



- ALL EXISTING UTILITIES SHOWN ARE FROM FIELD LOCATIONS OR TAPED FROM PLANS AND NOT BE DEEMED CORRECT TO ANY CONSTRUCTION. IN ACCORDANCE WITH ACT 54 (11-800-940-1788), SERIAL NUMBER 0000396
- ALL ROADS AND ALLEYS SHALL BE OFFERED TO THE BOROUGH OF WEST READING FOR ACQUISITION.
- ALL LOT CORNERS TO BE SET WITH STEEL PINS UPON COMPLETION OF FINAL GRADING OF ROAD FRONT OF WAY.
- NO STRUCTURE SHALL BE ERECTED IN ANY EASEMENT.
- SOLID WASTE STORAGE SHALL BE THE RESPONSIBILITY OF INDIVIDUAL LOT OWNER. IN ACCORDANCE WITH THE SUBDIVISION LOT CORNERS SHALL BE REQUIRED TO PARTICIPATE IN THE BOROUGH'S CURRENT MUNICIPAL WASTE COLLECTION PROGRAM.
- SHEET 1 IS INTENDED TO BE RECORDED.
- ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH PART 5 OF THE WEST READING BOROUGH ZONING ORDINANCE.
- NO VISION OBSTRUCTING OBJECT SHALL BE PERMITTED WITHIN THE CLEAR-SIGHT TRIANGLE FROM THE INTERSECTION POINT FROM THE ROAD FRONT OF WAY. THE CLEAR-SIGHT TRIANGLE SHALL BE 100 FEET MEASURED FROM THE CENTER LINE GRADE OF INTERSECTING STREETS.
- THE PROPOSED MUNICIPAL IMPROVEMENTS SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE BOROUGH OF WEST READING LATEST STANDARDS.
- PROPOSED CHILDLIBS WILL BE SERVED BY PUBLIC SANITARY SEWER AND PUBLIC WATER. PROPOSED SANITARY SEWER TO BE CONNECTED TO THE BOROUGH OF WEST READING.
- THE COLLECTION SYSTEM FOR THE PUBLIC-SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BOROUGH OF WEST READING AND THE JOINT MUNICIPAL AUTHORITY OF WESTPHALIA VALLEY AUTHORITY PUBLIC UTILITIES AND SEWER SYSTEMS AND ALL PROCESSING OF SEWER ISSUES SHALL BE IN ACCORDANCE WITH THE SAME.
- THE PROPOSED SANITARY SEWER SHALL BE INSTALLED AS SHOWN IN ACCORDANCE WITH THE BOROUGH OF WEST READING AND THE AMERICAN WATER WORKS ASSOCIATION PRACTICE MANUAL. PROPOSED SANITARY SEWER AND PROCESSING OF WASTEWATER SHALL BE IN ACCORDANCE WITH THE SAME.
- A MINIMUM OF 6" HORIZONTAL CLEARANCE, WHEN POSSIBLE, SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS.
- A MINIMUM OF 4" HORIZONTAL CLEARANCE BETWEEN WATER MAINS AND STORM SEWERS SHALL BE PROVIDED.
- A MINIMUM OF 8" VERTICAL CLEARANCE BETWEEN WATER MAINS AND STORM AND SANITARY SEWERS SHALL BE PROVIDED.
- BEFORE ANY CONSTRUCTION COMMENCES THE CONTRACTOR SHALL LOCATE AND VERIFY EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. DISCREPANCIES BETWEEN FIELD SURVEY AND THE AS-BUILT DRAWINGS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY UTILITIES DAMAGED.
- GRAVIMETER READINGS HAVE BEEN OBTAINED FOR ALL STORMWATER MANAGEMENT FACILITIES WHICH DO NOT FALL WITHIN THE ROAD RIGHTS-OF-WAY.
- CONTRACTOR SHALL BE REQUIRED TO OBTAIN THE NECESSARY PERMITS FROM THE BOROUGH OF WEST READING BEFORE COMMENCING WITH CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE AS ADOPTED BY THE MUNICIPALITY.
- A MINIMUM OF TWO OFF-STREET PARKING SPACES SHALL BE PROVIDED FOR EACH RESIDENTIAL LOT BY WAY OF THE PROPOSED DRIVE AND/OR DRIVEWAY.
- NO ON-STREET PARKING SHALL BE PERMITTED IN THE ALLEYS.
- NO EXISTING UTILITIES SHALL BE SUBJECT TO AN EROSION AND SEDIMENTATION CONTROL PLAN AS APPROVED BY THE BERKS COUNTY ENVIRONMENTAL DEPARTMENT. THE PLAN SHALL BE SUBMITTED TO THE BERKS COUNTY PLANNING COMMISSION AND APPROVED BY THE BERKS COUNTY ENGINEER.
- THE POSTED SPEED LIMIT SHALL BE 25 MPH.
- STREET TREES LOCATED IN THE SUBDIVISION SHALL BE MAINTAINED AT THE DEVELOPER'S RISK AND WILL BE REPLACED BY THE DEVELOPER IF FOUND TO BE DEFECTIVE OR DAMAGED. THE REPLACEMENT SHALL BE INSTALLED WITHIN 90 DAYS OF THE COMMENCEMENT OF CONSTRUCTION. THE REPLACEMENT SHALL BE RESTRICTED FROM REMOVING THESE TREES.
- PROPOSED IMPROVEMENTS AND MAINTENANCE SHALL BE PROVIDED IN ACCORDANCE WITH THE BOROUGH OF WEST READING ZONING AND LAND DEVELOPMENT ORDINANCE SECTION 205-100. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ALL EXISTING UTILITIES DAMAGED BY THE CONSTRUCTION.
- THE EXISTING SANITARY MAINS IN TULPACHOEN AVENUE AT THE PROPOSED TIE-INS SHALL BE RELOCATED AND EXTENDED AS SHOWN.
- CURB RADIUS AND CURB WITHIN 20' OF CURB RADIUS AT INTERSECTIONS TO BE PAINTED YELLOW.
- THE EXISTING SIGNAL MAINS TULPACHOEN AVENUE BETWEEN ELM STREET AND WALNUT STREET SHALL BE RELOCATED.
- FOUR ADDITIONAL TIE-INS ARE TO BE PROVIDED WITHIN THE OPEN SPACE LOCATION TO BE DETERMINED AT THE TIME OF CONSTRUCTION.
- THE REQUIRED WATER AND SEWER CAPACITY WILL BE PURCHASED AT THE TIME OF BUILDING PERMIT APPLICATION.
- WATER-TYPE GRATES ARE TO BE PROVIDED BY INLETS C&L C&L 0250 AND 0251.
- INLETS LOCATED IN SERVICE STREETS ARE TO BE PROVIDED WITH A TWO INCH 3/8" OF TOP OF THE GRATE.
- THE STORM SEWER MAINS BEING OBTAINED WITH ADEQUATE CAPACITY TO ALLOW FOR THE CONNECTION OF THE COMBUSTORS FROM THE MIDDLE SIDE OF THE ADDITIONAL APARTMENT BUILDING TO THE STORM SEWER AT INLETS C&L 0250 AND 0251.

LOT #	AREA (SQ FT)
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2	1,234
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2006011509

Ellie Antoine  
Recorder of Deeds

County of Berks  
County Service Center  
Reading, PA 19601  
610-478-3380  
Customer Receipt

Receipt Number: 84341  
Operator ID: DSYLVESTER  
Station ID: CASHIER4  
Submitter Name:  
THE BELOVICH GROUP INC

PLANS 24 X 36

PLANS BK00302-PG0291 2006011509

Pages: 2

Recorded: 02/06/2006 03:09:36 PM:1

Recording Fee	\$30.00
Recording Page Fee	\$1.00
No of Pages 2	\$0.00
ROD Improvement Fund	\$5.00
CERTIFICATION (5)	\$7.50

Total: \$43.50

Check #6084



RECORDED IN BERKS CO. PA

*Ellie Antoine*  
RECORDER OF DEEDS

PLN BK00302-PG0292  
2006011509 02/06/2006 03:09:36 PM:1  
BERKS COUNTY ROD

PLANS 24 X 36  
PAGE: 2 of 2





County of Berks  
Planning Commission

(610) 478-6300  
FAX: (610) 478-6316

Berks County Services Center  
633 Court Street, 14<sup>th</sup> Floor  
Reading, PA 19601-4309

David L. Thun, Chairman  
James L. Mason, Vice-Chairman  
Joseph E. Williams, Secretary  
Ronald M. Ewing  
Frederick H. Gaige  
Lloyd W. Hopkins, Jr.  
Robert B. Ludgate, Jr.  
Harry S. Nelson  
Mark C. Scott

Glenn R. Knoblauch, Executive Director  
Heidi B. Masano, Asst. County Solicitor

July 14, 2005

Lorri K. Swan  
West Reading Borough  
500 Chestnut Street  
West Reading PA 19611-1291

Re: Narrow Fabrics  
File: 72-11325  
Plan #: 05-001-P00-P09, Dated 6/21/05  
Pin #: 5307-17-11-7251

Dear Ms. Swan,

The Berks County Planning Commission staff has reviewed the Preliminary Plan submitted for the above captioned subdivision. The tract is located along the western side of Tulpehocken Avenue between Elm Street and Walnut Street.

This plan is reviewed by the Berks County Planning Commission pursuant to Section 502 of the Pennsylvania Municipalities Planning Code. The Commission staff has not evaluated the plan for compliance with local ordinances, unless so noted. The municipality must ensure that the plan meets local zoning, subdivision and land development requirements, and any other regulations. The following comments are added for consideration.

A. Conformity of the Plan with the Berks County Comprehensive Plan:

The proposal is consistent with an Existing Development Area under the County's Vision 2020 Plan.

B. General Planning Comments:

1. The local sewer and water authorities should be contacted relative to public sewer and water distribution including fire protection.
2. A complete landscape plan including street trees and any outdoor lighting is recommended.

3. The plan should indicate specific improvements intended for the Civic Playground. The Borough should be sure open space and recreation is adequate for the proposal.
4. The staff agrees with the internal street design which provides two car on-lot garage parking for each unit with alley access and on street parking for Roads A, B and C.
5. The site design maximizes the number of dwelling units possible in an area desirable for higher density, more than adequate parking and a respectable amount of green space. Street tree plantings and landscaping of green space with good architectural design will result in a fine development within the Borough.

C. Standard Planning Comments (refer to attachment):

The Berks County Planning Commission will review any additional submission of this plan at the request of the municipality. After municipal approval of the plan for recording, a minimum of five (5) prints should be delivered to the Berks County Planning Commission for signature. One copy is retained by this office, one copy for the Mapping Office and one copy for the Recorder of Deeds. The remaining copies are for the municipality and the subdivider or developer. The Berks County Recorder of Deeds Office should be contacted at (610) 478-3380 relative to any questions regarding recording requirements. The applicant has 90 days to record the plan after the governing body approves the plan at a public meeting.

PennDEP should consider this review as the Berks County Planning Commission's review of the Planning Module required under Act 537. Those persons responsible for preparing the Planning Module submission for PennDEP should include a copy of this review with the module submission. Municipalities are advised that subdivision and/or land development plans must be consistent with a DEP-approved planning module or official plan revisions, or have been granted an exemption from planning by DEP prior to plan recording.

If there are any questions regarding this review, please contact me.

Very truly yours,



Jon A. Krueger  
Planner III

BERKS COUNTY PLANNING COMMISSION

Attachment  
JAK/mc

cc: West Reading Borough PC Sec.  
West Reading Engineer  
Metropolitan Development Group  
KGPTR I  
McCarthy Engineering Associates  
PennDEP



County of Berks  
Planning Commission

**C. Standard Planning Comments**

The following standard comments are in addition to Section B of the main subdivision and/or land development review done by the Berks County Planning Commission pursuant to Section 502 of the Pennsylvania Municipalities Planning Code. These comments must be given the same consideration as those comments made within the main body of the accompanying letter.

**Note: Many comments contained within the following sections pertain to regulating/permitting issues for subdivision and/or land development plans.**

**Plan Design:**

- The site involves steep slopes. The placement of structures and on-site septic systems should be restricted on slopes of 15% or greater. Construction should only be permitted on steep slopes where special designs by a registered engineer or architect are approved by the municipal engineer for dwellings and special sewage systems are approved by the municipal sewage enforcement officer.
- The Municipality should be sure that applicable Americans with Disabilities Act requirements are met.
- Items concerning solid waste generated by normal daily activities should be specified on plan. These should include location of storage area(s), screening type and frequency of pick-up.
- General Note \_\_\_\_ is not acceptable for a commercial land development. At a minimum the plan should contain detailed solid waste management information regarding the size and type of storage, as well as the location and screening of the storage area.
- The plan should contain complete erosion and sediment control provisions.
- If a freestanding sign is to be associated with the proposed commercial use, the plan should provide its location and details.
- The applicant and the municipality should be in the process of working out the details of site improvements, *after Preliminary plan approval.*
- The specifications for all proposed lighting should be shown on the plan including the candlefoot dispersion throughout the site as well onto neighboring properties/dwellings and roadways. Proper lighting fixtures should be selected and shielded in such a way that maximizes the lighting effectiveness and minimizes nuisance factors for neighboring establishments and/or residences.
- The Berks County Conservation District should approve the erosion and sediment control plan prior to final plan approval.
- Landscaping and tree plantings are recommended where possible to reduce stormwater runoff, promote groundwater recharge and add aesthetics to the site.
- The municipal engineer should review the plan to be sure that all driveways and/or intersections are safely designed as per municipal regulations with adequate sight distances.

