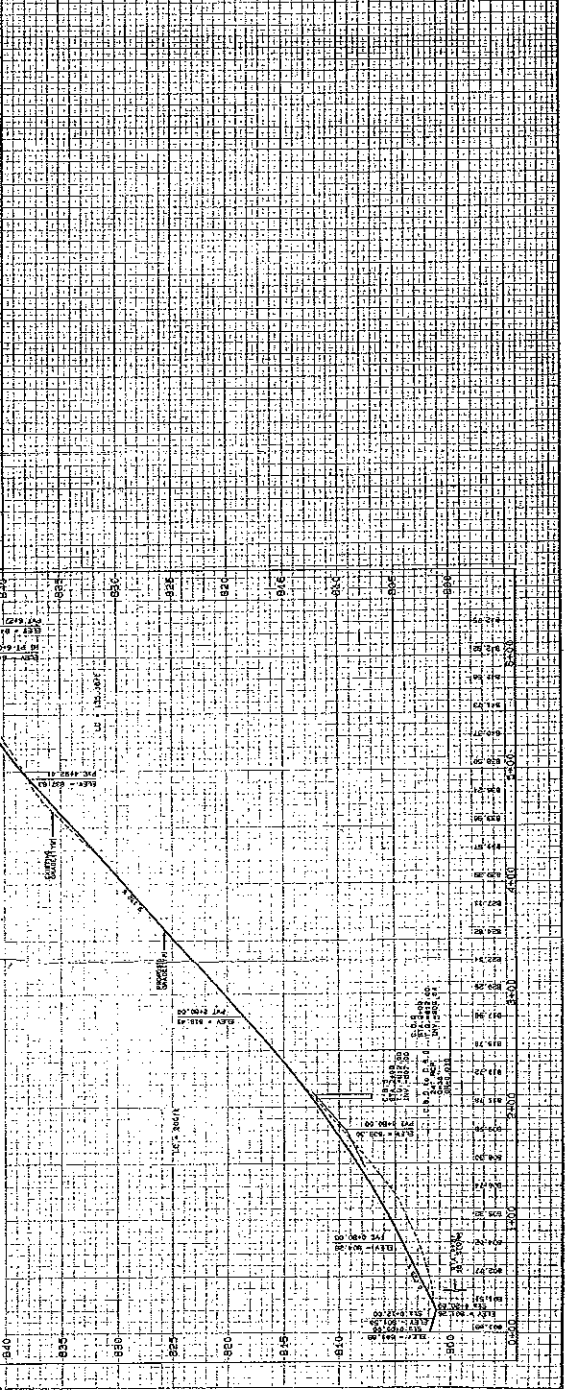
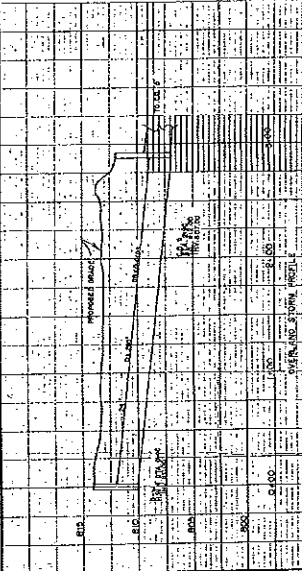
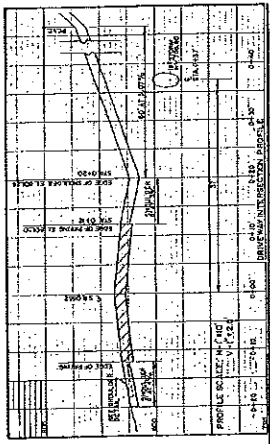
FINAL PLAN
OVERALL SITE PLAN
GOLDEN OAKS CLUBHOUSE
LAND DEVELOPMENT

Location: SUBDIVISION TOWNSHIP BERKE COUNTY, PENNSYLVANIA

DATE: 10/15/08
 SHEET NO. 1 OF 1
 PROJECT NO. 080202



196051C



VITTILO GROUP, INC.
 Engineers, Surveyors, Planners & Managers



LAND DEVELOPMENT
 "GOLDEN OAKS CLUBHOUSE"

LOCATION: PROPOSED DEVELOPMENT, TOWNSHIP 18, RANGE 15, PENNSYLVANIA

30 DAY REVIEW PERIOD
 30 DAY REVIEW PERIOD
 30 DAY REVIEW PERIOD

ZONES
 R1 - RESIDENTIAL
 LAYED
 MINIMUM REGULATION - 32 FT.
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NO.	DATE	BY	REVISION
1			INITIAL
2			REVISED
3			REVISED
4			REVISED
5			REVISED

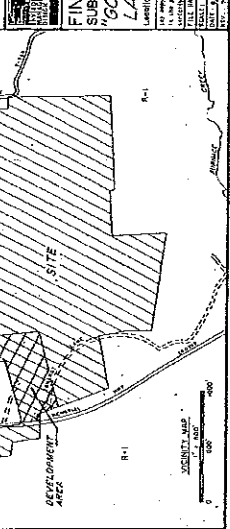
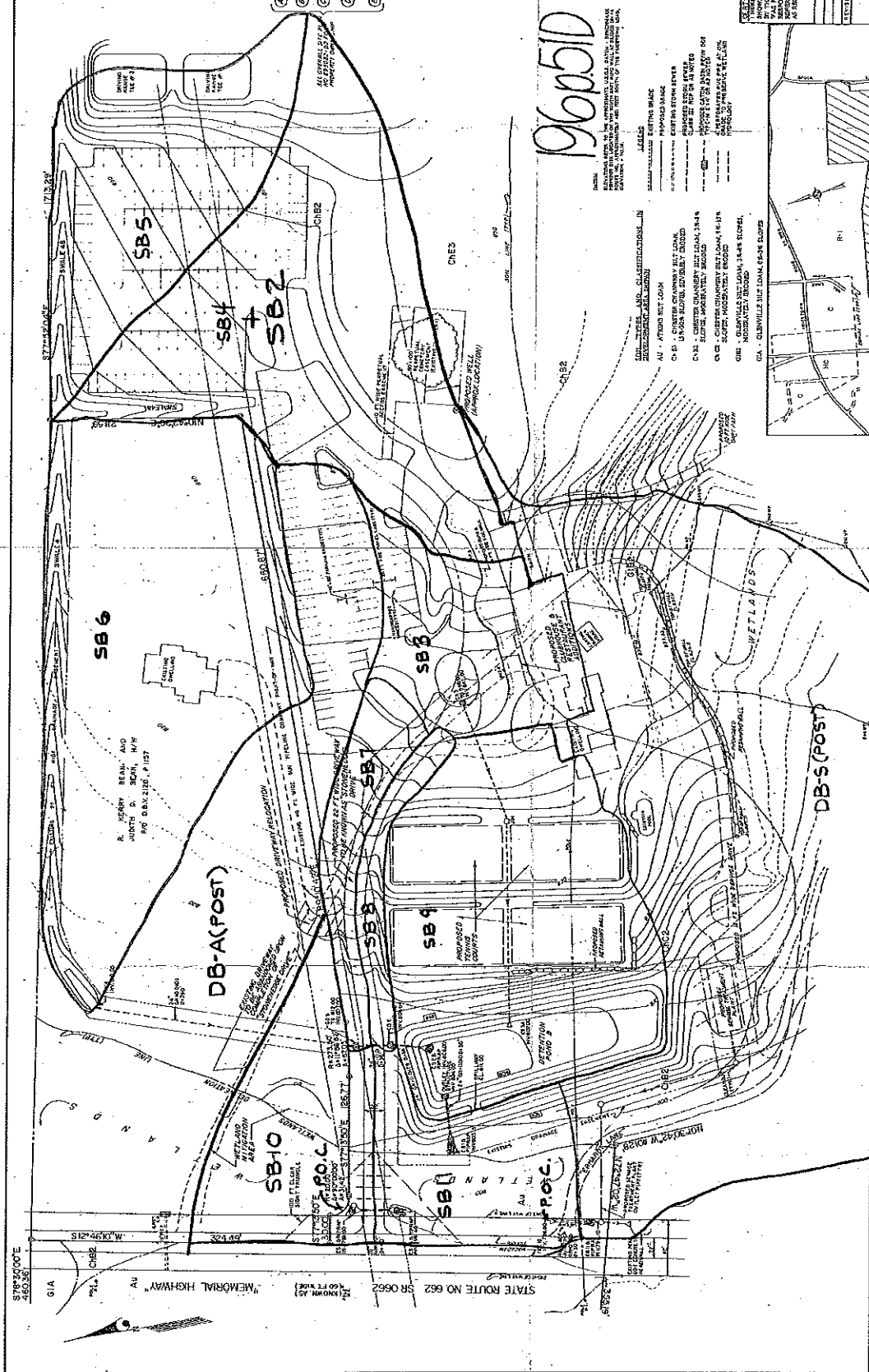
SCALE IN FEET
 0 20 40 60 80 100

