

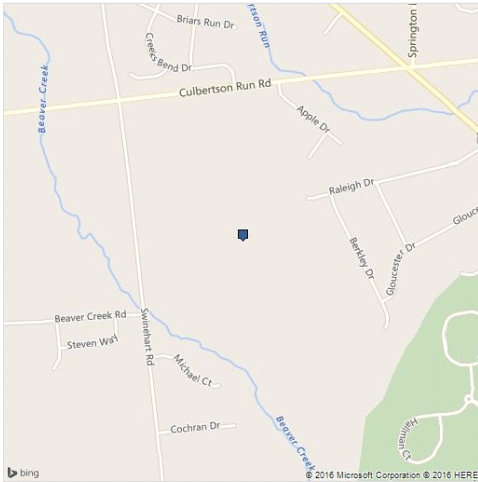
Parcel 360 Property View

160 Culbertson Run Rd, Downingtown, PA 19335 1133

West Brandywine Twp

Tax ID 29-04 -0179

Public Records



Summary Information

Owner:	Longview Swinehart Lp	Property Class:	Vacant
Owner Address:	1055 Westlakes Dr Apt 170	Annual Tax:	\$2,639
Owner City State:	Berwyn Pa	Record Date:	06/02/11
Owner Zip+4:	19312-2420	Settle Date:	05/31/11
Owner Carrier Rt:	C029	Sale Amount:	\$1,625,000

Geographic Information

County:	Chester	Lot:	0179
Municipality:	West Brandywine Twp	Census:	3052.002
High Sch Dist:	Coatesville Area	Annex:	
Tax ID:	29-04 -0179	Qual Code:	
Tax Map:	04		

Assessment & Tax Information

Tax Year:	2016	Annual Tax:	\$2,639	Total Land Asmt:	\$608,860
County Tax:	\$275	Taxable Land Asmt:	\$66,080	Total Asmt:	\$608,860
Municipal Tax:	\$153			Taxable Total Asmt:	\$66,080
School Tax:	\$2,211			Act 319/515:	Yes

Lot Characteristics

Sq Ft:	5,671,512	Zoning:	R2
Acres:	130.20	Traffic:	Light
Roads:	Paved	County Location:	Neighborhood/S
Topography:	Level		

Building Characteristics

Gas:	None
Water:	None
Sewer:	None

Codes & Descriptions

Land Use: V10 Vac: Land Residential
 County Legal Desc: 130.2 AC

MLS History

MLS Number	Category	Status	Status Date	Price
6582464	LOT	Active	05/28/15	\$6,000,000

Tax History

Year	Annual Tax Amounts			Annual	Annual Assessment		
	County	Municipal	School		Land	Building	Ttl Taxable Total Land Total Bldg Total Asmt

2016	\$275	\$153	\$2,211	\$2,639	█\$66,080	\$66,080	\$608,860	\$608,860
2015	\$275	\$153	\$2,166	\$2,593	█\$66,080	\$66,080	\$608,860	\$608,860
2014	\$275	\$71	\$2,115	\$2,461	█\$66,080	\$66,080	\$608,860	\$608,860
2013	\$275	\$71	\$2,061	\$2,408	█\$66,080	\$66,080	\$608,860	\$608,860
2012	\$262	\$71	\$1,990	\$2,323	█\$66,080	\$66,080	\$608,860	\$608,860
2011	\$262	\$86	\$1,949	\$2,297	█\$66,080	\$66,080	\$608,860	\$608,860
2010	\$262	\$71	\$1,883	\$2,216	█\$66,080	\$66,080	\$608,860	\$608,860
2009	\$262	\$71	\$1,817	\$2,151	█\$66,080	\$66,080	\$608,860	\$608,860
2008	\$251	\$71	\$1,751	\$2,074	█\$66,080	\$66,080	\$608,860	\$608,860
2007	\$251	\$57	\$1,698	\$2,007	█\$66,080	\$66,080	\$608,860	\$608,860
2006	\$213	\$49	\$1,477	\$1,739	█\$57,480	\$57,480	\$608,860	\$608,860
2005	\$205	\$49	\$1,578	\$1,832	█\$57,480	\$57,480	\$608,860	\$608,860
2004	\$208	\$52	\$1,702	\$1,963	█\$60,910	\$60,910	\$608,860	\$608,860
2003	\$199	\$52	\$1,550	\$1,802	█\$60,910	\$60,910	\$608,860	\$608,860

Sale & Mortgage

Record Date: 06/02/2011 Book: 8186
 Settle Date: 05/31/2011 Page: 2290
 Sales Amt: \$1,625,000 Doc Num: 11102127
 Sale Remarks:
 Owner Names:Longview Swinehart Lp

Record Date: 07/08/2010 Book: 7948
 Settle Date: 06/11/2010 Page: 348
 Sales Amt: Doc Num: 11024035
 Sale Remarks:Blanket Deed, Nominal
 Owner Names:CHOPTANK INVESTMENT PTRS
 LPBENTLEY AT KINTERRA ASSOCS LP

Mort Rec Date:07/08/2010 Lender Name:WELLS FARGO BK NA
 Mort Date: 06/11/2010 Term: 0
 Mort Amt: \$65,000,000 Due Date:
 Remarks: Blanket Mortgage, Conv, Home Equity Loan