Reviewed by: JAK Date reviewed: 7/13/05

**Miscellaneous:**

- A complete Source of Title with grantor/grantee information accompanied by corresponding deed book volumes and page numbers is preferred for recording purposes. For clarification, please contact the Berks County Recorder of Deeds office at (610) 478-3380.
- The plan notes that <sup>waivers</sup> have <sup>been</sup> requested. Staff suggests that the final plan provide the meeting date at which the ~~waivers~~ <sup>was</sup> ~~were~~ granted.
- According to our assessment information, this property has been enrolled in the Clean & Green Program since \_\_\_\_\_. We recommend that the owner contact the Berks County Assessment Office (610) 478-6262 for clarification of the Clean & Green requirements for the proposed subdivision.
- The Plan should contain a statement of ownership, a construction responsibility note, and maintenance agreements for all proposed shared open space and infrastructure (i.e.- streets, stormwater system, recreation area). The plan notes should also provide a maintenance schedule for above listed feature(s).
- The plan should provide a blank box measuring 3.5" x 6" for the Berks County Planning Commission's review stamp in lieu of the box/statement provided.
- A blank space measuring three (3) inches square should be left along the lower edge of the sheet, in order that the Recorder of Deeds office may acknowledge receipt and recording of the plan.
- The Municipality should be sure that percolation/probe results for the proposed building lots are acceptable prior to plan approval.
- Deed book volume and page number should be provided for the following right-of-way(s) or easement(s) located within the site:
  - \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
- The appropriate electric and telephone companies should be contacted regarding service for the proposed development.
- All proposed dedications should be stated within plan notes.
- The local fire official(s) and EMS should review the plan relative to fire protection issues.

County Referral - Land Subdivision & Land Development Review Application

RECEIVED

JUN 22 2005

TO: Berks County Planning Commission, Berks County Services Center, 633 Court Street, 14th Floor, Reading, PA 19601 Tel: 610 478-6300 FAX: 610 478-6316

SUBJ: Request for review of a subdivision or land development proposal pursuant to the Pennsylvania Municipalities Planning Code, Act 247 of 1968, as amended. This application must be completed by the applicant or his agent and submitted by the municipality along with the required number of plans and the required fee (see fee schedule).

\*\*\*\*\* (To be completed by the Municipality) \*\*\*\*\*

FROM: Municipality BOROUGH OF WEST READING Date June 22, 2005
Municipal Official's Name Lorri K. SWAN Position Borough Manager
Name of Proposal NARROW FABRICS

(Check appropriate level of Submission)

Type of Plan: Sketch Plan, Sketch Plan for Record, X Preliminary, Final, Revision to Plan of Record
Type of Submission: X New Proposal, Revision to a Prior Proposal, Phase or Section of a Prior Proposal

(Check Act 167 Watershed/site location)

X Schuylkill River, Little Schuylkill River, Maiden Creek, Sacony Creek (Act 167 Plan Adopted), Little Lehigh Creek (Adopted Plan), Manatawny Creek, Perkiomen Creek, Swamp Creek (Plan in progress), French Creek, Conestoga Creek, Tulpehocken Creek (Plan in Progress), Cocalico Creek (Plan progress), Swatara Creek

\*\*\*\*\* (To be completed by the Applicant) \*\*\*\*\*

Applicant/Equitable Owner METROPOLITAN DEVELOPMENT GROUP Telephone 610-288-7700

Address 438 WALNUT STREET, READING PA 19601

Record Owner KGPTR I Telephone

Address 438 WALNUT STREET, READING PA 19601

Engineer or Surveyor MCCARTHY ENGINEERING ASSOCIATES Telephone 610-373-8001

Address 1121 SNYDER ROAD, WEST LAWN PA 19609

Location of Proposal WESTERN SIDE OF TULPEHOCKEN AVE BETWEEN ELM STREET AND WALNUT STREET

Total Acreage 6.16 Area to be Subdivided 6.16 Disturbed Area for Development 6.16 (Non-Residential Land Development Only)

Description of intent of proposal [including land use(s)] 58 SINGLE FAMILY ATTACHED DWELLINGS

Type of Land Use Proposed: (No. of Lots or Units)

Residential: 58 Single-Family Attached, Semi-Detached, Townhouse, Apartment, Manufactured Home, Other (Explain)
Commercial: Industrial, Public, Agriculture, Other (Explain)
Misc.: Annex, Open Space/Rec., Residue

cc: Bow. Files Code Cons.

OVER



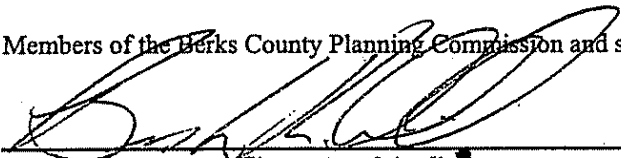
Linear Feet of New Streets Proposed for Dedication: 1,691

Linear Feet of New Streets Proposed for Private Use: 871

Water Supply:  Public  
 Community  
 On-lot

Sewage Disposal:  Public  
 Community  
 On-lot  
 Other (explain) \_\_\_\_\_

Members of the Berks County Planning Commission and staff are authorized to enter land for site inspection, if necessary.

  
Signature of Applicant

6/22/05  
Date

\*\*\*\*\*

BCPC USE ONLY

BCPC File No. 72 - Fee Paid <sup>OK VAC</sup> \$505.00 Check No. 20556 Dated Received 6/23/05

Submission Discrepancy(s)  No  Yes

Explain Any Discrepancy(s):  
\_\_\_\_\_  
\_\_\_\_\_

Date Discrepancy(s) Resolved: \_\_\_\_\_

RECEIVED  
JUN 23 2005  
BERKS COUNTY  
PLANNING COMMISSION

RECEIVED

JUN 22 2005

Section 805. Form - Application for Review of an Official Sketch or Preliminary Subdivision. Plan (Form S-1).

BOROUGH OF WEST READING

West Reading Planning Commission

Form S1: APPLICATION FOR REVIEW OF AN OFFICIAL SKETCH OR PRELIMINARY SUBDIVISION PLAN

The undersigned hereby applies for Review by the Planning Commission of the Borough of West Reading of the Official Sketch or Preliminary land subdivision plan submitted herewith and described below:

1. Name of subdivision: NARROW FABRICS

Municipality: BOROUGH OF WEST READING Plan dated: JUNE 21, 2005

2. Name of property owner(s): KOPTR I

Address: 438 WALNUT STREET  
READING, PA 19601 Phone No.: \_\_\_\_\_

3. Name of applicant: METROPOLITAN DEVELOPMENT GROUP  
(If other than owner)

Address: 438 WALNUT STREET  
READING, PA 19601 Phone No.: 610-288-7700

4. Applicant's interest is as: \_\_\_\_\_ Equitable owner  
X Agent or owner

5. Engineer or surveyor responsible for plan: MCCARTHY ENGINEERING ASSOCIATES

Address: 1121 SNYDER ROAD, WEST LAWN PA 19609  
Phone No.: 610-373-8001

6. Total acreage: 6.16 No. of lots: 58

7. Acreage of adjoining land in same ownership (if any): -

8. Type of lot use proposed: \_\_\_\_\_ Single Family \_\_\_\_\_ Commercial  
\_\_\_\_\_ Two Family \_\_\_\_\_ Industrial  
X Row \_\_\_\_\_ Other  
\_\_\_\_\_ Multi-Family

9. Zoning data, including all of the following which are applicable:

Is the municipality zoned YES Is a zoning change necessary No

Classification: RP Residential \_\_\_\_\_ Commercial \_\_\_\_\_ Industrial

Minimum lot area 2,000 sq. ft.

Minimum yard requirements 8' front 10' rear 10' side

(The following to be entered by the West Reading Planning Commission)

Location: \_\_\_\_\_

Accepted for Commission Review on: \_\_\_\_\_

Plan to be considered by Commission on: \_\_\_\_\_

Date Reviewed: \_\_\_\_\_ File No.: \_\_\_\_\_

cc: Boro. Files  
Code Compliance Officer  
ADON

BCDC

10. Will construction of building be undertaken immediately?   X   Yes        No
- By Whom:        Subdivider  
  X   Other developers  
       Purchasers of individual lots
11. Average selling price: \$        Of house and lot  
\$        Of lot only  
\$        Other
12. Type of water supply proposed:   X   Public (municipal) system  
       Semi-public (community) system  
       Individual on-site
13. Type of sanitary sewage disposal proposed:   X   Public (municipal) system  
         X   Live  
       Capped  
       Semi-public (community) system  
       Individual on-site (septic tank and tile field)
14. Type of off-street parking proposed:   X   Garages  
       Drives  
       Other  
       None
15. Are all streets proposed for dedication:        Yes   X   No
16. Acreage proposed for park or other public use:   0.34 ac.
17. Zoning changes, if any to be requested:
- 
18. Linear feet of new streets proposed:   2562'
19. Have plans been submitted to the municipality?   X   Yes        No
20. Have appropriate public utilities been consulted?        Yes   X   No

The undersigned represents that to the best of his knowledge and belief all the above statements are true, correct and complete.

The undersigned further represents that, except as otherwise specifically noted on the attached sheet, all proposed public improvements and facilities as shown on the Final subdivision plan are to be improved, constructed and completed, or a bond posted with the municipality in sufficient amount to cover full estimated cost of construction thereof, prior to sale, transfer to agreement of sale of any subdivision parcels as shown on the plan.

Date:   6/22/05  

Signature of Owner or Applicant

*[Handwritten Signature]*  
by:   Blair K. Kottmann

TEMPORARY GRADING EASEMENT

THIS INDENTURE, made the 20 day of June, 2005 BY AND BETWEEN NARROW FABRIC INDUSTRIES CORPORATION, of the one part (collectively, "Grantor"), and the KGPTR I, LP, of the other part (hereinafter "Grantee");

WITNESSETH, That the Grantor for and in consideration of the sum of One Dollar (\$1.00), lawful money of the United States of America and other valuable consideration, unto it paid at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, and by these presents does grant, bargain and sell unto the said Grantee, its heirs and assigns, the free and uninterrupted use, liberty and privilege of use, and in and along the premises described below for purposes of earth moving and grading for storm water management purposes on property owned by Grantor and more fully described on the attachment marked Exhibit "A" and made part hereof.

TOGETHER with free ingress, egress and regress to and for the limited purpose of such earth moving and grading to and for the said Grantee its heirs and assigns.

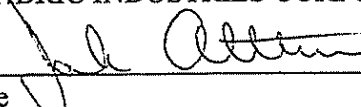
TO HAVE AND TO HOLD all and singular the privileges aforesaid to them, the said Grantee, its heirs and assigns, to and for the only proper use and behoof of it the said Grantee, its heirs and assigns until such grading has been completed, inspected and accepted.

SUBJECT, nevertheless, to the obligation of the Grantee to pave an area adjacent to the easement area as shown on Exhibit "A."

FURTHER, The Grantee, its successors and assigns, agrees to defend, indemnify and hold the Grantor, its heirs, personal representatives and assigns, harmless from and against any and all liabilities, costs and damages, including without limitation reasonable attorneys fees, that may be occasioned by the activities of the Grantee over and, in and through the easement area.

IN WITNESS WHEREOF, and intending to be legally bound, the said Grantor hereunto set their respective hands the day and year first above written.

NARROW FABRIC INDUSTRIES CORPORATION

  
\_\_\_\_\_  
John Althouse  
Director of Engineering and Corporate Planning

COMMONWEALTH OF PENNSYLVANIA:

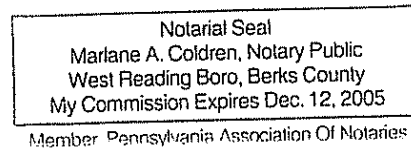
:SS.

COUNTY OF BERKS:

On this, the 20 day of June, 2005, before me, a Notary Public in and for the Commonwealth of Pennsylvania, the undersigned officer, personally appeared John Althouse, known to me (or satisfactorily proven) to be the Director of Engineering and Corporate Planning of Narrow Fabric Industries Corporation, and that he, as such officer acknowledged that he executed the above Easement for the purposes therein contained.

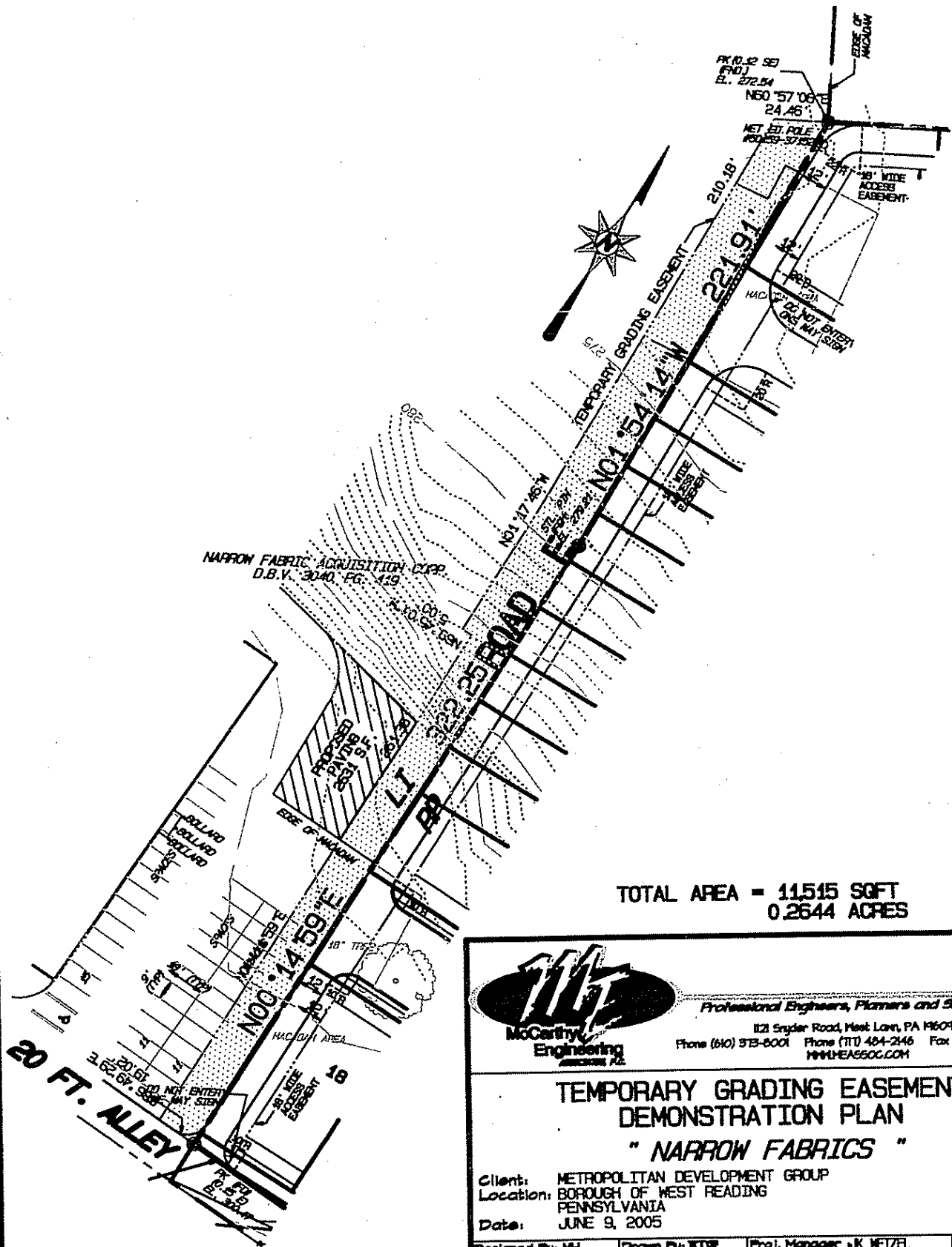
In Witness Whereof, I hereunto set my hand and official seal.