VITOLD GROUP, INC.
 1501 N. BRIDGE ST.
 ANN ARBOR, MICHIGAN 48104
 PHONE: (313) 763-1100

FINAL PLAN
SUBBASIN PLAN
"GOLDEN OAKS CLUBHOUSE"
LAND DEVELOPMENT

LEWIS C. DORN, TOWNSHIP ENGINEER
 120 N. BRIDGE ST.
 ANN ARBOR, MICHIGAN 48104
 PHONE: (313) 763-1100

DATE: 10/11/77
 SHEET NO. 10 OF 12
 PROJECT NO. E9302-D4



GENERAL NOTES
 1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 2. ALL CORNERS ARE TO BE BUILT AND MAINTAINED AS SHOWN.
 3. ALL BUILDINGS ARE TO BE CONSTRUCTION GRADE.
 4. ALL SETBACKS ARE TO BE MEASURED FROM THE PROPERTY LINES.
 5. ALL EASEMENTS ARE TO BE MAINTAINED AS SHOWN.
 6. ALL UTILITIES ARE TO BE MAINTAINED AS SHOWN.
 7. ALL IMPROVEMENTS ARE TO BE MAINTAINED AS SHOWN.
 8. ALL DISTANCES ARE TO BE MEASURED FROM THE PROPERTY CORNERS.
 9. ALL CORNERS ARE TO BE BUILT AND MAINTAINED AS SHOWN.
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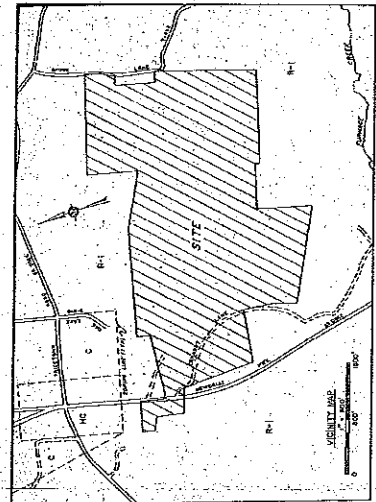
GENERAL NOTES
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 13. ALL UTILITIES ARE TO BE MAINTAINED AS SHOWN.
 14. ALL IMPROVEMENTS ARE TO BE MAINTAINED AS SHOWN.

STATE ROUTE NO 662 SR 0662
 160 FT WIDE
 160 FT WIDE
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196051D



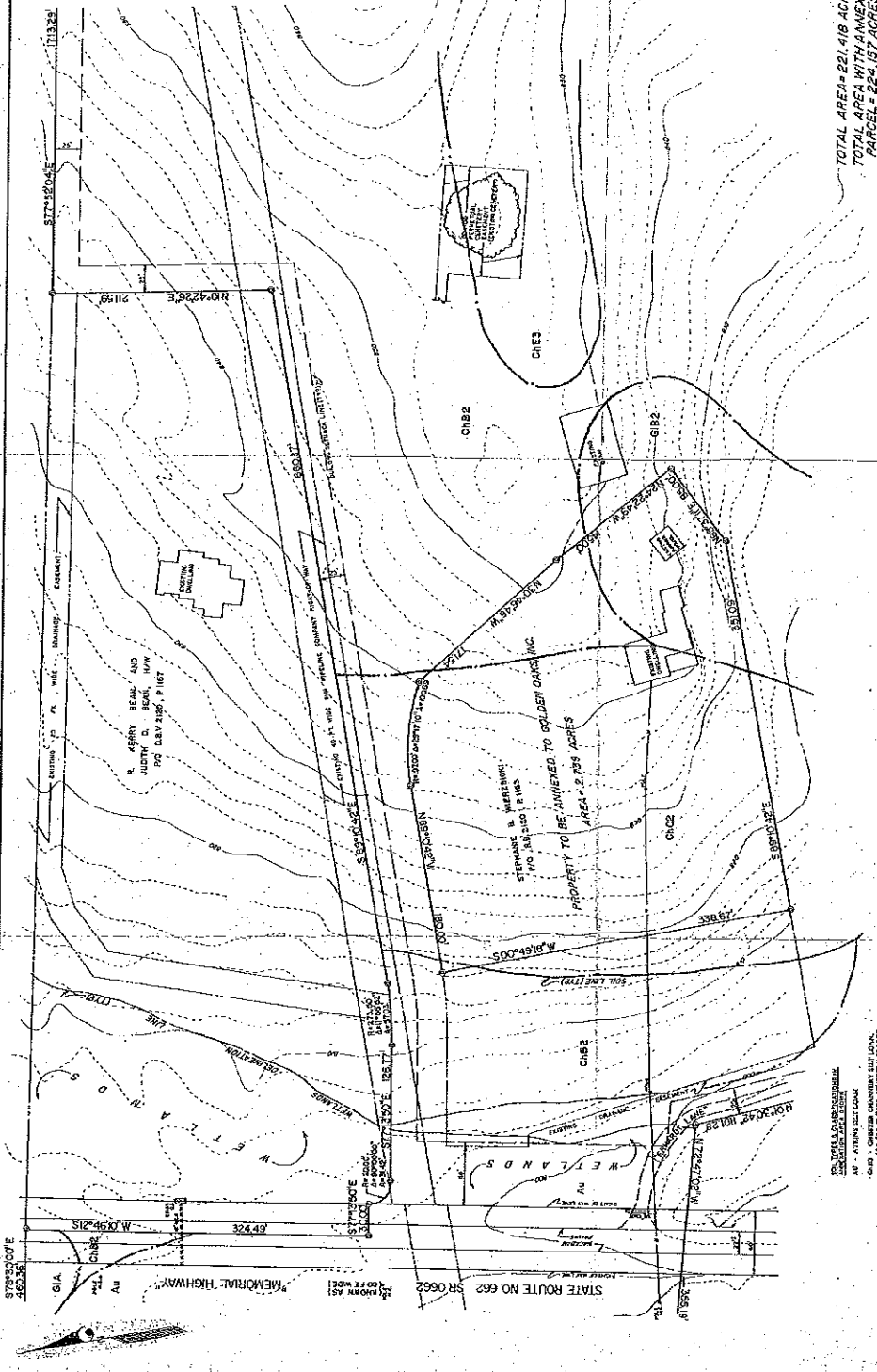
ZONING
 IN RESIDENTIAL
 ANTIQUARIAN DISTRICTS

PERMITS
 LOT AREA: 1.75 AC.
 LOT WIDTH: 125 FT.
 REAR YARD: 30 FT.
 SIDE YARD: 10 FT.
 BUILDING AREA: 8 FT.
 MAXIMUM HEIGHT: 35 FT.
 OCCUPANCY: RESIDENTIAL, 23 FT.

REGULATIONS
 ZONING ORDINANCE
 SECTION 10.02
 SUBSECTION 10.02.02
 PLANNING BOARD

APPROVED USE
 SINGLE-FAMILY RESIDENTIAL

ANNEXATION OF LAND ONLY. SEPARATE LAND DEVELOPMENT PLAN TO BE SUBMITTED TO THE PLANNING BOARD AND THE BOARD OF SUPERVISORS FOR APPROVAL. THE ANNEXATION OF LAND ONLY IS SUBJECT TO THE APPROVAL OF THE BOARD OF SUPERVISORS AND THE BOARD OF SUPERVISORS. THE ANNEXATION OF LAND ONLY IS SUBJECT TO THE APPROVAL OF THE BOARD OF SUPERVISORS AND THE BOARD OF SUPERVISORS. THE ANNEXATION OF LAND ONLY IS SUBJECT TO THE APPROVAL OF THE BOARD OF SUPERVISORS AND THE BOARD OF SUPERVISORS.



TOTAL AREA = 221.418 ACRES
 WITH ANNEXATION
 PARCEL = 224.157 ACRES

196057A

RECEIVED
 JUN 10 1991
 PLANNING BOARD

PLAN OF RECORD
 FILE # 57-5704

RECEIVED
 JUN 10 1991
 PLANNING BOARD

VITILLO GROUP, INC.
 Engineers, Surveyors, Planners & Map Makers
 1111 EAST 10TH AVENUE, SUITE 100
 DENVER, COLORADO 80202

SKETCH PLAN FOR RECORD
"GOLDEN OAKS/WIERZBICKI
ANNEXATION PLAN"

Submitted to the Board of Supervisors, Planning Board, and Board of Health, Planning and Zoning Commission, Golden, Colorado, for their review and approval.