Record Date: 09/16/2005 Book: 6621
 Settle Date: 09/13/2005 Page: 155
 Sales Amt: \$2,860,000 Doc Num: 575526
 Sale Remarks:
 Owner Names:Swinehart Investment

Record Date: 09/01/1981 Book: W58
 Settle Date: Page: 189
 Sales Amt: Doc Num:
 Sale Remarks:
 Owner Names:BALDERSTON FAMILY LTD

Mort Rec Date:04/29/1996 Lender Name:DOWNINGTOWN NATL BK
 Mort Date: Term: 0
 Mort Amt: \$100,000 Due Date:
 Remarks: Conv

Mort Rec Date:08/30/1991 Lender Name:DOWNINGTOWN NATL BK
 Mort Date: Term: 0
 Mort Amt: \$20,000 Due Date:
 Remarks: Conv

Mort Rec Date:06/25/1991 Lender Name:DOWNINGTOWN NATL BK
 Mort Date: Term: 0
 Mort Amt: \$80,000 Due Date:
 Remarks: Conv

Flood Report

Flood Zone in Center of Parcel: **X**
 Flood Code Desc:
 Flood Zone Panel:
 SFHA Definition:
 Within 250 feet of multiple flood zone:

Zone X-An area that is determined to be outside the 100- and 500-year floodplains.
42029C0140F Panel Date: **09/29/2006**
Out Special Flood Hazard Area (SFHA): **Out**

Most Recent Listing

Swinehart Rd, West Brandywine, PA 19343 Lots/Land/Farms Active \$6,000,000



Price / Acre: \$46,082.95
 Aprox Acres / Lot SqFt: 130.20 / 5,671,512
 Lot Dimensions: 00x00
 MLS #: 6582464
 Tax ID #: 29-04-0179.0000
 Ownership: Fee Simple
 Lease in Effect:
 Land Type: Unimproved Ground
 Farm Type:
 Land Use / Zoning: R4
 Waterfront: No
 Subdivision:

Location

County: Chester
 MLS Area: West Brandywine Twp (10329)
 Subdiv / Neigh: Culbertson Run
 School District: [Coatesville](#)

Additional Information

Structures:
 Farmhouse:
 Farmhouse Age:
 Rooms:

Tax Information

Taxes / Year: \$2,426 / 2014
 Assessment: \$66,080
 Block / Lot: - /
 Land Assessment:

Condo/HOA Association

Condo / HOA: No / No
 Recurring Fee:
 One-Time Fee:
 Adult 55+/62+ Community:

Features

Utilities: Public Water, Public Sewer

Remarks

Public: The Brandywines - 113 fully approved individual lots, partially improved with regional sewer trunk line on site. 70 acres to be kept as green open space. Typical lot is 0.4 acres.

Agent: 54 prepaid sewer EDUs are included (valued at \$324,701), all additional EDUs may be purchased at fixed rate of \$1,818 per EDU (savings of \$4,195 per EDU or \$247,505 total). Attractive seller financing and/or take-down schedule available.

Showing

Appointment Phone:
 Cross Street: Culbertson Run Map Grid:
 Directions: West Brandywine Township, Chester County, PA. Convenient location just off Route 322, one mile from Pulte's Applecross Country Club community.

Listing Office

Listing Agent: [James Weiss \(Lic#RM062936A\)](#)
 (610) 902-3050
 Listing Office: [Longview Management LP](#) (422RLTY)
 1055 Westlake Dr., Ste. 170, Berwyn, PA 19312
 Office Phone: (610) 902-3050 Office Fax: (610) 902-3054

Compensation

Buyer Broker: 2% Transaction Broker:
 Dual/Var Comm: No

Listing Information

Original Price: \$6,000,000 PMP: 477
 List Contract Date: 05/28/2015 DOM: 477

Last Modified: 07/22/2016
 Off Market Date:
 List Expire Date:
 Agreement Type: ER
 Earliest Possession:

Short Sale/REO: NO/NO
 Broker Interest: Yes
 Sign: Yes
 Prospects Excluded: No
 Owner: Longview Swinehart LP

History

Swinehart Rd, West Brandywine, PA 19343

**West Brandywine Twp
(10329)**

Property History

Source	Category	Status	Date	Price	Owner
Public Records		Settle Date	05/31/2011	\$1,625,000	Longview Swinehart Lp
Public Records		Settle Date	06/11/2010	\$	CHOPTANK INVESTMENT PTRS LPBENTLEY AT KINTERRA ASSOCS L
Public Records		Settle Date	09/13/2005	\$2,860,000	Swinehart Investment
Public Records		Record Date	09/01/1981	\$	BALDERSTON FAMILY LTD

MLS History Details

MLS#	Category	Status	Status Date	Revision Date	Listing Office	Price	DOM
6582464	LOT	Extended	07/22/2016	07/22/2016	Longview Management LP	\$6,000,000	477
	LOT	Extended	07/20/2015	07/20/2015		\$6,000,000	
	LOT	New Listing	05/28/2015	05/28/2015		\$6,000,000	

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