*Marlane A. Coldren*  
Notary Public



GRAPHIC SCALE

1" = 60'



TOTAL AREA = 11,515 SQFT  
0.2644 ACRES



Professional Engineers, Planners and Surveyors

112 Snyder Road, West Lawn, PA 19081  
Phone (610) 573-5001 Phone (717) 484-2146 Fax (610) 573-5007  
WWW.MEAS600.COM

TEMPORARY GRADING EASEMENT  
DEMONSTRATION PLAN  
" NARROW FABRICS "

Client: METROPOLITAN DEVELOPMENT GROUP  
Location: BOROUGH OF WEST READING  
PENNSYLVANIA  
Date: JUNE 9, 2005

Designed By: MH	Drawn By: JDS	Proj. Manager: J.K. WETZEL	Principal: J.D.
Scale: 1" = 60'	Plan No: 05-001-EASE-P00	Sheet: 1 OF 1	

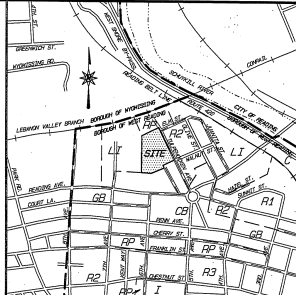
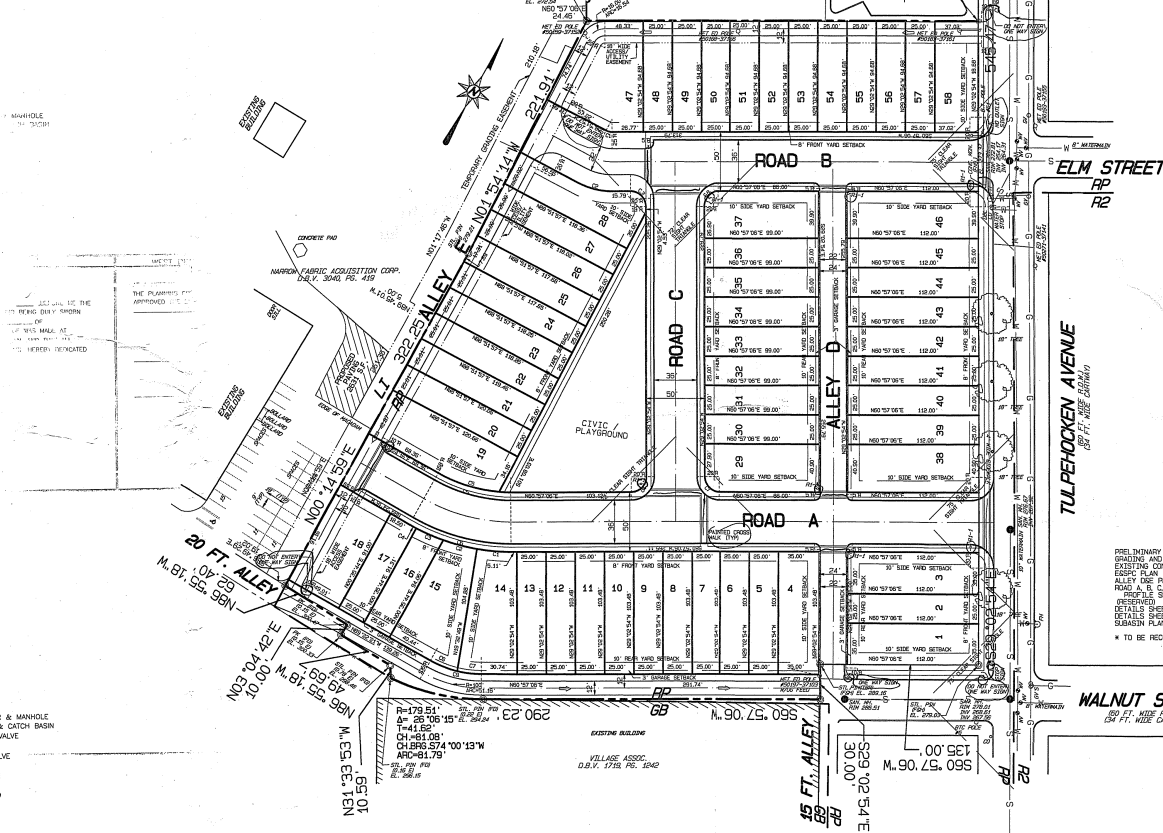


LINE	CROSS	TYPE	IN	FROM	TO	BEARING	AREA
C1	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C2	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C3	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C4	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C5	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C6	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C7	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C8	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C9	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C10	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C11	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C12	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C13	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C14	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C15	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C16	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C17	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C18	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C19	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
C20	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20

LINE	CROSS	TYPE	IN	FROM	TO	BEARING	AREA
L1	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L2	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L3	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L4	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L5	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L6	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L7	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L8	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L9	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L10	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L11	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L12	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L13	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L14	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L15	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L16	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L17	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L18	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L19	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20
L20	11.00	27.9451	27.20	28.00	28.00	N47°50'14" E	27.20

- ALL EXISTING UTILITIES SHOWN ARE FROM FIELD LOCATIONS OR TAKEN FROM PLANS AND MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION. IN ACCORDANCE WITH ACT 203 OF 1974 AS AMENDED BY ACT 50 OF 1996, A CALL WAS PLACED TO THE PA UNDCALL SYSTEM (TOLL-FREE 877-00) SERIAL NUMBER 800888.
- ROAD A, B, C & ALLEY D SHALL BE OFFERED TO WEST READING BOROUGH FOR DEDICATION.
- ALL LOT CORNERS TO BE SET WITH STEEL PINE UPON COMPLETION OF FINAL GRADING.
- THE 80' WIDE ACCESS & UTILITY EASEMENT ALONG LOTS 18 THRU 20 & 47 THRU 52 SHALL BE PART OF EACH LOT WITH THE OWNER RESPONSIBLE FOR THE MAINTENANCE OF THE ACCESSARY. THE STORM SEWER WILL BE OFFERED TO WEST READING BOROUGH FOR DEDICATION.
- NO STRUCTURE SHALL BE ERRECTED IN ANY EASEMENT.
- SITE STORM SEWER TO CONNECT TO EXISTING WEST READING BOROUGH STORM SEWER BY WAY FUTURE OFF-SITE STORM SEWER STARTING AT ELM STREET.

LOT	AREA (SQ FT)
1	2850
2	2900
3	2950
4	3000
5	3050
6	3100
7	3150
8	3200
9	3250
10	3300
11	3350
12	3400
13	3450
14	3500
15	3550
16	3600
17	3650
18	3700
19	3750
20	3800
21	3850
22	3900
23	3950
24	4000
25	4050
26	4100
27	4150
28	4200
29	4250
30	4300
31	4350
32	4400
33	4450
34	4500
35	4550
36	4600
37	4650
38	4700
39	4750
40	4800
41	4850
42	4900
43	4950
44	5000
45	5050
46	5100
47	5150
48	5200
49	5250
50	5300
51	5350
52	5400
53	5450
54	5500
55	5550
56	5600
57	5650
58	5700
59	5750
60	5800
TOTAL	106664



VICINITY MAP  
1" = 200'

ZONING REGULATIONS  
RP - RESIDENTIAL/PROFESSIONAL DISTRICT

MINIMUM REGULATIONS  
REQUIRED LOT AREA 2000 SF, PROVIDED 2850 SF  
REQUIRED LOT WIDTH 30 FT, PROVIDED 35 FT  
REQUIRED FRONT YARD 5 FT, PROVIDED 8 FT  
REQUIRED REAR YARD 10 FT, PROVIDED 15 FT  
REQUIRED SIDE YARD (END UNIT) 10 FT, PROVIDED 10 FT

MAXIMUM REGULATIONS  
REQUIRED STRUCTURE HEIGHT 35 FT, PROVIDED 35 FT  
REQUIRED IMPERVIOUS COVERAGE 60%, PROVIDED 62%

DETACHED ACCESSORY BUILDING MIN. REQUIREMENTS  
REQUIRED REAR YARD 5 FT, PROVIDED 5 FT  
REQUIRED SIDE YARD 3 FT, PROVIDED 3 FT

PROPERTY OWNER & SOURCE OF TITLE  
GRANTEE: NORTH I DEVELOPER  
230 WALNUT STREET METROPOLITAN DEVELOPMENT GROUP  
GRANTOR: WESTPAK INDUSTRIES, INC. 638 WALNUT STREET  
WESTPAK INDUSTRIES CORPORATION READING PA, 19601  
DATE: SEPT. 15, 2004  
U.S.P. 2,587,000,000

INTENDED USE  
S.B. SINGLE FAMILY ATTACHED DWELLINGS WITH DUAL TO WATER AND PUBLIC SEWER AND WITH DETACHED GARAGE.

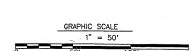
DATUM ELEVATIONS REFER TO BOROUGH OF WEST READING DATUM  
BEARING: CENTER OF GRANTMENT AT THE CORNER OF THE PROPERTY ON THE WESTLY BUILDING LINE OF TULPEHOCKEN AVE. ELEVATION = 796.43

WALVER REQUEST  
SECTION 412.4.3 TO ALLOW REQUIRED SIGHT TRIANGLE TO BE REDUCED TO 25' AT THE INTERSECTIONS OF ROAD A AND ROAD C AND ROAD B AND ROAD C.

Preliminary  
Revised 6-23-05  
12-11-05

PLAN SET INDEX

PRELIMINARY PLAN	05-01-000	01 OF 05
GRADING AND UTILITY PLAN	05-01-001	02 OF 05
EXISTING CONDITIONS PLAN	05-01-002	03 OF 05
ES&P PLAN	05-01-003	04 OF 05
ALLEY DISE PROFILE SHEET	05-01-004	05 OF 05
ROAD A & B TULPEHOCKEN AVE.	05-01-005	06 OF 05
RESURFACING SHEET	05-01-006	07 OF 05
DETAILS SHEET	05-01-007	08 OF 05
DETAILS SHEET	05-01-008	09 OF 05
SUBMAIN PLAN	05-01-009	10 OF 05



TOTAL AREA: 6.1631 ACRES

CERTIFICATION OF ACCURACY (PLAN)

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE CITY OF WEST READING AND LAND DEVELOPMENT ORDINANCE.

DATE: \_\_\_\_\_

JOHN HETTEL, P.E. LIC. NO. PE-30978

DATE: \_\_\_\_\_

FOR THE SURVEYOR:

FOR THE ENGINEER:

FOR THE ARCHITECT:

FOR THE LANDSCAPE ARCHITECT:

FOR THE CIVIL ENGINEER:

FOR THE ELECTRICAL ENGINEER:

FOR THE MECHANICAL ENGINEER:

FOR THE CHEMICAL ENGINEER:

FOR THE INDUSTRIAL ENGINEER:

FOR THE AGRICULTURAL ENGINEER:

FOR THE METALLURGICAL ENGINEER:

FOR THE NUCLEAR ENGINEER:

FOR THE OCEANOGRAPHIC ENGINEER:

FOR THE POLYMER ENGINEER:

FOR THE RADIATION PHYSICIAN:

FOR THE TRANSPORTATION ENGINEER:

FOR THE AERONAUTICAL ENGINEER:

FOR THE AEROSPACE ENGINEER:

FOR THE AERONAUTICAL ENGINEER:

FOR THE AEROSPACE ENGINEER:

CERTIFICATE OF OWNERSHIP

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF BERKS

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME THE UNDERSIGNED OFFICER/PERSONAL APPEARED \_\_\_\_\_ WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE \_\_\_\_\_ OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE SUBDIVISION PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN, AND THAT ALL STRIETS \_\_\_\_\_ SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC USE.

WITNESS MY HAND AND SEAL OF OFFICE

WEST READING BOROUGH PLANNING COMMISSION

AT A MEETING HELD ON \_\_\_\_\_, 20\_\_\_\_, THE PLANNING COMMISSION OF THE BOROUGH OF WEST READING APPROVED THE SUBDIVISION PLAN OF THE PROPERTY OF \_\_\_\_\_ AS SHOWN HEREOF.