DATE: 5/15/91
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: AS SHOWN

PLANNING BOARD
 MEMORIAL HIGHWAY
 STATE ROUTE NO 662

WELANDS

CHIEF

GOLDEN OAKS

ANNEXATION

PLANNING BOARD
 MEMORIAL HIGHWAY
 STATE ROUTE NO 662

WELANDS

CHIEF

GOLDEN OAKS

ANNEXATION

PLANNING BOARD
 MEMORIAL HIGHWAY
 STATE ROUTE NO 662

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CHIEF

GOLDEN OAKS

ANNEXATION

PLANNING BOARD
 MEMORIAL HIGHWAY
 STATE ROUTE NO 662

WELANDS

CHIEF

GOLDEN OAKS

ANNEXATION

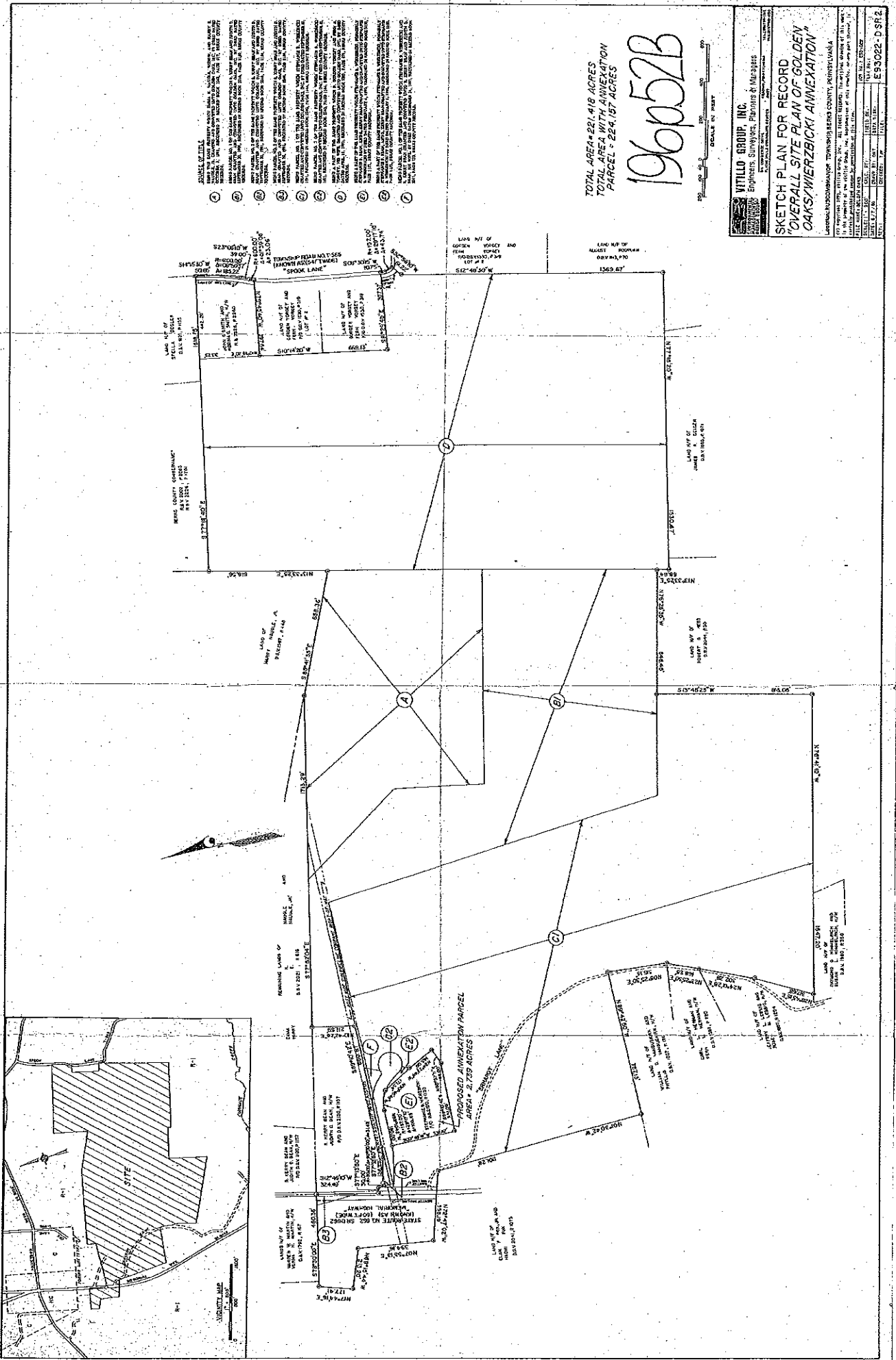
PLANNING BOARD
 MEMORIAL HIGHWAY
 STATE ROUTE NO 662

WELANDS

CHIEF

GOLDEN OAKS

ANNEXATION



TOTAL AREA = 221.418 ACRES
 TOTAL AREA WITH ANNEXATION
 PARCEL = 224.157 ACRES

196057B

SCALE IN FEET
 0 50 100 150 200

- 1. THE TOTAL AREA OF THIS PARCEL IS 221.418 ACRES.
- 2. THE TOTAL AREA WITH ANNEXATION PARCEL IS 224.157 ACRES.
- 3. THE ANNEXATION PARCEL IS 2.729 ACRES.
- 4. THE ANNEXATION PARCEL IS 2.729 ACRES.
- 5. THE ANNEXATION PARCEL IS 2.729 ACRES.
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- 9. THE ANNEXATION PARCEL IS 2.729 ACRES.
- 10. THE ANNEXATION PARCEL IS 2.729 ACRES.

VITILLO GROUP, INC.
 Engineers, Surveyors, Planners & Managers

**SKETCH PLAN FOR RECORD
 "OVERALL SITE PLAN OF GOLDEN
 OAKS/WIERZBICKI ANNEXATION"**

LANDS AND COMMUNITIES DIVISION, BERKS COUNTY, PENNSYLVANIA

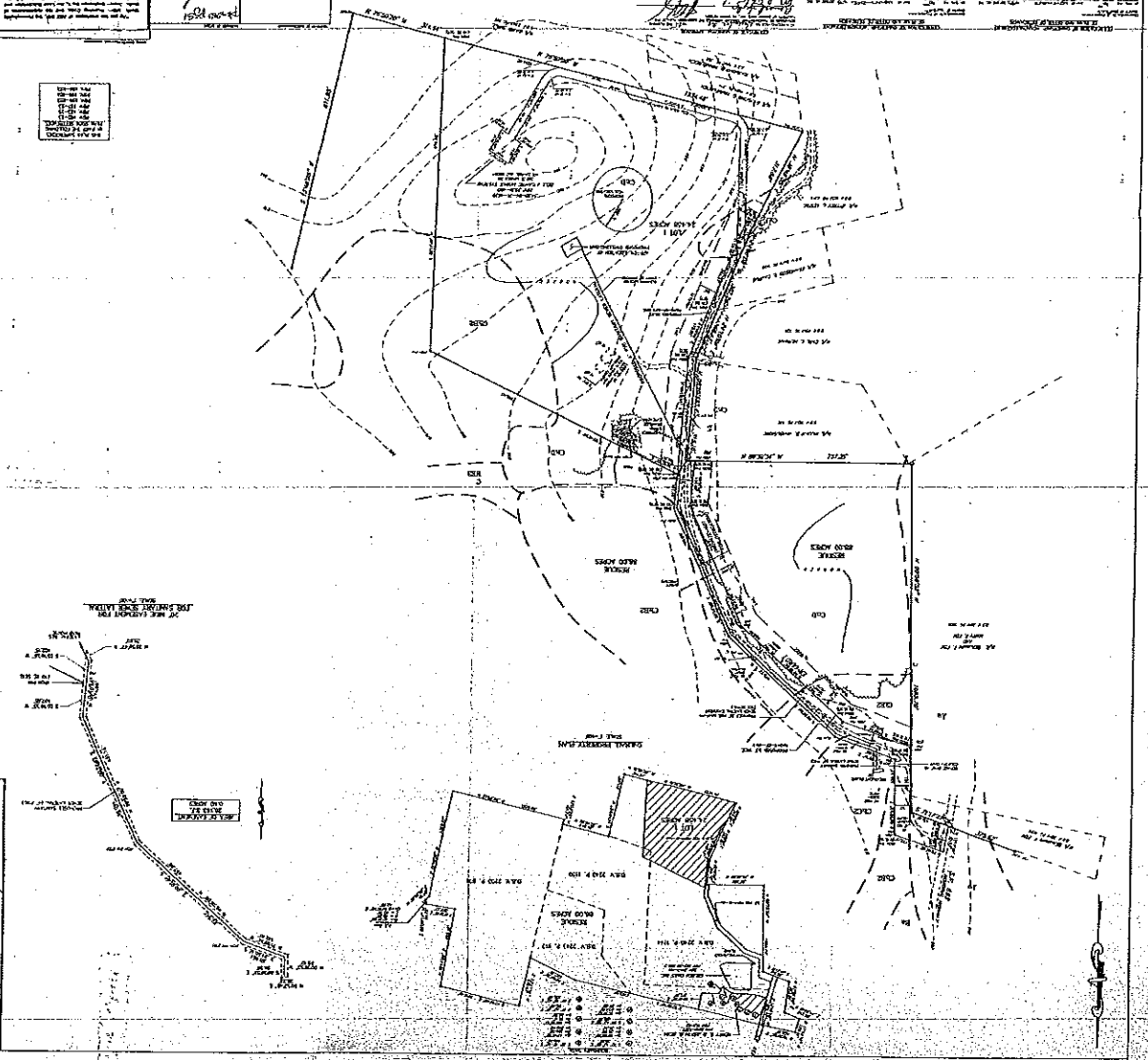
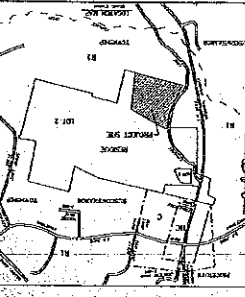
DATE: 08/11/2010
 SCALE: 1" = 200'
 SHEET NO.: 196057B
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 PROJECT NO.: E99022-DSP2

100-3-100
92868-00
GREAT VALLEY CONSULTANTS
 ENGINEERS AND ARCHITECTS
 11000 WEST 11TH AVENUE, SUITE 100
 DENVER, COLORADO 80233
 PH: 733-8800
 FAX: 733-8801
BENJAMIN BRUBACHER
 PROJECT MANAGER

Handwritten notes and signatures:
 [Illegible handwritten text]
 [Illegible signature]

GENERAL NOTES
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. THE CENTERLINE OF THE ROAD IS SHOWN BY A DASHED LINE.
 3. THE RIGHT-OF-WAY BOUNDARIES ARE SHOWN BY DOTTED LINES.
 4. THE EXISTING ROAD CENTERLINE IS SHOWN BY A SOLID LINE.
 5. THE PROPOSED ROAD CENTERLINE IS SHOWN BY A DASHED LINE.
 6. THE PROPOSED ROAD RIGHT-OF-WAY BOUNDARIES ARE SHOWN BY DOTTED LINES.
 7. THE PROPOSED ROAD CROSS-SECTION IS SHOWN BY A SOLID LINE.
 8. THE PROPOSED ROAD GRADE IS SHOWN BY A DASHED LINE.
 9. THE PROPOSED ROAD ELEVATIONS ARE SHOWN BY A SOLID LINE.
 10. THE PROPOSED ROAD WIDTHS ARE SHOWN BY A SOLID LINE.
 11. THE PROPOSED ROAD CURVES ARE SHOWN BY A SOLID LINE.
 12. THE PROPOSED ROAD SLOPES ARE SHOWN BY A SOLID LINE.
 13. THE PROPOSED ROAD DRAINAGE IS SHOWN BY A SOLID LINE.
 14. THE PROPOSED ROAD LIGHTING IS SHOWN BY A SOLID LINE.
 15. THE PROPOSED ROAD SIGNAGE IS SHOWN BY A SOLID LINE.
 16. THE PROPOSED ROAD UTILITIES ARE SHOWN BY A SOLID LINE.
 17. THE PROPOSED ROAD LANDSCAPING IS SHOWN BY A SOLID LINE.
 18. THE PROPOSED ROAD MAINTENANCE IS SHOWN BY A SOLID LINE.
 19. THE PROPOSED ROAD SAFETY IS SHOWN BY A SOLID LINE.
 20. THE PROPOSED ROAD ACCESSIBILITY IS SHOWN BY A SOLID LINE.

LEGEND
 [Illegible symbols and descriptions]





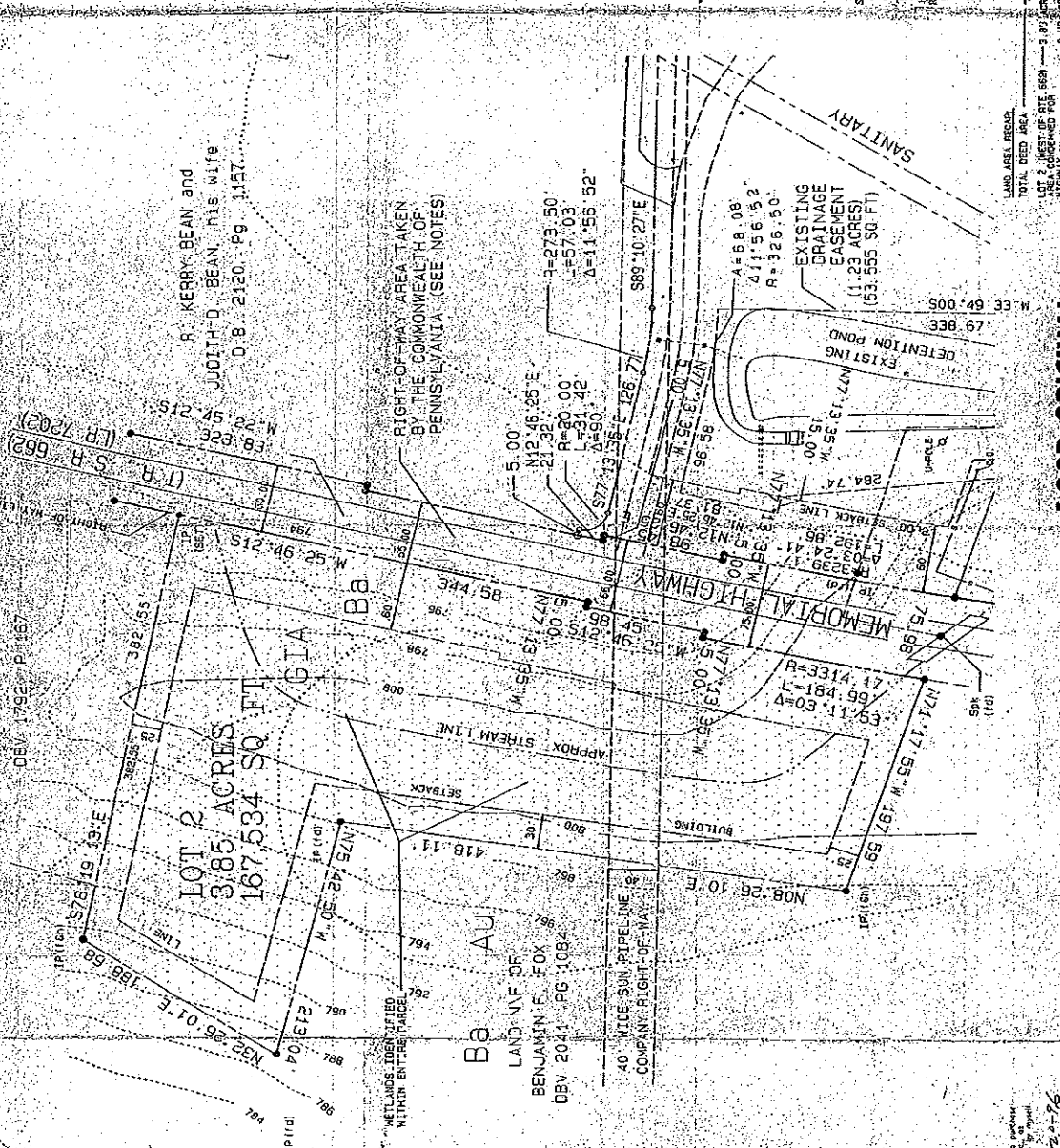
SOURCE OF TITLE
 LOCATED BY SURVEY OF JOHN J. COUGHLIN & ASSOCIATES, INC., ENGINEERS, SURVEYORS, PLANNERS & DESIGNERS, 1000 BROADWAY, NEW YORK, N.Y. 10018.

PLANNING DATA - PLANNING REGULATIONS
 1. THIS PLAN IS SUBMITTED FOR REVIEW AND APPROVAL IN ACCORDANCE WITH THE ZONING ORDINANCE OF THE COUNTY OF BERKS, PENNSYLVANIA.

NOTES:
 1. THE PLANNING COMMISSION HAS REVIEWED THIS PLAN AND HAS FOUND THAT IT IS IN ACCORDANCE WITH THE ZONING ORDINANCE OF THE COUNTY OF BERKS, PENNSYLVANIA.

APPROVED:
 COUNTY PLANNING COMMISSION, BERKS COUNTY, PENNSYLVANIA

DATE: 10/15/2024



SOLES INTEREST

NAME	INTEREST
JUDITH O. BEAN	50%
R. KERRY BEAN	50%

AGREEMENT
 I, the undersigned, Judith O. Bean, do hereby agree that I am the sole owner of the above described property and I have no other interest in the same.