WEST READING BOROUGH COUNCIL

AT A MEETING HELD ON \_\_\_\_\_, 20\_\_\_\_, THE BOROUGH COUNCIL OF THE BOROUGH OF WEST READING, BY RESOLUTION, DULY ENACTED, APPROVED THE SUBDIVISION PLAN OF THE PROPERTY OF \_\_\_\_\_ AS SHOWN HEREOF.

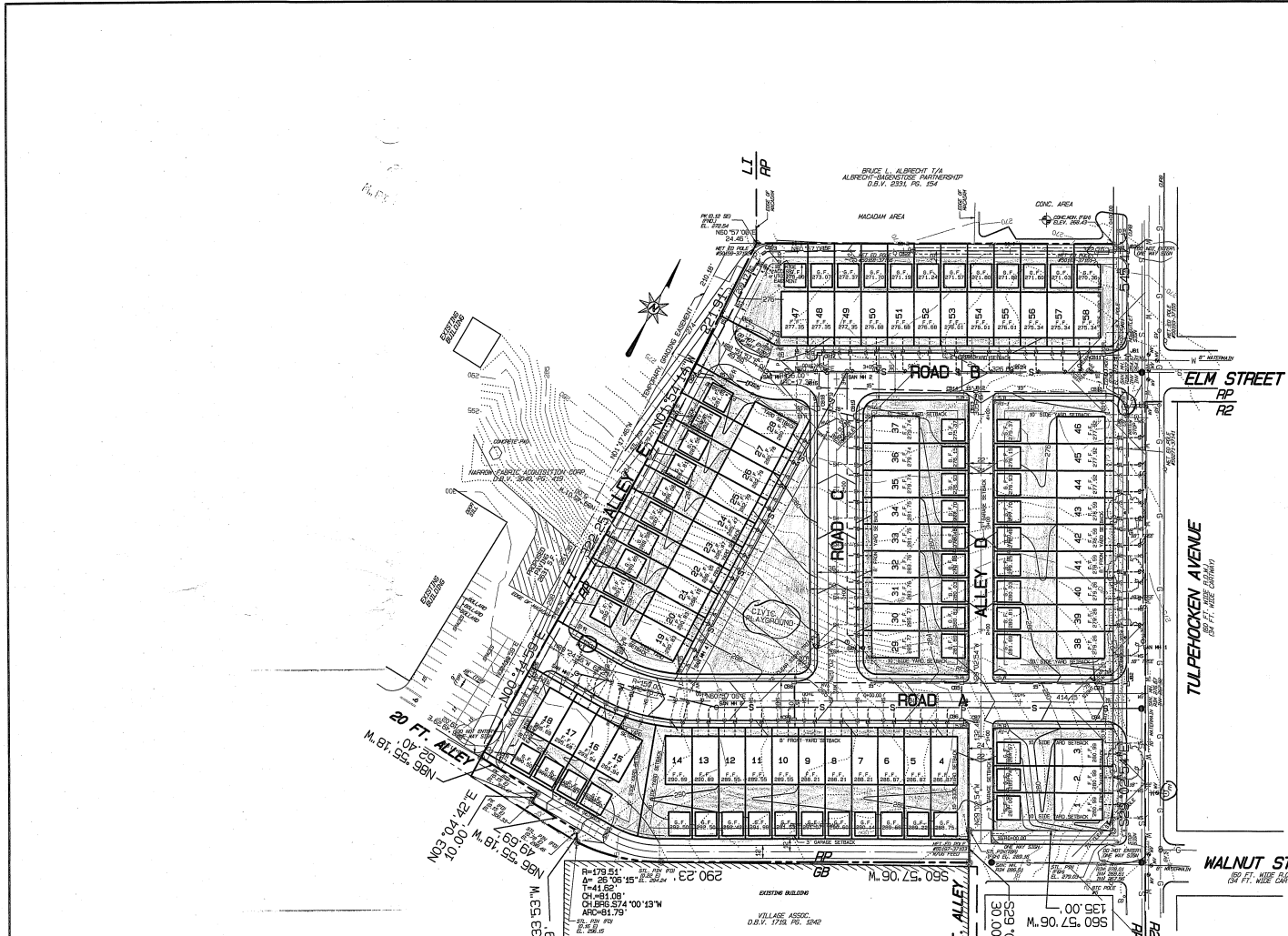
BERKS COUNTY PLANNING COMMISSION

RECORDED OF DEEDS

Professional Engineers, Planners and Surveyors  
McCarty Engineering  
121 Singler Road, West Lawn, PA 19380  
Phone (610) 373-0500 Fax (610) 373-0071  
WWW.MCARTY-ENG.COM

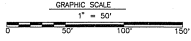
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PRELIMINARY PLAN  
"NARROW FABRIC" RECEIVED  
JUN 22 2005  
Client: METROPOLITAN DEVELOPMENT GROUP  
Location: BOROUGH OF WEST READING, PENNSYLVANIA  
Date: JUNE 21, 2005  
Designed By: JH1 Drawn By: RKP (Proj.) Mensel, J.W. (Title)  
1" = 50' 05-001 - P00 4-28-10




- LEGEND**
- EXISTING SANITARY SEWER & MANHOLE
  - PROPOSED SANITARY SEWER & MANHOLE
  - PROPOSED SEWER LATERAL
  - EXISTING STORM SEWER & CATCH BASIN
  - PROPOSED STORM SEWER & CATCH BASIN
  - PROPOSED JUNCTION BOX
  - PROPOSED END SECTION
  - EXISTING WATER LINE & VALVE
  - PROPOSED WATER LINE & VALVE
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT
  - PROPOSED WATER SERVICE
  - EXISTING GAS LINE & VALVE
  - PROPOSED GAS LINE
  - PROPOSED GAS SERVICE
  - WETLAND DELINEATION
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - EXISTING LIGHT STANDARD
  - PROPOSED STREET LIGHT
  - EXISTING CURB
  - SOIL LINE
  - EXISTING RIP RAP
  - PROPOSED RIP RAP

**SOIL LIST**  
 U&B- URBAN LAND-OFFFIELD COMPLEX, 0 TO 8% SLOPES



Revision	Date	Description	Revised By



**McCarthy Engineering**  
 Professional Engineers, Planners and Surveyors  
 121 Seagar Road, West Lawn, PA 19384  
 Phone (610) 313-8000 Phone (717) 434-2140 Fax (610) 313-8071  
 www.mccarthyeng.com

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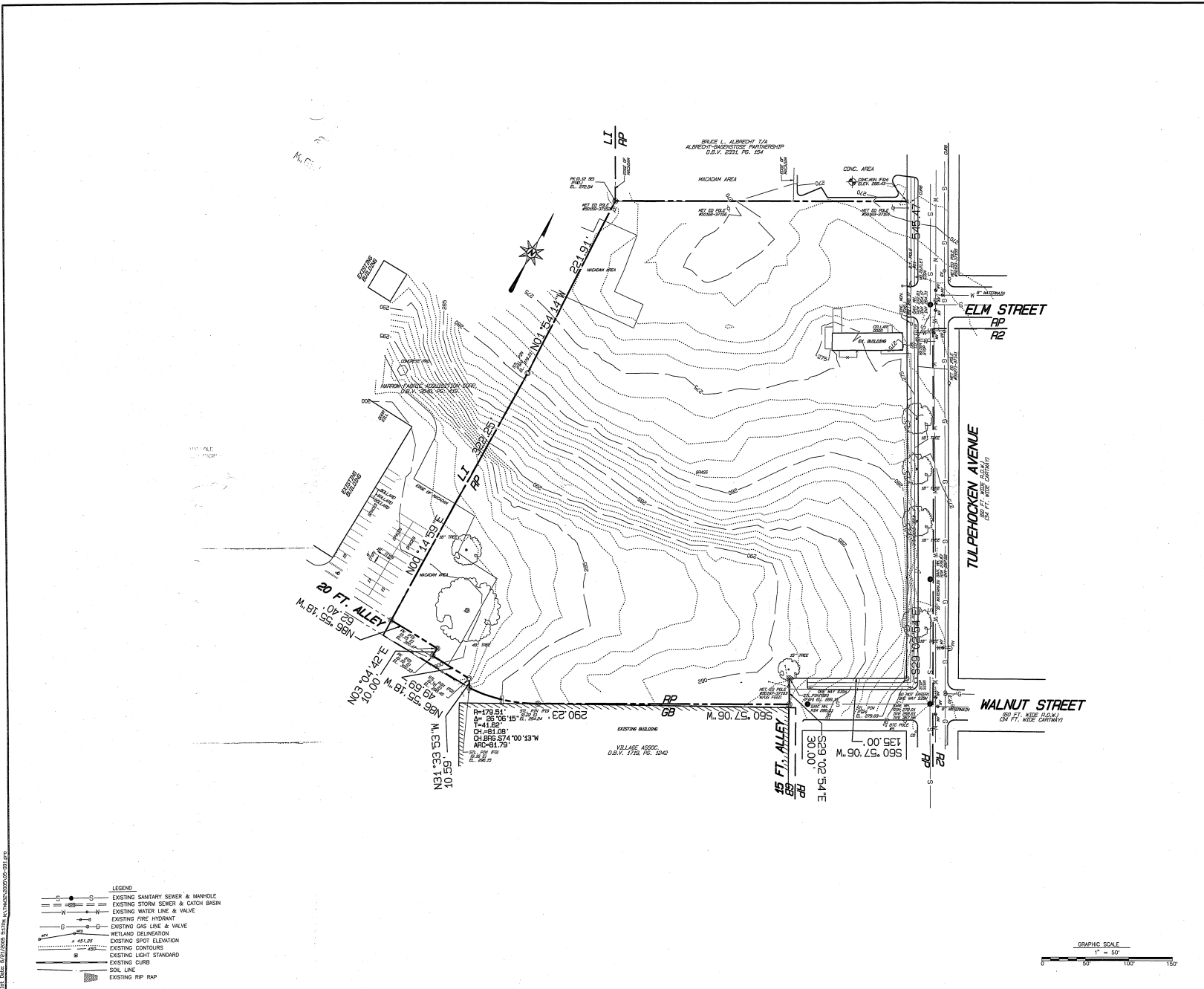
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**GRADING AND UTILITY PLAN**  
**"NARROW FABRICS"**

Client: METROPOLITAN DEVELOPMENT GROUP  
 Location: BOROUGH OF WEST READING, PENNSYLVANIA  
 Date: JUNE 21, 2005

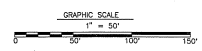
Designed By: <b>ML</b>	Drawn By: <b>KDP</b>	Proj. Manager: <b>J.K. WETZ</b>	Principal: <b>J.M.</b>
Scale: 1" = 50'	File No: 05-001-P01	Sheet No: 2 OF 10	

DATE PLOTTED: 05/24/05 11:43 AM  
 PLOTTER: HP DesignJet 5000PS






- LEGEND**
- EXISTING SANITARY SEWER & MANHOLE
  - EXISTING STORM SEWER & CATCH BASIN
  - EXISTING WATER LINE & VALVE
  - EXISTING FIRE HYDRANT
  - EXISTING GAS LINE & VALVE
  - WETLAND DELINEATION
  - EXISTING SPOT ELEVATION
  - EXISTING CONTOURS
  - EXISTING LIGHT STANDARD
  - EXISTING CURB
  - EXISTING RIP RAP



Revision	Date	Description	Revised By


**Professional Engineers, Planners and Surveyors**  
 121 Snyder Road, West Lawn, PA 19381  
 Phone (610) 370-6000 Phone (717) 454-2340 Fax (610) 370-6071  
 www.mccarthy.com

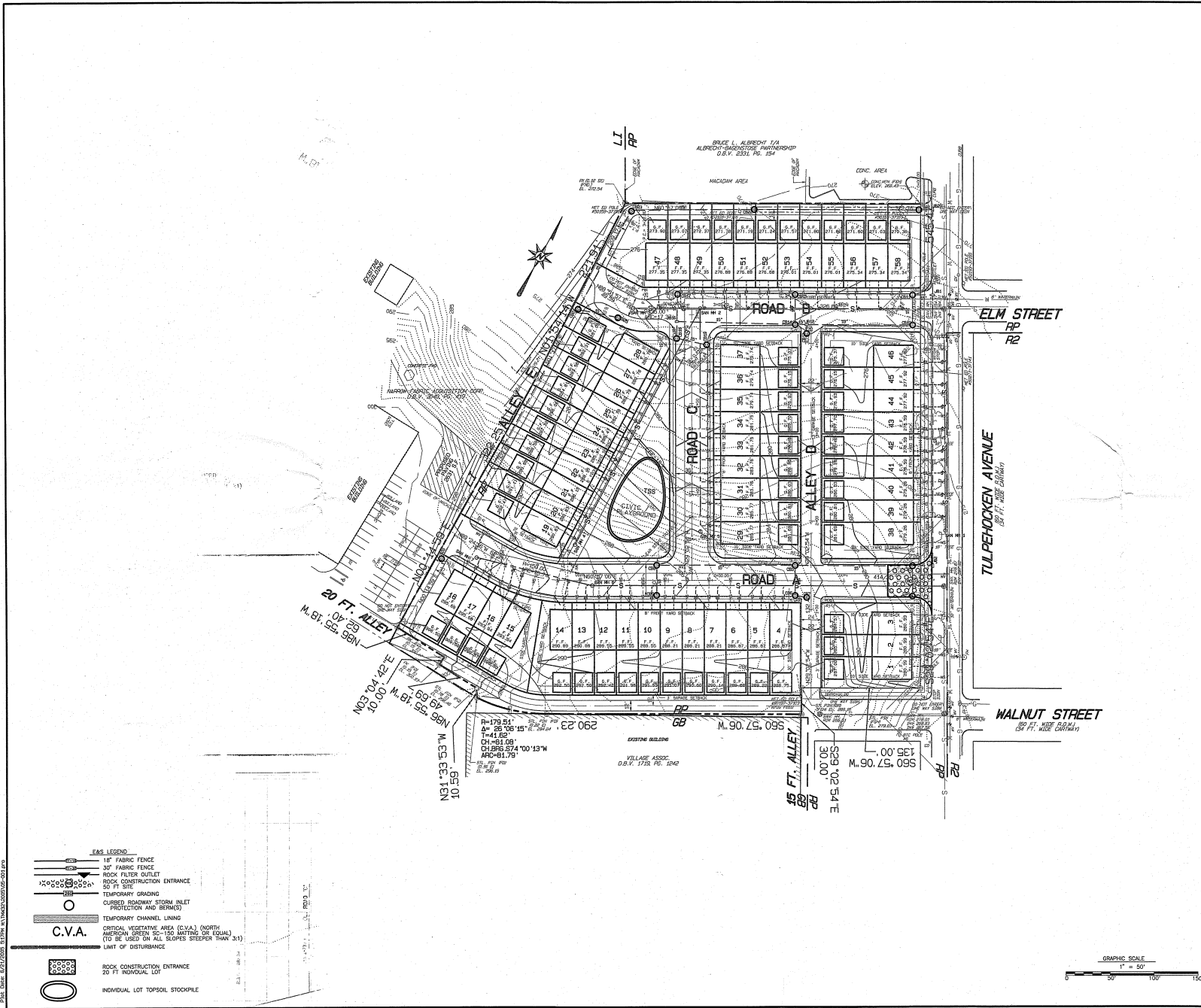
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**EXISTING CONDITIONS PLAN**  
**"NARROW FABRICS"**

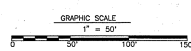
Client: METROPOLITAN DEVELOPMENT GROUP  
 Location: BOROUGH OF WEST READING, PENNSYLVANIA  
 Date: JUNE 21, 2005

Designed By: <b>MM</b>	Drawn By: <b>KDP</b>	Proj. Manager: <b>JK METZEL</b>	Principal: <b>JMM</b>
Scale: 1" = 50'	File No: CE-001-POP	Sheet: 3 OF 10	


P:\19\1001\1001.dwg, 10/21/05, 10:00 AM, 10/21/05, 10:00 AM, 10/21/05, 10:00 AM



- EAS LEGEND**
- 1" FABRIC FENCE
  - 3" FABRIC FENCE
  - ROCK FILTER OUTLET
  - ROCK CONSTRUCTION ENTRANCE
  - 50 FT. SITE
  - TEMPORARY GRADING
  - CURBED ROADWAY STORM INLET PROTECTION AND BERM(S)
  - TEMPORARY CHANNEL LINING
  - C.V.A.** CRITICAL VEGETATIVE AREA (C.V.A.) (NORTH AMERICAN GREEN S&S - 50 MASTING OR EQUAL) (TO BE USED ON ALL SLOPES STEEPER THAN 3:1)
  - UNIT OF DISTURBANCE
  - ROCK CONSTRUCTION ENTRANCE
  - 20 FT. INDIVIDUAL LOT
  - INDIVIDUAL LOT TOPSOIL STOCKPILE



Revision	Date	Description	Revised By



Professional Engineers, Planners and Surveyors  
 121 Saylor Road, West Lawn, PA 19381  
 Phone (610) 373-6001 Phone (717) 464-2246 Fax (610) 373-6071  
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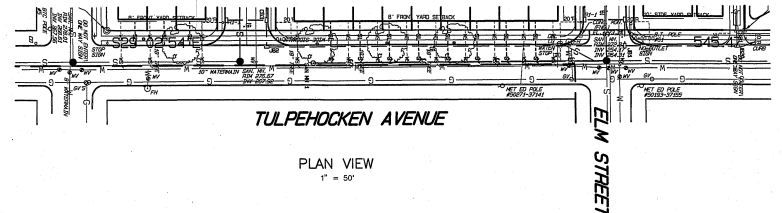
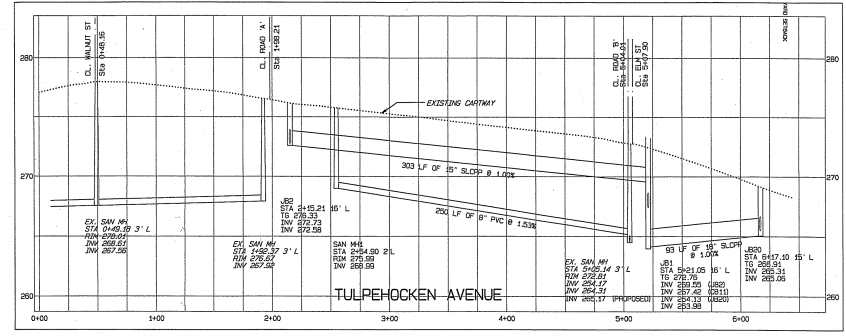
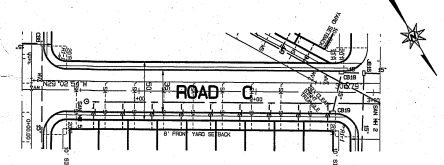
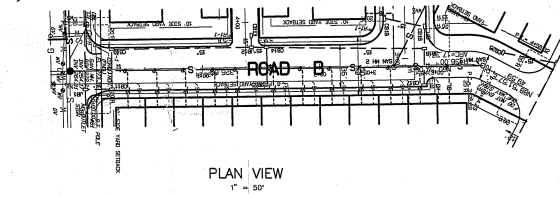
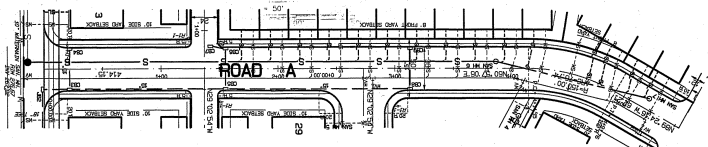
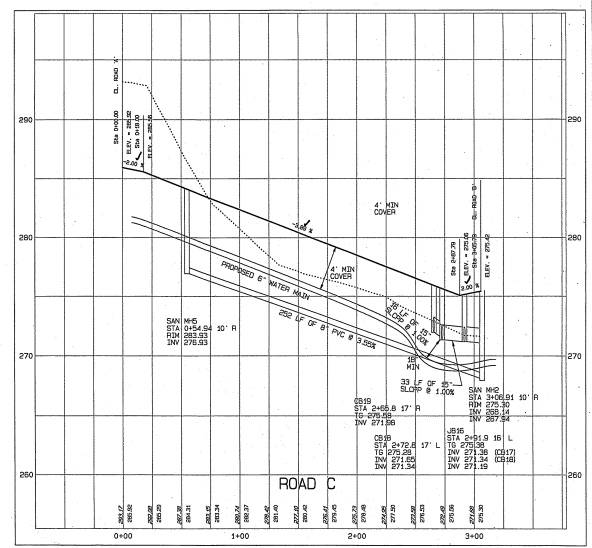
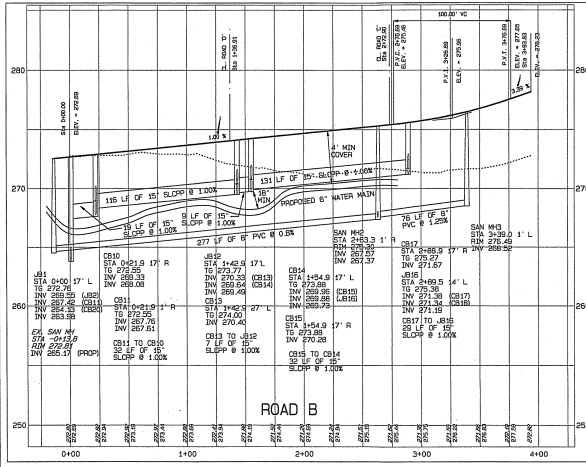
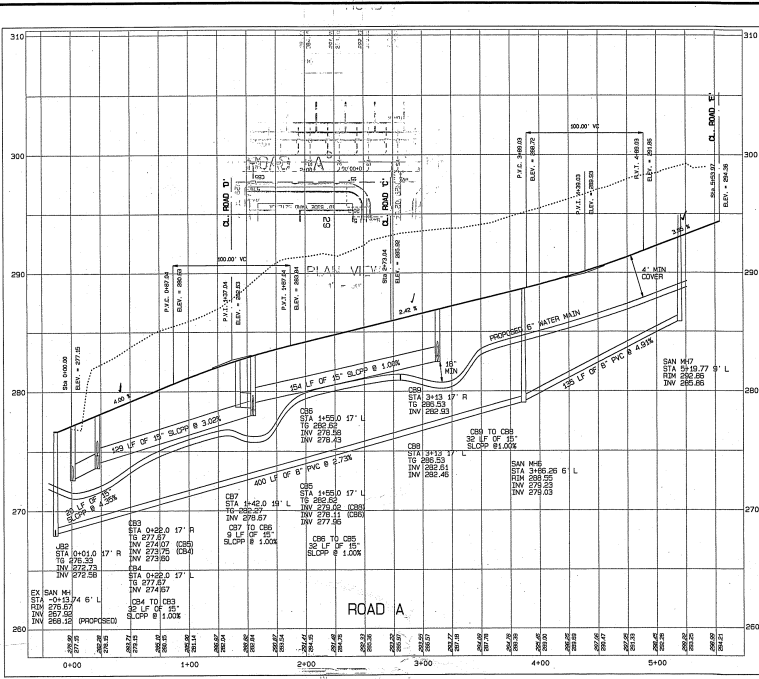
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**EGS CONTROL PLAN**  
**"NARROW FABRICS"**

Client: METROPOLITAN DEVELOPMENT GROUP  
 Location: BOROUGH OF WEST READING, PENNSYLVANIA  
 Date: JUNE 21, 2005

Designed By: KH	Drawn By: RMP	Proj. Manager: J.K. METZEL	Principal: JCN
Scale: 1" = 50'	Sheet: 05-001 - P03	4 OF 10	

FILE NAME: E:\2\2005\EGS PLAN\NARROW FABRICS\05-001.PDF



- LEGEND**
- EXISTING SANITARY SEWER & MANHOLE
  - PROPOSED SANITARY SEWER & MANHOLE
  - PROPOSED SEWER LATERAL
  - EXISTING STORM SEWER & CATCH BASIN
  - PROPOSED STORM SEWER & CATCH BASIN
  - PROPOSED JUNCTION BOX
  - PROPOSED END SECTION
  - EXISTING WATER LINE & VALVE
  - PROPOSED WATER LINE & VALVE
  - EXISTING FIRE HYDRANT
  - PROPOSED WATER SERVICE
  - EXISTING GAS LINE & VALVE
  - PROPOSED GAS LINE
  - PROPOSED GAS SERVICE
  - WETLAND DELINEATION
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - EXISTING LIGHT STANDARD
  - PROPOSED STREET LIGHT
  - EXISTING CURB
  - PROPOSED CURB
  - EXISTING R/P R/P
  - PROPOSED R/P R/P
- VERTICAL SCALE**  
1" = 5'
- HORIZONTAL SCALE**  
1" = 50'

Revision	Date	Description	Revised By

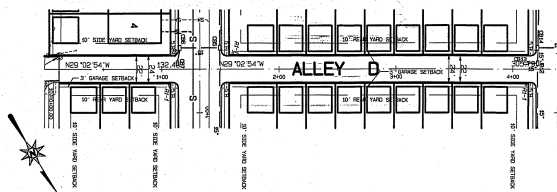
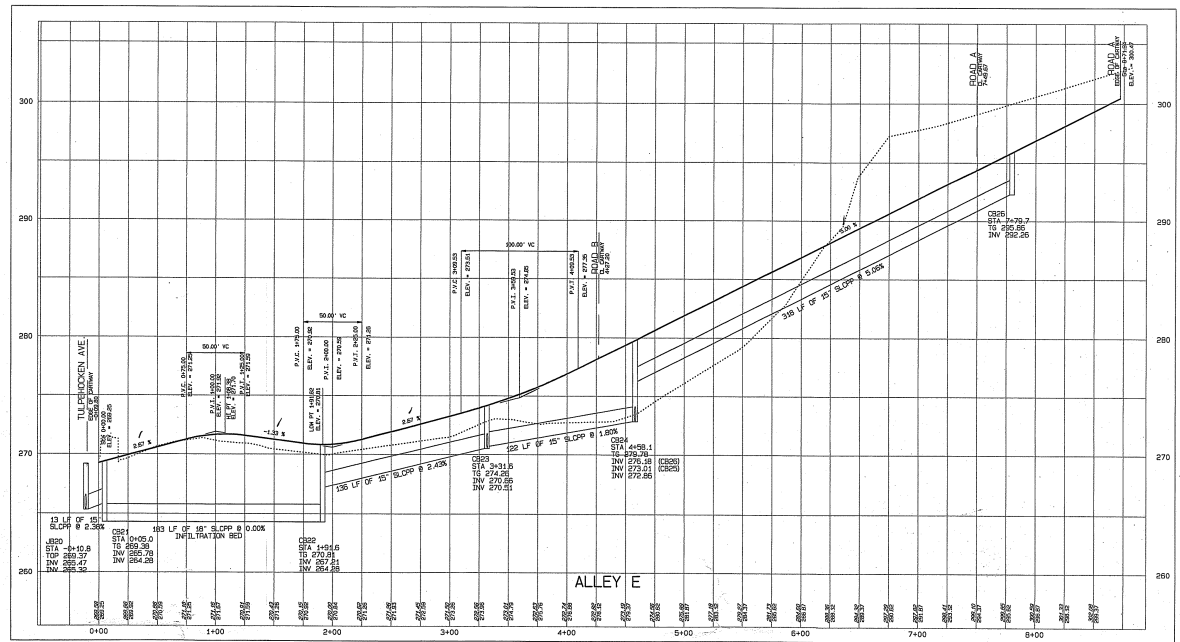
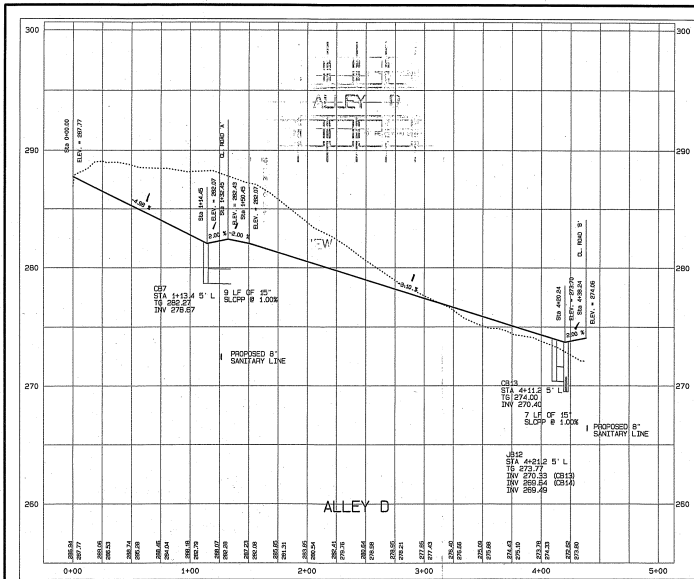
**McCarthy Engineering**  
Professional Engineers, Planners and Surveyors  
121 Snyder Road, West Leola, PA 17361  
Phone (610) 378-0001 Phone (717) 484-2446 Fax (610) 378-0011  
www.mccarthyengineering.com