LEGEND

- SANITARY: CLEANOUT
- 7 1/2" x 1" INLET
- WATER WELL
- LONG POLE
- MANHOLE/STONE
- 300# PINASTYLE PIPE
- PROPERTY LINE
- RVN LINE
- FURNACE NUMBER
- FRANCE LINE
- STONE ROW
- SEWER LINE
- WETLANDS

LAND ACREAGE:
 TOTAL DEED AREA: 177.89 ACRES
 LOT 2 (WEST OF RTE 689): 3.85 ACRES
 HIGHWAY: 0.12 ACRES
 SUB TOTAL: 4.87 ACRES
 LOT 1 (EAST OF RTE 689): 167.82 ACRES

AVILLO GROUP, INC.
 Engineers, Surveyors, Planners & Designers
 1000 BROADWAY, NEW YORK, N.Y. 10018

CERTIFICATE OF ACCURACY

SKETCH PLAN OF RECORD

GOLDEN OAKS COUNTRY CLUB'S DIVISION
 RUSSCOMBMANOR TOWNSHIP, BERKS COUNTY, PENNSYLVANIA

CERTIFICATE OF OWNERSHIP

RECORDED OF DEEDS: [Signature]

RECORDER OF DEEDS: [Signature]

BERKS COUNTY PLANNING COMMISSION

RESOLVED: [Text regarding the plan's compliance with zoning regulations]

APPROVED: [Signatures of Commission Members]

RUSSCOMBMANOR TWP. PLANNING COMMISSION

BOARD OF SUPERVISORS: [Signatures]

APPROVED: [Signatures]



LOT 1
163.26 ACRES
7,111,507 SQ FT



VITILLO GROUP, INC.
 11111 North 10th Street, Suite 100
 Phoenix, Arizona 85021
 (602) 998-1111

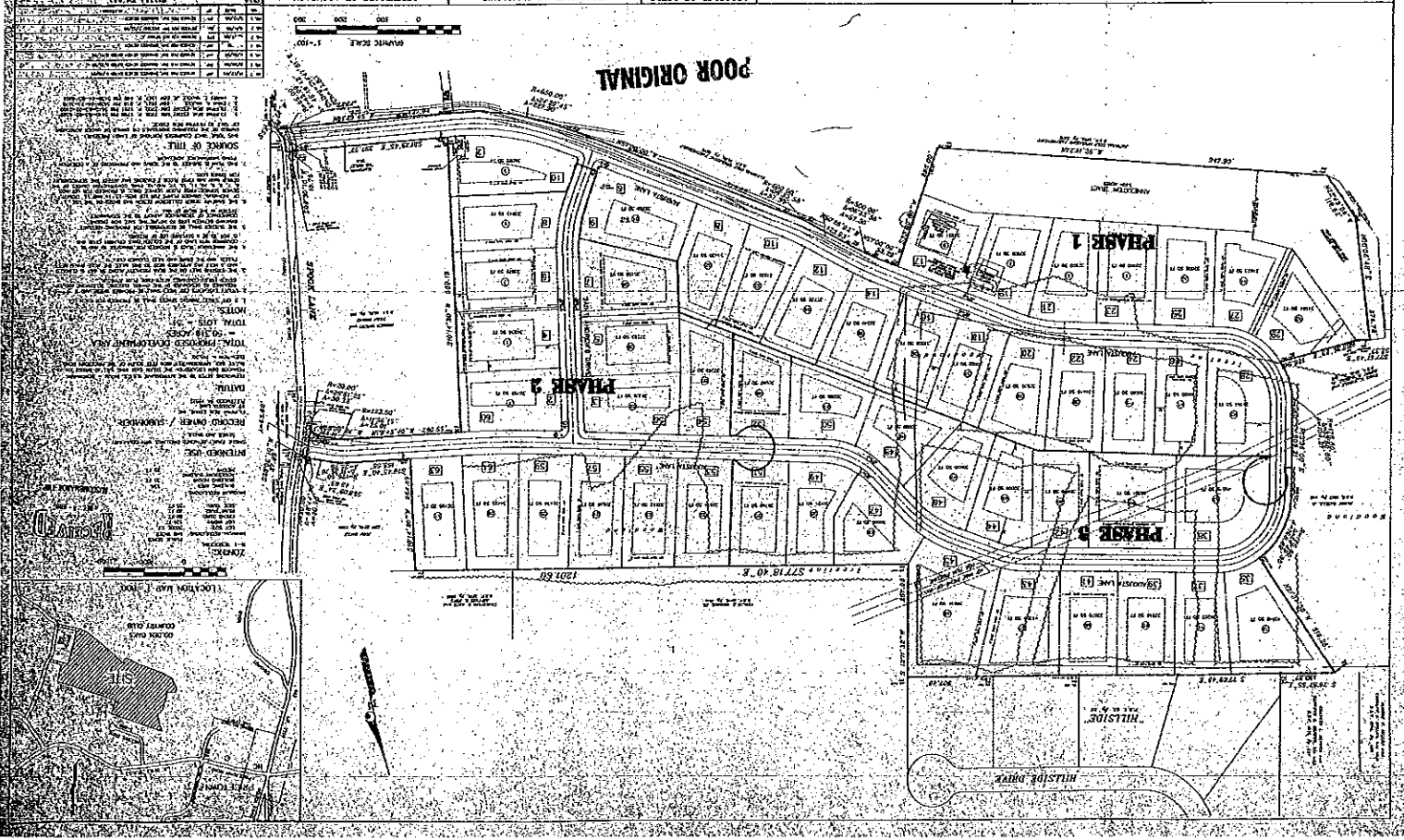
MADE FOR
GOLDEN OAKS COUNTRY CLUB SUBDIVISION
 ALBUQUERQUE, MOUNTAIN VIEW, TARRANT COUNTY, TEXAS