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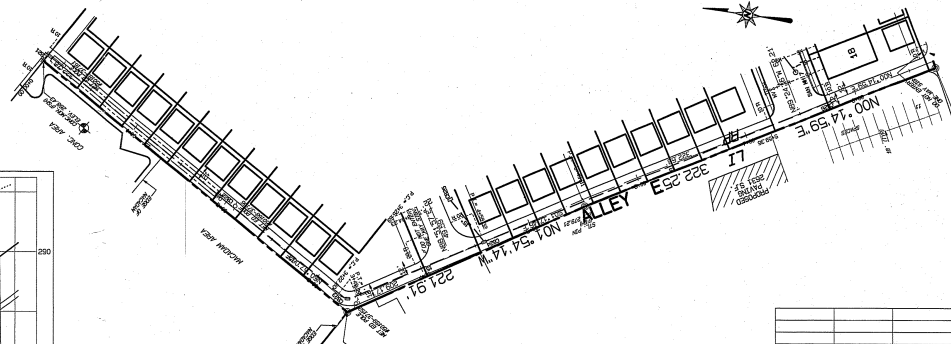
**ROAD A, B, C, & TULPEHOCKEN AVE  
"NARROW FABRICS"**

Client: METROPOLITAN DEVELOPMENT GROUP  
Location: BERKSHIRE OF WEST READING  
PENNSYLVANIA  
Date: JUNE 21, 2005

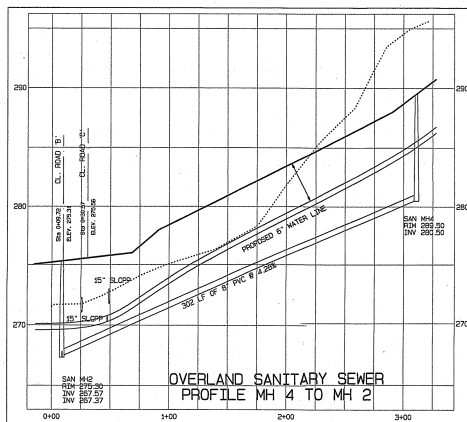
Designed By: M1  
Drawn By: K17  
Proc. Manager: J.K. RETEL  
AS: SHDMN  
Date: 05-01-04  
5 OF 10



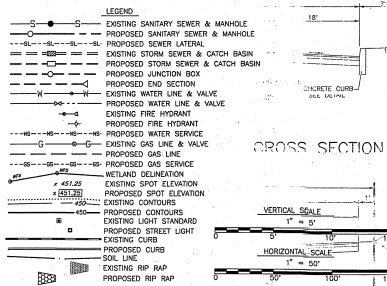
PLAN VIEW  
1" = 50'




PLAN VIEW  
1" = 50'



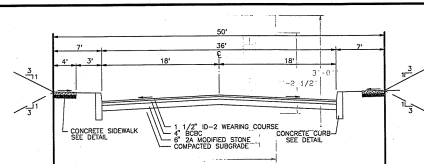
OVERLAND SANITARY SEWER  
PROFILE MH 4 TO MH 2



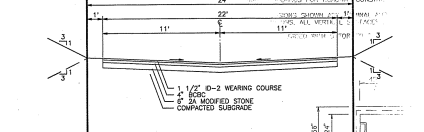
CROSS SECTION  
1" = 50'

Revision	Date	Description	Revised By
 <b>McCarthy Engineering</b> <i>INCORPORATED</i>			
<small>Professional Engineers, Planners and Surveyors</small> 120 Taylor Road, West Lawn, PA 15384 Phone (610) 313-6001 Phone (717) 484-2140 Fax (610) 313-8011 WWW.MCCARTHYENGINEERING.COM			
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<b>ALLEY D &amp; E</b> <b>"NARROW FABRICS"</b>			
Client: METROPOLITAN DEVELOPMENT GROUP Location: BERGHOFF MESS READING PENNSYLVANIA Date: JUNE 21, 2005			
Designed By: M1	Drawn By: KDP	Proj. Manager: J.K. METZEL	Principal: J. JOHNSON
Scale: AS SHOWN	Sheet: 05-001 - P05	Page: 6 OF 10	

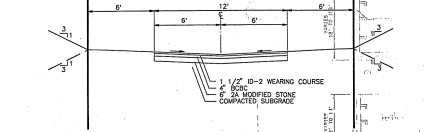
STREET CROSS SECTION



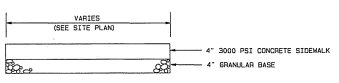
TYPICAL STREET CROSS SECTION



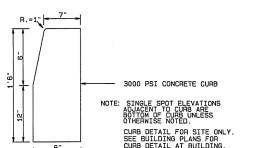
TYPICAL TWO-WAY SERVICE STREET CROSS SECTION



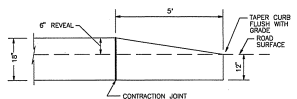
TYPICAL ONE-WAY SERVICE STREET CROSS SECTION



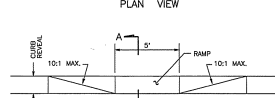
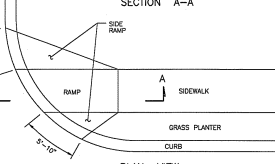
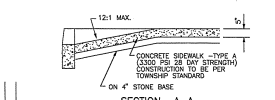
TYPICAL SIDEWALK DETAIL



TYPICAL CURB DETAIL

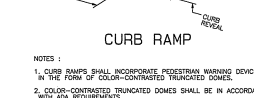
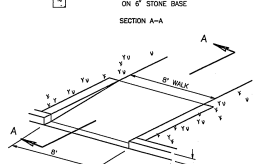
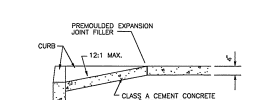


CURB TAPER



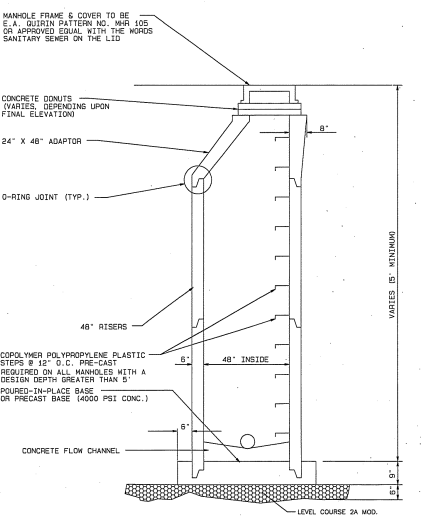
CURB RAMP (SIDEWALK AT PROPOSED DRIVEWAY)

NOTES:  
1. CURB RAMPS SHALL INCORPORATE PEDESTRIAN WARNING DEVICES IN THE FORM OF COLOR-CONTRASTED TRUNCATED DOMES.  
2. COLOR-CONTRASTED TRUNCATED DOMES SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.

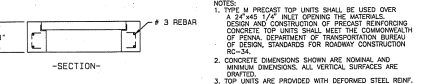
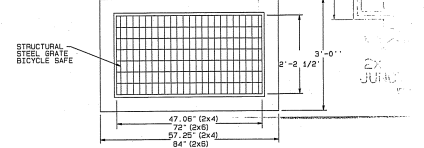


CURB RAMP

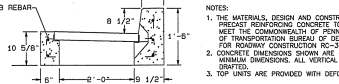
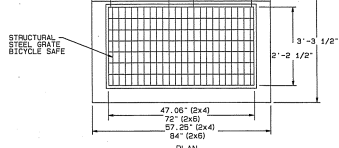
NOTES:  
1. CURB RAMPS SHALL INCORPORATE PEDESTRIAN WARNING DEVICES IN THE FORM OF COLOR-CONTRASTED TRUNCATED DOMES.  
2. COLOR-CONTRASTED TRUNCATED DOMES SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.



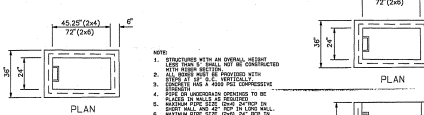
TYPICAL SANITARY SEWER MANHOLE DETAIL (N.T.S.)



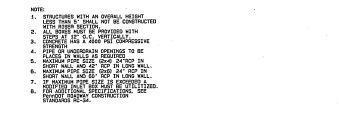
STRUCTURAL STEEL GRATE BICYCLE SAFE



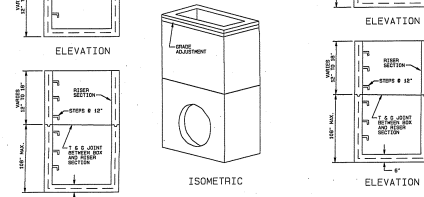
STRUCTURAL GRATE BICYCLE SAFE



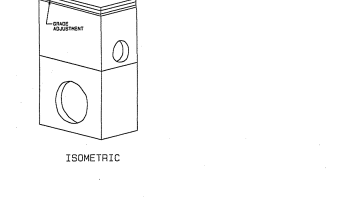
TYPE M INLET



TYPE C INLET



2x4 OR 2x6 PRECAST INLET BOX



2x4 OR 2x6 PRECAST JUNCTION BOX DETAIL




STORM SEWER TRENCH DETAIL



TRENCH RESTORATION (IN PAVED AREAS)

Revision	Date	Description	Revised By

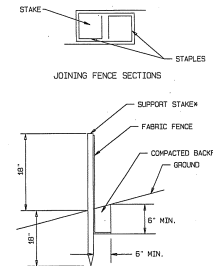

**McCarthy Engineering**  
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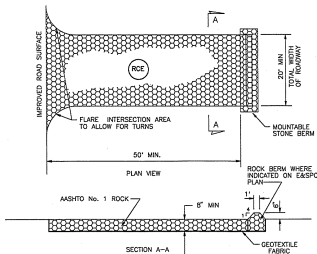
**DETAILS SHEET**  
 "NARROW FABRICS"  
 Client: METROPOLITAN DEVELOPMENT GROUP  
 Location: BOROUGH OF WEST READING, PENNSYLVANIA  
 Date: JUNE 21, 2005

Designed By: JH	Drawn By: BDDP	Proj. Manager: J.K. REITZEL	Principal:
Check:	None	05-001 - P07	Sheet: 8 OF 10



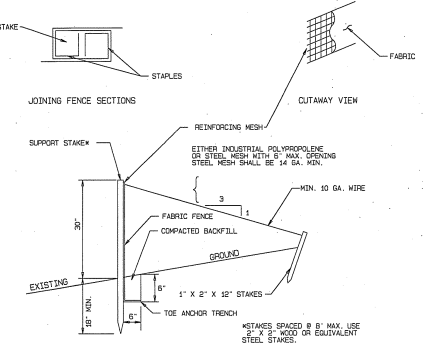
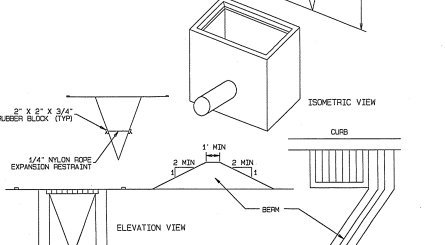
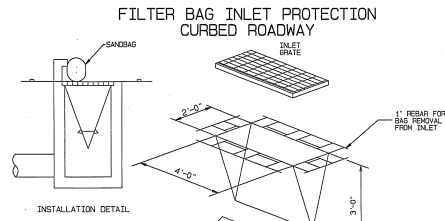
**STANDARD FILTER FABRIC FENCE (18" HIGH)**

\* Stakes spaced @ 8' maximum. Use 2" x 2" wood or equivalent steel stakes.  
 Filter Fabric Fence must be placed at level existing grade. Both ends of the barrier must be extended at least 8 feet up slope at 45 degrees to the main barrier alignment. Sediment must be removed when accumulations reach 1/2 the above ground height of the fence.  
 Any section of Filter Fabric Fence which has been underdrained or topped must be immediately replaced with a Rock Filter Outlet. See Standard Construction Detail #18.  
 Where ends of filter fabric come together, they must be overlapped, folded and stapled to prevent sediment bypass. The toe anchor must be backfilled and compacted to a density equal to the surrounding soils.



NOTE - THE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSION BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL THE SEDIMENT DEPOSITED ON PUBLIC ROADWAYS, SHALL BE REMOVED AND RETURNED TO THE CONTRIBUTION SITE, WITHIN OF THE ROADWAY IS NOT PERMITTED.

**ROCK CONSTRUCTION ENTRANCE  
50 FT SITE**



**REINFORCED FILTER FABRIC FENCE (30" HIGH)**

NOTE: SHOW ALL DETAILS AND CONSTRUCTION DIMENSIONS ON PLAN DRAWINGS.

Filter Fabric Fence must be installed at existing level grade. Both ends of each fence section must be extended at least 8 feet upslope at 45 degrees to the main fence alignment.  
 Sediment must be removed where accumulations reach 1/2 the above ground height of the fence.  
 Any fence section which has been underdrained or topped must be immediately replaced with a Rock Filter Outlet. See Standard Construction Detail #18.  
 Where ends of filter fabric come together, they must be overlapped, folded and stapled to prevent sediment bypass. The toe anchor must be backfilled and compacted to a density equal to the surrounding soils.

Maximum Drainage Area = 1/2 acre.  
 Inlet protection is not required for inlet tributary to sediment basin or trap. Berms required for all installations.  
 Earthen berm shall be maintained until roadway is stoned. Road subbase berm shall be maintained until roadway is paved.  
 Six inch minimum height asphalt berm shall be maintained until roadway surface receives final coat.  
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS

Revision	Date	Description	Revised By

**McCarthy Engineering Associates, Inc.**  
 Professional Engineers, Planners and Surveyors  
 121 Snyder Road, West Lawn, PA 19381  
 Phone (610) 373-8001 Phone (717) 484-2344 Fax (610) 373-8071  
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**DETAILS SHEET**  
**" NARROW FABRICS "**

Client: METROPOLITAN DEVELOPMENT GROUP  
 Location: BOROUGH OF WEST READING PENNSYLVANIA  
 Date: JUNE 21, 2005

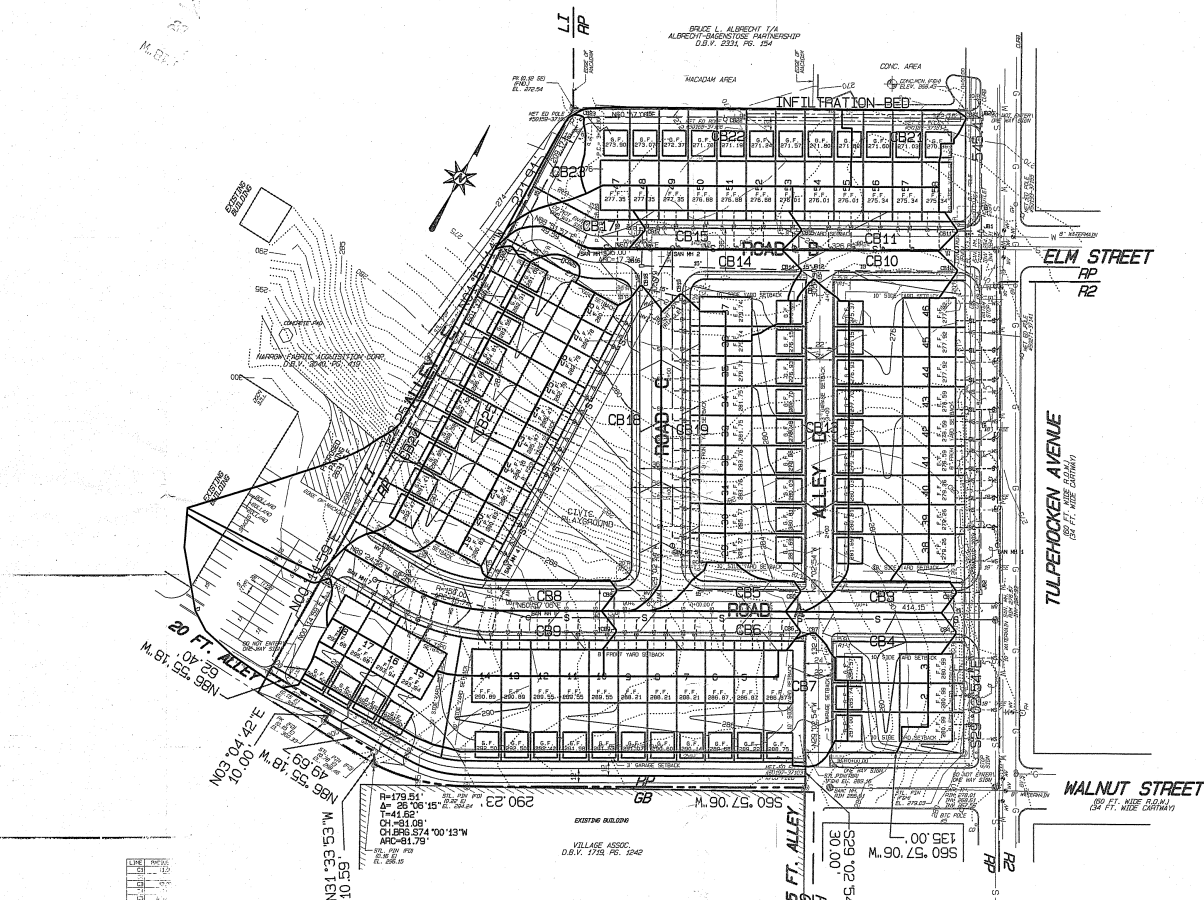
Designed By: MI	Drawn By: RMP	Proj. Manager: J.K. METZEL	Principal:
Scale:	None	File No: 05-001-POB	Sheet: 9 OF 10

M. B. S.

BRUCE L. ALBRECHT, P.A.  
ALBRECHT-SANDWITZ ENGINEERING PARTNERSHIP  
638 Y. 2331, PG. 154

MACOMAH AREA  
CONC. AREA

INFILTRATION BED



ELM STREET  
RP  
R2

TULPEHOOKEN AVENUE  
RP  
R2

WALNUT STREET  
RP  
R2

20 FT. ALLEY  
M. 61.55 SBN  
N. 01.23 E

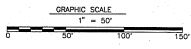
N. 03.104 +22 E  
10.00  
M. 61.55 SBN

N. 65.51 E  
10.00  
M. 52.31 SBN

45 FT. ALLEY  
RP  
R2  
S. 29.02 S41 E  
30.00  
M. 90.00

- LEGEND**
- EXISTING SANITARY SEWER & MANHOLE
  - - - - - PROPOSED SANITARY SEWER & MANHOLE
  - - - - - PROPOSED SEWER LATERAL
  - - - - - EXISTING STORM SEWER & CATCH BASIN
  - - - - - PROPOSED STORM SEWER & CATCH BASIN
  - - - - - PROPOSED JUNCTION BOX
  - - - - - PROPOSED END SECTION
  - - - - - EXISTING WATER LINE & VALVE
  - - - - - PROPOSED WATER LINE & VALVE
  - - - - - EXISTING FIRE HYDRANT
  - - - - - PROPOSED FIRE HYDRANT
  - - - - - EXISTING WATER SERVICE
  - - - - - PROPOSED WATER SERVICE
  - - - - - EXISTING GAS LINE & VALVE
  - - - - - PROPOSED GAS LINE & VALVE
  - - - - - EXISTING GAS SERVICE
  - - - - - PROPOSED GAS SERVICE
  - - - - - WETLAND DELINEATION
  - - - - - EXISTING SPOT ELEVATION
  - - - - - PROPOSED SPOT ELEVATION
  - - - - - EXISTING CONTOURS
  - - - - - PROPOSED CONTOURS
  - - - - - EXISTING LIGHT STANDARD
  - - - - - PROPOSED STREET LIGHT
  - - - - - EXISTING CURB
  - - - - - PROPOSED CURB
  - - - - - EXISTING R/P RAP
  - - - - - PROPOSED R/P RAP

LINE	THICKNESS	DESCRIPTION
1	3/8"	EXISTING SANITARY SEWER
2	3/8"	PROPOSED SANITARY SEWER
3	3/8"	EXISTING STORM SEWER
4	3/8"	PROPOSED STORM SEWER
5	3/8"	EXISTING WATER LINE
6	3/8"	PROPOSED WATER LINE
7	3/8"	EXISTING GAS LINE
8	3/8"	PROPOSED GAS LINE
9	3/8"	EXISTING CONTOUR
10	3/8"	PROPOSED CONTOUR



Revision	Date	Description	Revised By

McCarthy Engineering Associates, P.C.  
Professional Engineers, Planners and Surveyors  
12 Snyder Road, West Lawn, PA 19081  
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**SUBBASIN PLAN**  
**"NARROW FABRICS"**

Client: METROPOLITAN DEVELOPMENT GROUP  
Location: BROUGH OF WEST READING, PENNSYLVANIA  
Date: JUNE 21, 2005  
Designed By: M1 Drawn By: RWP (Proj. Manager: LK KETTEL) Principal: JKH  
Scale: 1" = 50' File No: CE-001-P09 Plot Sheet: 10 OF 10