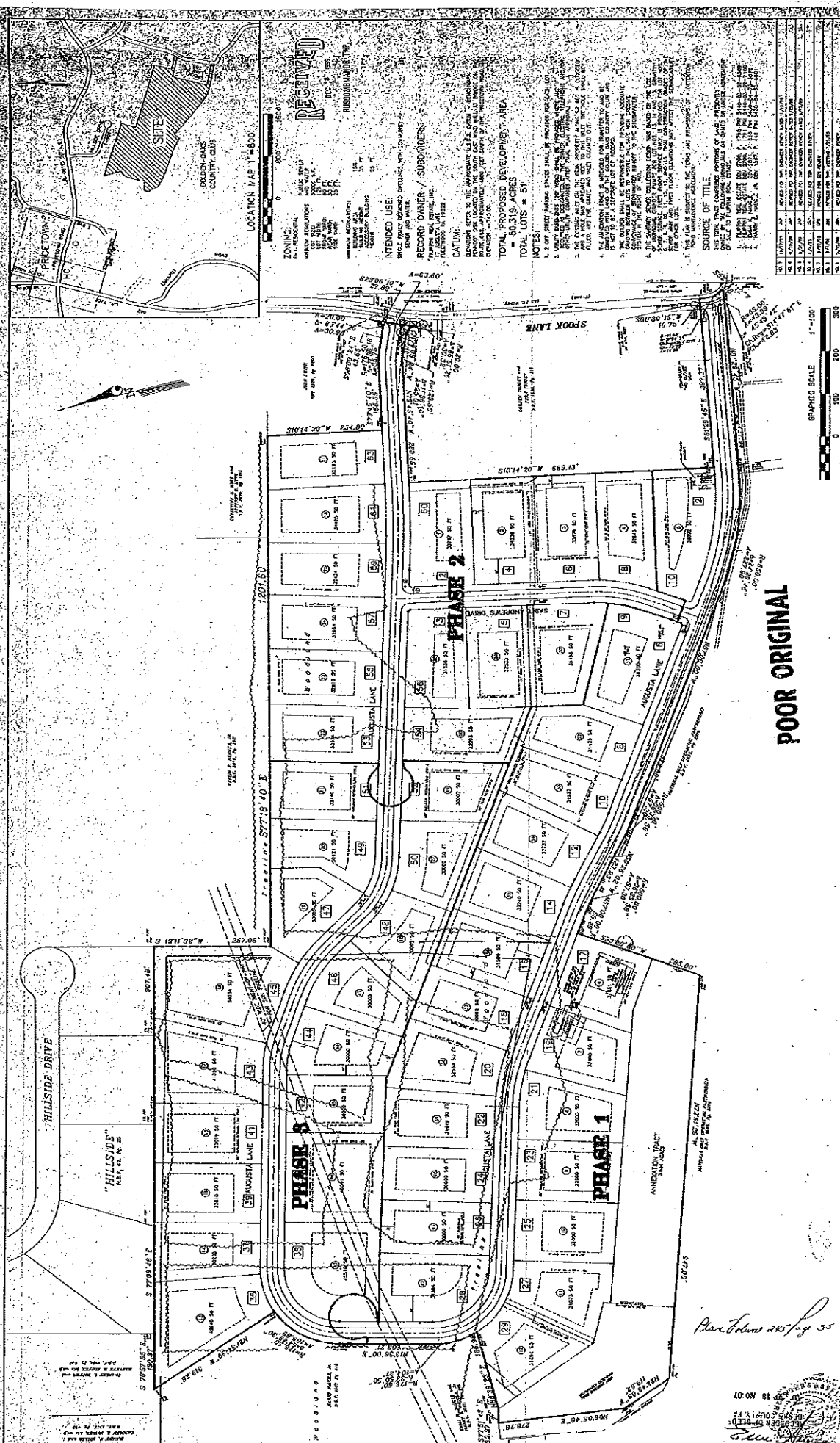
SKETCH PLAN OF RECORD

DATE	BY	REVISION
10/1/00	JM	INITIAL DESIGN
10/1/00	JM	FINAL DESIGN
10/1/00	JM	AS BUILT
10/1/00	JM	REVISION

POOR ORIGINAL

<p>ATLANTA</p> <p>COMMUNITY DEVELOPMENT DEPARTMENT</p> <p>RECOMMENDATION BOARD OF SUPERVISORS</p> <p>FINAL PLAN</p> <p>SUBDIVISION PLAN</p> <p>CONDOMINIUMS</p>	<p>CERTIFICATE OF ACCURACY</p> <p>1. THESE PLANS AND THE SURVEY AND RECORD HEREON ARE THE PROPERTY OF THE CITY OF ATLANTA AND ARE LOANED TO YOU FOR YOUR INFORMATION AND USE ONLY. THEY ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.</p> <p>2. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR RECORD HEREON.</p> <p>3. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE LEGALITY OF THE SURVEY OR RECORD HEREON.</p> <p>4. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE VALIDITY OF THE SURVEY OR RECORD HEREON.</p> <p>5. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE SUFFICIENCY OF THE SURVEY OR RECORD HEREON.</p>	<p>CERTIFICATE OF OWNERSHIP</p> <p>1. THESE PLANS AND THE SURVEY AND RECORD HEREON ARE THE PROPERTY OF THE CITY OF ATLANTA AND ARE LOANED TO YOU FOR YOUR INFORMATION AND USE ONLY. THEY ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.</p> <p>2. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR RECORD HEREON.</p> <p>3. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE LEGALITY OF THE SURVEY OR RECORD HEREON.</p> <p>4. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE VALIDITY OF THE SURVEY OR RECORD HEREON.</p> <p>5. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE SUFFICIENCY OF THE SURVEY OR RECORD HEREON.</p>	<p>RECORDED OF DEEDS</p> <p>1. THESE PLANS AND THE SURVEY AND RECORD HEREON ARE THE PROPERTY OF THE CITY OF ATLANTA AND ARE LOANED TO YOU FOR YOUR INFORMATION AND USE ONLY. THEY ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.</p> <p>2. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR RECORD HEREON.</p> <p>3. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE LEGALITY OF THE SURVEY OR RECORD HEREON.</p> <p>4. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE VALIDITY OF THE SURVEY OR RECORD HEREON.</p> <p>5. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE SUFFICIENCY OF THE SURVEY OR RECORD HEREON.</p>	<p>BERKS COUNTY PLANNING COMMISSION</p> <p>1. THESE PLANS AND THE SURVEY AND RECORD HEREON ARE THE PROPERTY OF THE CITY OF ATLANTA AND ARE LOANED TO YOU FOR YOUR INFORMATION AND USE ONLY. THEY ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.</p> <p>2. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR RECORD HEREON.</p> <p>3. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE LEGALITY OF THE SURVEY OR RECORD HEREON.</p> <p>4. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE VALIDITY OF THE SURVEY OR RECORD HEREON.</p> <p>5. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE SUFFICIENCY OF THE SURVEY OR RECORD HEREON.</p>	<p>RECOMMENDATION BOARD OF SUPERVISORS</p> <p>1. THESE PLANS AND THE SURVEY AND RECORD HEREON ARE THE PROPERTY OF THE CITY OF ATLANTA AND ARE LOANED TO YOU FOR YOUR INFORMATION AND USE ONLY. THEY ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.</p> <p>2. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR RECORD HEREON.</p> <p>3. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE LEGALITY OF THE SURVEY OR RECORD HEREON.</p> <p>4. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE VALIDITY OF THE SURVEY OR RECORD HEREON.</p> <p>5. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE SUFFICIENCY OF THE SURVEY OR RECORD HEREON.</p>	<p>RECOMMENDATION BOARD OF SUPERVISORS</p> <p>1. THESE PLANS AND THE SURVEY AND RECORD HEREON ARE THE PROPERTY OF THE CITY OF ATLANTA AND ARE LOANED TO YOU FOR YOUR INFORMATION AND USE ONLY. THEY ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.</p> <p>2. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR RECORD HEREON.</p> <p>3. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE LEGALITY OF THE SURVEY OR RECORD HEREON.</p> <p>4. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE VALIDITY OF THE SURVEY OR RECORD HEREON.</p> <p>5. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE SUFFICIENCY OF THE SURVEY OR RECORD HEREON.</p>
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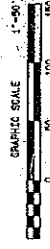




POOR ORIGINAL

<p>RECORDING INFORMATION</p> <p>FILE NO. 18-00-07</p> <p>DATE 12/15/09</p> <p>TIME 10:00 AM</p>	<p>RECORDING INFORMATION</p> <p>FILE NO. 18-00-07</p> <p>DATE 12/15/09</p> <p>TIME 10:00 AM</p>	<p>RECORDING INFORMATION</p> <p>FILE NO. 18-00-07</p> <p>DATE 12/15/09</p> <p>TIME 10:00 AM</p>	<p>RECORDING INFORMATION</p> <p>FILE NO. 18-00-07</p> <p>DATE 12/15/09</p> <p>TIME 10:00 AM</p>	<p>RECORDING INFORMATION</p> <p>FILE NO. 18-00-07</p> <p>DATE 12/15/09</p> <p>TIME 10:00 AM</p>	<p>RECORDING INFORMATION</p> <p>FILE NO. 18-00-07</p> <p>DATE 12/15/09</p> <p>TIME 10:00 AM</p>
<p>CERTIFICATE OF ACCURACY</p> <p>I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREIN IS A TRUE AND CORRECT COPY OF THE ORIGINAL RECORDING AND THAT THE SAME HAS BEEN RECORDED IN THE PUBLIC RECORDS OF BERKS COUNTY, PENNSYLVANIA, IN ACCORDANCE WITH THE REQUIREMENTS OF ACT 31, P.S. 121.01.</p> <p><i>[Signature]</i> Surveyor</p>					
<p>CERTIFICATE OF OWNERSHIP</p> <p>COMMONWEALTH OF PENNSYLVANIA COUNTY OF BERKS PHASE 1 & 2 HILLSIDE SUBDIVISION</p> <p><i>[Signature]</i> Recorder</p>					
<p>BERKS COUNTY PLANNING COMMISSION</p> <p>THE BERKS COUNTY PLANNING COMMISSION HAS REVIEWED THIS PLAN AND HAS APPROVED IT FOR RECORDATION IN THE PUBLIC RECORDS OF BERKS COUNTY, PENNSYLVANIA, IN ACCORDANCE WITH THE REQUIREMENTS OF ACT 31, P.S. 121.01.</p> <p><i>[Signature]</i> Chairman</p>					
<p>RECORDING INFORMATION</p> <p>FILE NO. 18-00-07</p> <p>DATE 12/15/09</p> <p>TIME 10:00 AM</p>					
<p>RECORDING INFORMATION</p> <p>FILE NO. 18-00-07</p> <p>DATE 12/15/09</p> <p>TIME 10:00 AM</p>					

POOR ORIGINAL



NO. 1		DATE	DESCRIPTION
NO. 2		DATE	DESCRIPTION
NO. 3		DATE	DESCRIPTION
NO. 4		DATE	DESCRIPTION
NO. 5		DATE	DESCRIPTION
NO. 6		DATE	DESCRIPTION
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NO. 99		DATE	DESCRIPTION
NO. 100		DATE	DESCRIPTION