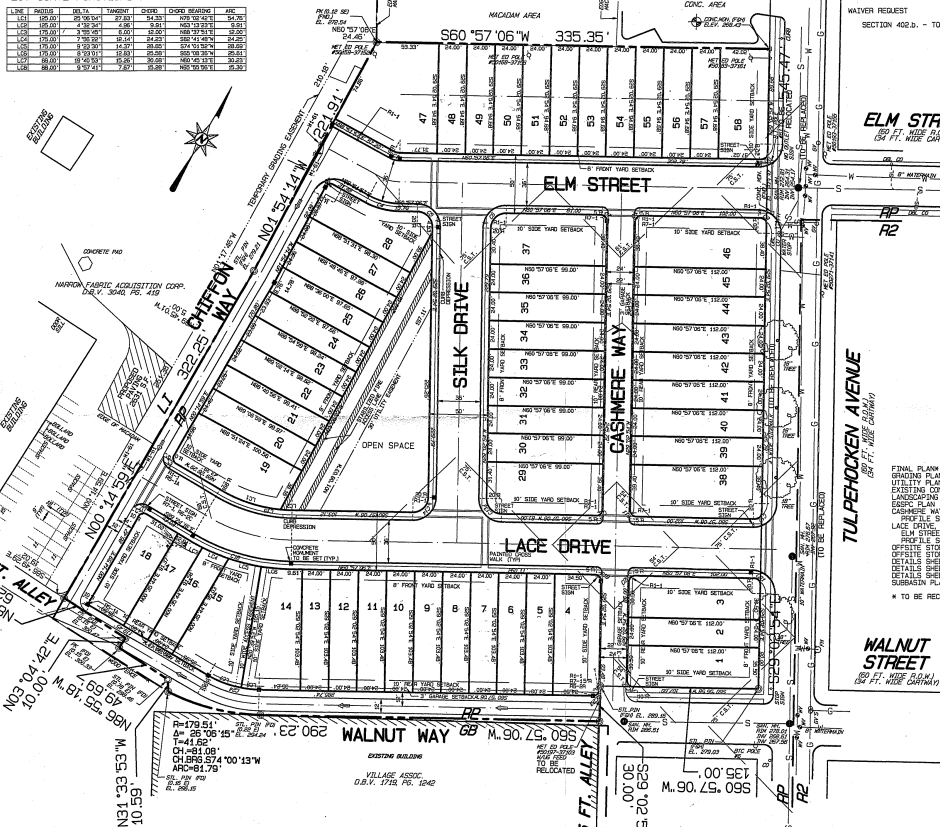
1. ALL EXISTING UTILITIES SHOWN ARE FROM FIELD LOCATIONS OR TAKEN FROM PLANS AND MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION. IN ACCORDANCE WITH THE COUNTY OF BERKS DEPARTMENT OF PUBLIC WORKS, UTILITIES SHOULD BE LOCATED AT THE 10' PA CROSS-SECTION OF THE PROPERTY SHOWN AND PLACED ON THE PA CROSS-SECTION SYSTEM (1400-240-1740). SERIAL NUMBER 00000000.
2. ALL EXISTING UTILITIES SHALL BE STORED TO THE BURGH OF WEST READING FOR RELOCATION.
3. ALL LOT CORNERS TO BE SET WITH STEEL PINS UPON COMPLETION OF FINAL GRADING OF ROAD RIGHT OF WAY.
4. NO STRUCTURE SHALL BE ERECTED IN ANY EASEMENT.
5. SOLID WASTE STORAGE SHALL BE THE RESPONSIBILITY OF INDIVIDUAL LOT OWNERS. THE SECTOR'S PUBLIC WASTE COLLECTION PROGRAM SHALL BE REQUIRED TO PARTICIPATE IN THE SECTOR'S CURB SIDE WASTE COLLECTION PROGRAM.
6. SHEET 4 IS INTENDED TO BE RECEIVED.
7. ALL SEWER SHALL BE INSTALLED IN ACCORDANCE WITH PART 5 OF THE WEST READING SEWER ZONING ORDINANCE.
8. NO VISION-obstructing OBJECT SHALL BE PERMITTED WITHIN THE CLEAR-SIGHT TRIANGLES WHEN DRIVING VISION ABOVE THE HEIGHT OF THE CURB. (SEE PLAN INDICATES AN INTERSECTION OF 100 FEET, MEASURED FROM THE CENTER LINE GRADE OF INTERSECTING STREETS).
9. THE PROPOSED SANITARY IMPROVEMENTS SHALL BE DESIGNED, CONTRACTED AND INSTALLED IN ACCORDANCE WITH THE BURGH OF WEST READING LATEST STANDARDS.
10. IMPROVED DRIVE LINES WILL BE SET BY THE SANITARY ENGINEER AND PUBLIC WATER ENGINEER. PROPOSED SANITARY SEWER TO BE DEDICATED TO THE BURGH OF WEST READING.
11. THE COLLECTION SYSTEM FOR THE PUBLIC SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE COUNTY OF BERKS DEPARTMENT OF PUBLIC WORKS, UTILITIES SHALL FOLLOW THE PENNSYLVANIA WATER PURIFICATION FILTER, REGULATIONS AND SPECIFICATIONS AND ALL PROVISIONS OF SEWER SEWER SHALL BE IN ACCORDANCE WITH THE SAME.
12. THE DISTRIBUTION SYSTEM FOR PUBLIC WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BURGH OF WEST READING AND THE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS. THE SEWER LOCATIONS AND PROVISIONS OF WATERSEWER SHALL BE IN ACCORDANCE WITH THE SEWER LOCATIONS AND PROVISIONS OF WATERSEWER.
13. A MINIMUM OF 50' HORIZONTAL CLEARANCE WHERE POSSIBLE, SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS.
14. A MINIMUM OF 4' HORIZONTAL CLEARANCE BETWEEN WATER MAINS AND STORM SEWERS SHALL BE PROVIDED.
15. A MINIMUM OF 8" VERTICAL CLEARANCE BETWEEN WATER MAINS AND STORM AND SANITARY SEWERS SHALL BE PROVIDED.
16. BEFORE ANY CONSTRUCTION COMMENCES, THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITIES AND EXISTING UTILITY TIE-IN POINTS. ELEVATIONS, IF TIE-IN POINTS DIFFER FROM THOSE SHOWN ON THE PLAN, NOTIFY THE ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ALL DAMAGED UTILITY LINES.
17. EASEMENT AREAS HAVE BEEN CREATED FOR ALL STORMWATER MANAGEMENT FACILITIES WHICH DO NOT FALL WITHIN THE ROAD RIGHT-OF-WAY.
18. DEVELOPER SHALL BE REQUIRED TO OBTAIN THE APPROPRIATE PERMITS FROM THE BURGH OF WEST READING BEFORE COMMENCING ANY CONSTRUCTION.
19. ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY.
20. A MINIMUM OF 10' OFF-SET BETWEEN SPACES SHALL BE PROVIDED FOR EACH RESIDENTIAL LOT BY WAY OF THE PROPOSED GARAGE AND/OR DRIVEWAY.
21. NO ON-STREET PARKING SHALL BE PERMITTED IN THE ALLEYS.
22. NO EMPLOYMENT ACTIVITIES SHALL OCCUR WITHIN AN EASEMENT OR EASEMENT. EASEMENT CONTROL PLAN IS APPROVED BY THE BERKS COUNTY CONSERVATION DIVISION. ALL APPROVALS SPECIFIC TO THE RECORD FROM CDD AND PLANS ARE RECORDED WITH THE BERKS COUNTY RECORDER OF DEEDS.
23. THE POSTED SPEED LIMIT SHALL BE 25 MPH.
24. STREET LIGHTS LOCATED ON THE INDIVIDUAL LOTS WILL BE PLACED AT THE DEVELOPER'S EXPENSE AND WILL BE RELAYED BY THE TOWN OF WEST READING. INDIVIDUAL LOT OWNERS SHALL BE RESTRICTED FROM PROVIDING THESE LIGHTS.
25. PROPOSED MONUMENTS AND MONUMENTS SHALL BE INSTALLED AS SHOWN IN ACCORDANCE WITH THE BURGH OF WEST READING SURVEILLATION AND LAND DEVELOPMENT DEPARTMENT SECTION 002. MONUMENTS SHALL BE CHAINING, BENCH AND SILENT. THE MONUMENT SHALL BE SET ON A 3" RADIUS LINE. MONUMENTS ON CASHERE WAY, DIFTON WAY AND WALNUT WAY MAY BE SET ON A 5" RADIUS LINE.
26. THE EXISTING SANITARY MANHOLE IN TULLERPODEN AVENUE AT THE PROPOSED TIE-INS SHALL BE REPAIRED AND EXTENDED. CROWN SHALL BE PROVIDED.
27. CURB RADIUS AND CURB WITHIN 20' OF CURB RADIUS AT INTERSECTIONS TO BE PAINTED YELLOW.
28. THE EXISTING SIDEWALK ALONG TULLERPODEN AVENUE BETWEEN ELM STREET AND WALNUT STREET SHALL BE REPAIRED AND EXTENDED.
29. FOUR ADDITIONAL TREES ARE TO BE PROVIDED WITHIN THE OPEN SPACE. LOCATION TO BE DETERMINED AT TIME OF PLANTING.
30. THE REQUIRED WATER AND SEWER CAPACITY WILL BE PURCHASED AT THE TIME OF BUILDING PERMIT APPLICATION.
31. NAME-TYPE GRATES ARE TO BE PROVIDED IN INLETS C84, C84, C84, AND C84.
32. INLETS LOCATED IN SERVICE STREETS ARE TO BE PROVIDED WITH A TWO INCH SUMP AT THE TOP OF THE GRATE.
33. THE STORM SEWER HAS BEEN DESIGNED WITH ADEQUATE CAPACITY TO ALLOW FOR THE CONTRIBUTION OF THE DOWNSPOUTS FROM THE NORTHERN SIDE OF THE ADDING APARTMENT BUILDING. THE STORM SEWER INLETS C84 AND C84.

**R/W CURVE FUNCTIONS**

LINE	ANGLE	STATION	TANGENT	CHORD	CHORD BEARING	P.C.	P.T.
C1	32.82	99+19.81	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C2	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C3	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C4	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C5	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C6	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C7	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C8	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C9	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C10	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C11	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C12	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C13	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C14	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C15	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C16	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C17	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C18	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C19	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C20	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C21	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C22	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C23	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C24	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C25	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C26	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C27	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C28	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C29	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
C30	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00

**LOT CURVE FUNCTIONS**

LINE	ANGLE	STATION	TANGENT	CHORD	CHORD BEARING	P.C.	P.T.
L1	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L2	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L3	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L4	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L5	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L6	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L7	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L8	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L9	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L10	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L11	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L12	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L13	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L14	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L15	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L16	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L17	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L18	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L19	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00
L20	32.82	100+00.00	55.41	60.29	S67°57'06" W	100+00.00	100+00.00



THE FOLLOWING WAIVERS WERE APPROVED BY BOROUGH COUNCIL AT THERE MEETING ON OCTOBER 9, 2005:

SECTION 404.4.1 - TO ALLOW FOR THE REDUCTION OF THE REQUIRED CLEAR SIGHT TRIANGLES TO THE FOLLOWING AMOUNTS:

LACE DRIVE AND CASHERE WAY - 50'  
 ELM STREET AND CASHERE WAY - 61'  
 ELM STREET AND SILK DRIVE AND CASHERE WAY - 54'

SECTION 409.2 - TO ALLOW THE CENTERLINE OF THE PROPOSED PORTION OF ELM STREET TO BE OFFSET BY 5.00 FEET.

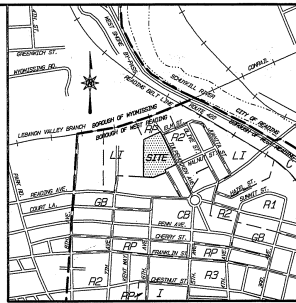
SECTION 409.4 - TO ALLOW FOR THE CENTERLINE INTERSECTION DISTANCES TO BE REDUCED FROM 350' TO 150' BETWEEN SILK DRIVE AND CASHERE WAY.

SECTION 409.6 - TO ALLOW FOR THE MINIMUM BLOCK LENGTH TO BE REDUCED FROM 500' TO 300'.

SECTION 402.1 - TO ALLOW LOTS 19 THROUGH 28 TO FRONT ON THE PLAYGROUND/ OPENSPACE RATHER THAN A PUBLIC ROAD.

SECTION 402.1.2 - TO ALLOW THE DRIVEWAYS ON LOTS 1, 3, 4, 5, 15, 16, 26, 27, 30, 46 AND 58 TO BE CLOSER THAN 40' TO THE NEAREST RIGHT-OF-WAY OF THE INTERSECTING STREET.

SECTION 502.2 - TO PERMIT THE CONSTRUCTION OF THE ALL ALLEYS WITH OUR CURBS.



**ZONING REGULATIONS**

RP - RESIDENTIAL/PROFESSIONAL DISTRICT

MINIMUM REGULATIONS	REQUIRED	PROVIDED
LOT AREA	3,000 SQ. FT.	5,294 SQ. FT.
LOT WIDTH	30 FT	54 FT
FRONT YARD SETBACK	10 FT	8 FT
REAR YARD SETBACK	10 FT	145 FT
SIDE YARD (END UNIT)	-	>10 FT

**MAXIMUM REGULATIONS**

STRUCTURE HEIGHT	35 FT	45 FT
IMPERVIOUS COVERAGE	70%	65% (LOT 17)

**DETACHED ACCESSORY BUILDING MIN. REQUIREMENTS**

REAR YARD SETBACK	3 FT	3 FT
SIDE YARD SETBACK	3 FT	2 FT

**PROPOSED STONE I**

PROPERTY OWNER & SOURCE OF TITLE  
 DEVELOPER  
 GRANITOR NARROW FABRICS  
 INDUSTRIAL CORPORATION  
 ONE ALLEN RD. 2ND FL.  
 DATES: 05/11/2004  
 UP: 10/15/2005

**PROPERTY OWNER & SOURCE OF TITLE**  
 DEVELOPER  
 METROPOLITAN DEVELOPMENT GROUP  
 430 WALNUT STREET  
 READING PA. 19601

**INTENDED USE:**  
 1. SINGLE FAMILY ATTACHED DWELLINGS WITH PUBLIC WATER AND PUBLIC SEWER AND WITH DETACHED GARAGES.

**PLAN SET INDEX**

- 05-001P-000 GRAVING PLAN
- 05-001P-001 EXISTING CONDITIONS PLAN
- 05-001P-002 LANDSCAPING PLAN
- 05-001P-003 ESDP PLAN
- 05-001P-004 CHASHERE WAY & DIFTON WAY
- 05-001P-005 'PROFILE SHEET'
- 05-001P-006 LACE DRIVE & SILK DRIVE
- 05-001P-007 ELM STREET & TULLERPODEN AVENUE
- 05-001P-008 PROPOSED PLAN
- 05-001P-009 OFFSITE STORM SEWER PLAN
- 05-001P-010 DETAIL SHEET
- 05-001P-011 SUBDIVISION PLAN
- 05-001P-012
- 05-001P-013
- 05-001P-014
- 05-001P-015

**REQUIRED OPEN SPACE**  
 - TRACT DENSITY = 50 UNITS/45 ACRES  
 - 9.4 UNITS/ACRE  
 - OPEN SPACE = 58% OF TRACT  
 = 0.52 ACRES  
 PROVIDED OPEN SPACE  
 = 0.34 ACRES

\* DEVELOPER TO GRASS AND STABILIZE OPEN SPACE AREA AS WELL AS PAY A FEE OF \$5,000 AT TIME OF DEDICATION OF OPEN SPACE IN LIEU OF PROVIDING THE ADDITIONAL REQUIRED OPEN SPACE.

**TOTAL AREA: 6.1631 ACRES**

**CERTIFICATION OF ACCURACY (PLAN)**

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREIN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE BOROUGH OF WEST READING SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

*[Signature]*  
 JOHN K. WETZEL  
 ENGINEER  
 No. 28242  
 State of Pennsylvania  
 Mechanical Engineering

DATE: 12-1-05

Revision	Date	Description	Prepared By	Reviewed By
F2	12/6/05	PER BOROUGH ENGINEER REVIEW	MDH	

**CERTIFICATE OF OWNERSHIP**

COUNTY OF BERKS  
 COUNTY OF BERKS DEPARTMENT OF PUBLIC WORKS  
 COUNTY OF BERKS DEPARTMENT OF PUBLIC WORKS  
 COUNTY OF BERKS DEPARTMENT OF PUBLIC WORKS

**WEST READING BOROUGH PLANNING COMMISSION**

AT A MEETING HELD ON DECEMBER 7, 2005 THE PLANNING COMMISSION OF THE BOROUGH OF WEST READING, APPROVED THE SUBDIVISION PLAN OF THE PROPERTY OF GRANITOR NARROW FABRICS, INDUSTRIAL CORPORATION AS SHOWN HEREON.

*[Signatures]*

**WEST READING BOROUGH COUNCIL**

AT A MEETING HELD ON DECEMBER 20, 2005 THE BOROUGH COUNCIL OF THE BOROUGH OF WEST READING, BY RESOLUTION, DULY ENACTED, APPROVED THE SUBDIVISION PLAN OF THE PROPERTY OF GRANITOR NARROW FABRICS, INDUSTRIAL CORPORATION AS SHOWN HEREON.

*[Signatures]*

**BERKS COUNTY PLANNING COMMISSION**

"As per the provisions of ACT 247, the Pennsylvania Municipalities Planning Code, and the requirements of Berks County Ordinance No. 1, the Land Subdivision and Land Development Regulations of the County of Berks, the Berks County Planning Commission has reviewed this Plan on 7/10/05 and commented on same to the municipality in question, and is affixing its seal and the signature of its Executive Director thereto to signify that such review and comment has occurred. The Berks County Planning Commission assumes no responsibility for this Plan, other than that stated above."

72-1125

**RECORDER OF DEEDS**

**McCarty Engineering & Surveying**  
 121 Spangler Road, Hill Lane, PA 19604  
 Phone (610) 975-0000 Fax (610) 975-0011  
 WWW.MCARTYENGINEERING.COM

**FINAL PLAN**  
 "NARROW FABRICS"  
 CLIENT: METROPOLITAN DEVELOPMENT GROUP  
 LOCATION: BOROUGH OF WEST READING, BERKS COUNTY, PENNSYLVANIA  
 DATE: NOVEMBER 15, 2005  
 DESIGNED BY: MDH  
 CHECKED BY: JKH  
 PLOTTED BY: JKH  
 DATE: 12-1-05  
 SCALE: 1" = 50'  
 SHEET: 1 OF 14