FINAL PLAN

SUBDIVISION PLAN

GOLDEN OAKS

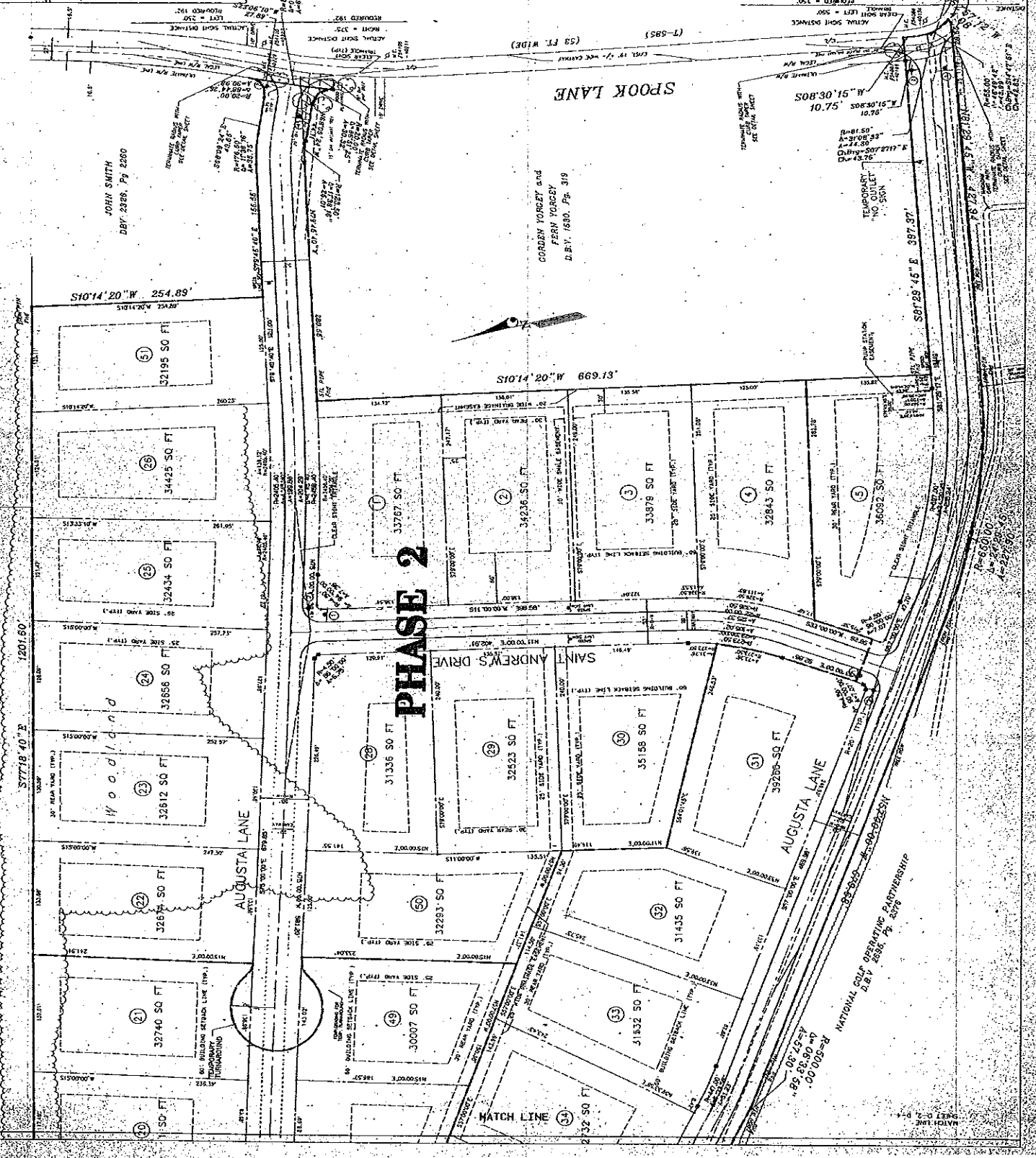
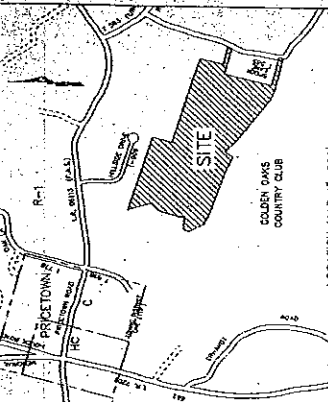


PROJECT NO.	ES-028A-D2
DATE	10/1/00
SCALE	AS SHOWN
SHEET NO.	1 OF 1
TITLE	FINAL PLAN

LEGEND

- MONUMENT TO BE SET
- SANITARY MANHOLE
- STORM MANHOLE
- 2" x 4" INLET
- 8" W/ SECTION
- WATER VALVE
- STOP SIGN
- STREET SIGN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED POP
- PROPOSED 6" PVC. 8" DIPS
- PROPOSED FORCE MAIN
- PROPOSED 12" WATER MAIN
- PROPOSED 18" WATER MAIN
- MIL. MERS. & LOT CORNER
- FENCE LINE
- PHASE LINE
- WATER MAIN FLUSHING PVD.

LOCATION MAP 1"=800'



PHASE 2

JOHN SMITH
DBY 2828, Pg. 2880

GORDON YORCEY and
FERN YORCEY
D.B.Y. 1630, Pg. 319

TEMPORARY
"NO OUTLET"
DRAINAGE

SO 29° 45' E 397.37'
A=51,032.805
A=51,032.805

S 77° 18' 10" E 1201.50'

S 10° 14' 20" W 254.89'

S 10° 14' 20" W 669.13'

AUGUSTA LANE

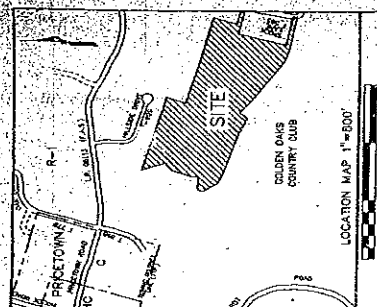
SAIN ANDREW'S DRIVE

SPOOK LANE

NATIONAL GOLF OPERATING PARTNERSHIP
D.B.Y. 2650, Pg. 2078

R-5000 00'
A=68,333.86"
A=57,780'

MATCH LINE

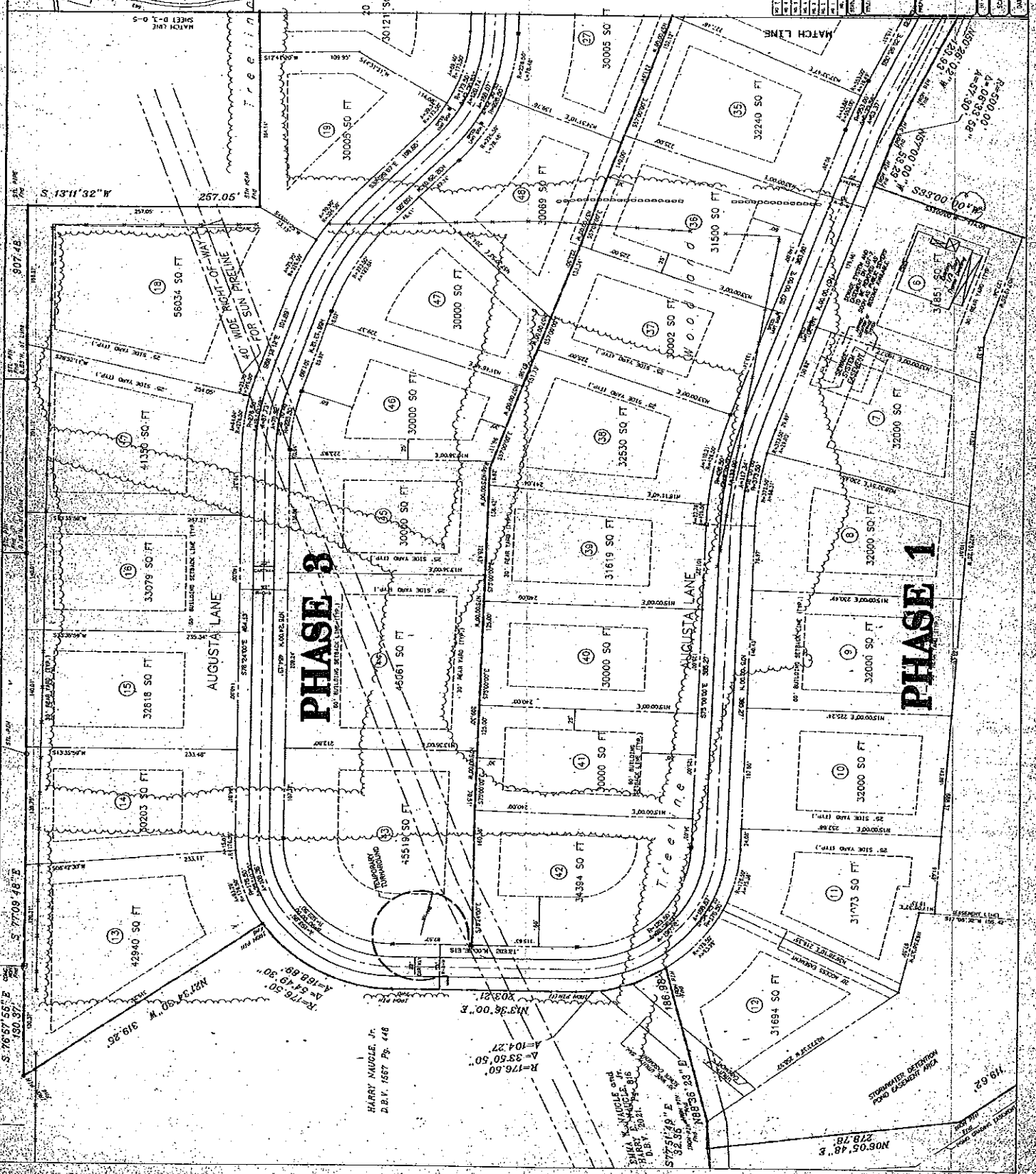


- LEGEND**
- MONUMENT (TO BE SET)
 - SANITARY MANHOLE
 - STOP MANHOLE
 - 2"x4" INLET
 - END SECTION
 - WATER VALVE
 - STOP SIGN
 - STREET SIGN
 - AS EXISTING CONTOUR
 - 500 PROPOSED CONTOUR
 - PROPOSED 6" PVC, 8" P335
 - PROPOSED 8" PVC, 8" P335
 - PROPOSED FORCE MAIN
 - PROPOSED SERVICE LATERAL
 - PROPOSED WATER LINE
 - M.T., I.M.P.S., 9" LOT CORNER
 - FENCE LINE
 - PHASE LINE
 - WATER MAIN FLUSHING IN/OUT

POOR ORIGINAL



FINAL PLAN	
SUBMISSION PLAN	
GOLDEN OAKS	
RUSSELLMAN TOWNSHIP, SEBASTIAN COUNTY, MISSOURI	
DATE	11/7/20
SCALE	1"=40'
DRAWN BY	AM
CHECKED BY	JRW
DATE	11/7/20
1808 S. 13th Street, Joplin, MO 64501	
WILLO	
PROJECT NO.	2550284-10



HARRY NAUCLIE, Jr.
D.B.V. 1557 Pg. 448

R=176.60
A=104.27

HARRY NAUCLIE, Jr.
D.B.V. 1557 Pg. 448

N05°05'48"E
278.78'

STORMWATER DETENTION
FOR CASHBURN AREA

2550284-10

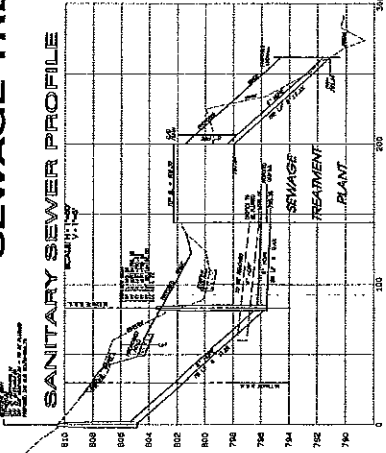
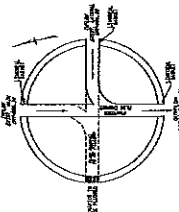
SEWAGE TREATMENT PLANT SUBDIVISION PLAN

RUSCOMBMANOR TOWNSHIP

FINAL PLAN



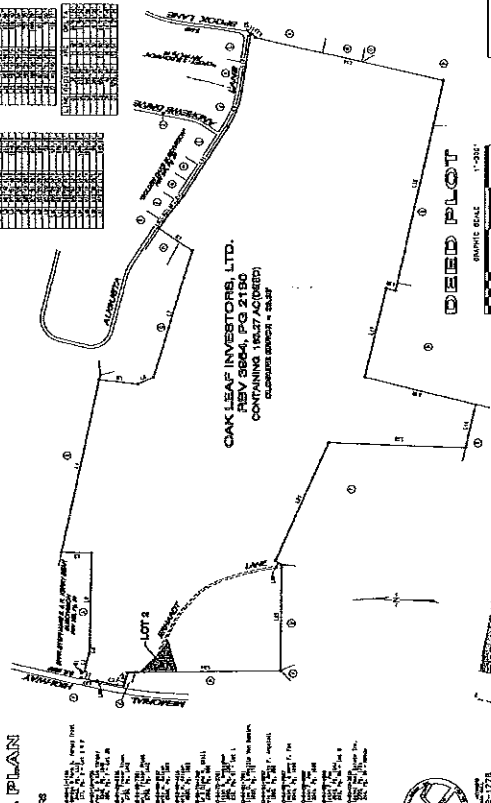
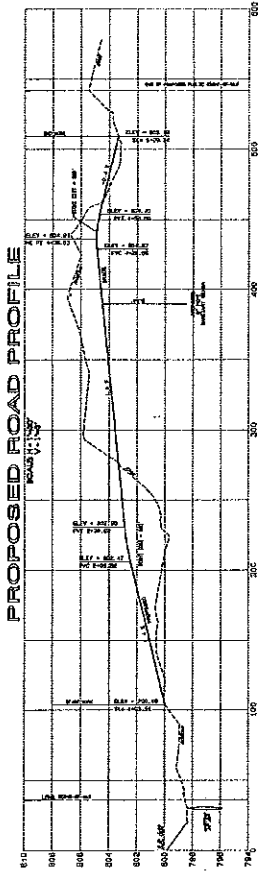
EXISTING SMHW FLOW CHANNEL REFURBISHING DETAIL



PROPOSED STONE ROAD CROSS SECTION (8 FT. CROWN & 6 FT. TOTAL ROAD)

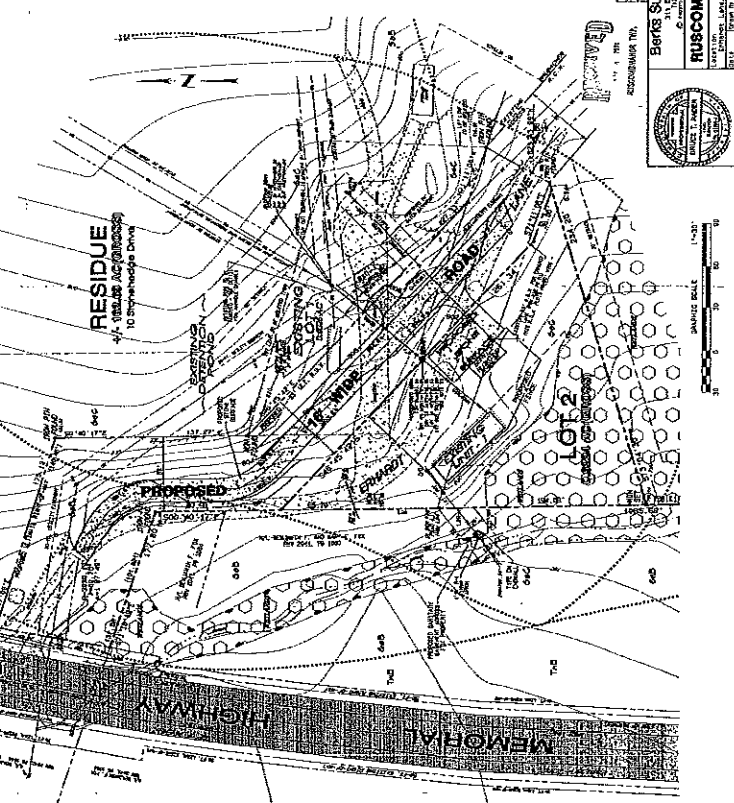


STONE DRIVEWAY CROSS SECTION (6 FT. CROWN & 6 FT. TOTAL ROAD)



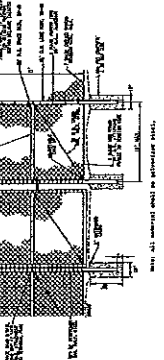
Lot No.	Area (Sq. Ft.)	Area (Acres)
1	10,000	0.23
2	10,000	0.23
3	10,000	0.23
4	10,000	0.23
5	10,000	0.23

Soil Type	Area (Sq. Ft.)	Area (Acres)
1	10,000	0.23
2	10,000	0.23
3	10,000	0.23
4	10,000	0.23



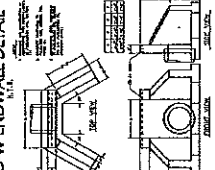
NOTES

- The sewer system shown on this plan is proposed as shown and as detailed on the drawings.
- The sewer system shown on this plan is proposed as shown and as detailed on the drawings.
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- The sewer system shown on this plan is proposed as shown and as detailed on the drawings.



PROPOSED CHAIN LINK AND GATE DETAIL

D-W ENDWALL DETAIL



PROPOSED SMHW FLOW CHANNEL DETAIL



WAVIVER REQUESTS

CERTIFICATION OF ACCURACY

OWNERS/DEVELOPERS

DATE



BAKERS SERVICE & ENGINEERING, INC.
Professional Engineers
6271 N. State St., Suite 100
Bakersfield, CA 93309
(805) 833-8383
www.bakersengineers.com

RUSCOMBMANOR SEWAGE PLANT

DATE: 11/15/10
SCALE: 1" = 100'