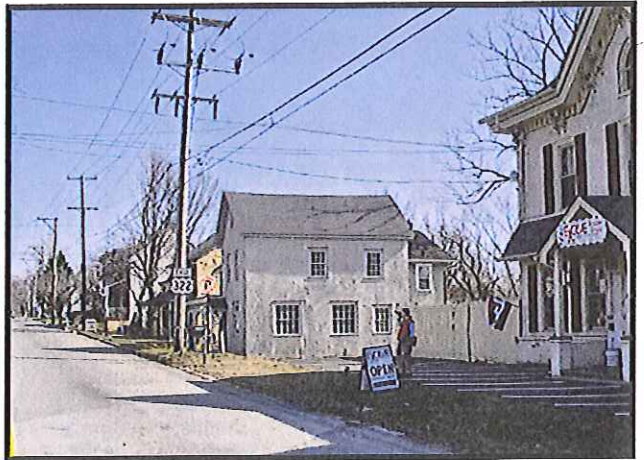
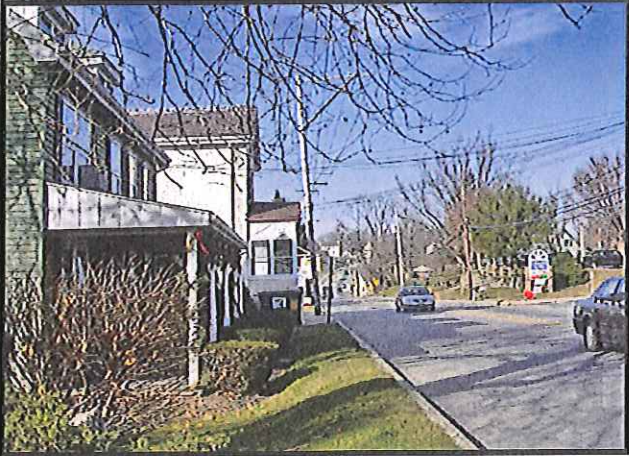


Exhibit B

Guthriesville Village Manual of Written & Graphic Design Guidelines
East Brandywine Township, Chester County, PA



May 23, 2012; June 21, 2012; July 20, 2012; Updated: September 20, 2012



THOMAS COMMITTA ASSOCIATES, INC.
Town Planners & Landscape Architects

Guthriesville Village Manual of Written & Graphic Design Guidelines
East Brandywine Township, Chester County, PA

Outline of Contents:

1. Purpose and Applicability
2. Overall Form
3. Connectivity of Accessways
 - 3.1 Typical Section for Accessways
4. Parking Location and Types
5. Building Location – New Construction
6. Building Height and Proportion – New Construction
7. Adaptive Reuse of Buildings
8. Accessory Buildings & Structures
9. Sidewalks & Crosswalks
10. Pedestrian Amenities
11. Street Trees
12. Other Landscape Elements
13. Street Lights
14. Signage
15. Guthriesville Village Development Strategy Plan

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA

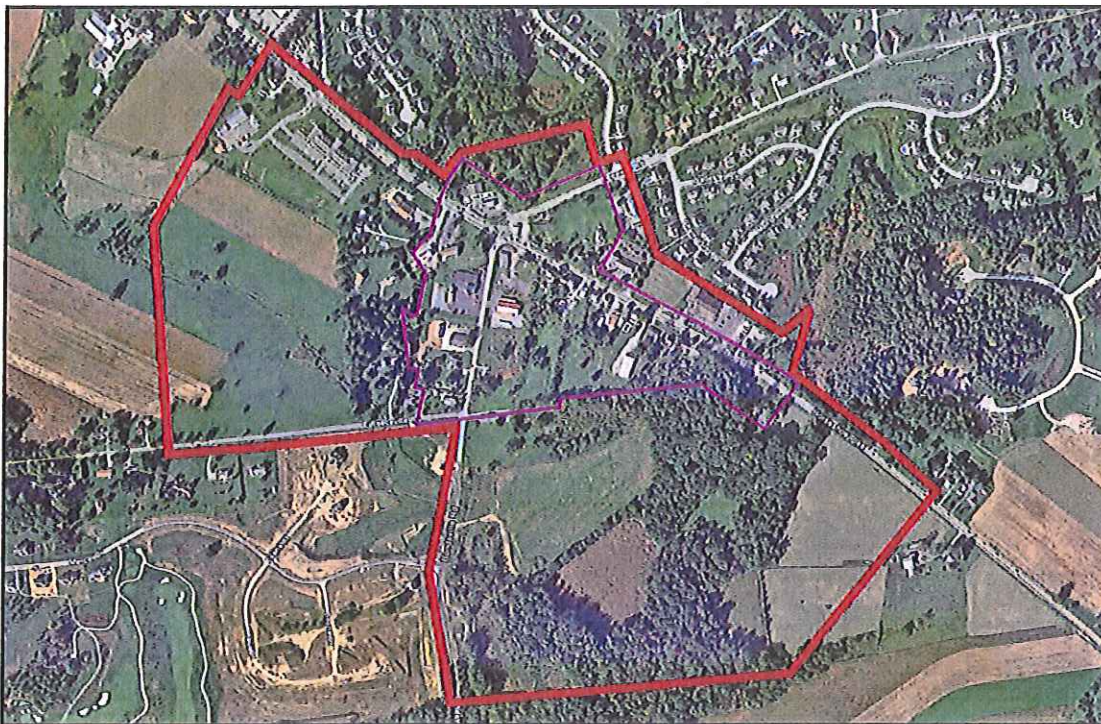
Purpose:



The Intended Purpose of this Manual of Written and Graphic Design Guidelines is to:

- 1.A. Encourage the continuation of the traditional “small town” character and land use patterns of Guthriesville Village;
- 1.B. Build more functional and attractive streetscapes in Guthriesville Village;
- 1.C. Guide the design of internal vehicular thoroughfares and pedestrian connections;
- 1.D. Provide strategies for development and redevelopment consistent with the scale, height, and proportions of the traditional Village setting; and
- 1.E. Inform the beautification and enhancement of the Village as a desirable place to live, work, shop, learn and recreate.

Applicability:

- 1.F. This Manual of General Design Guidelines applies to all properties shown on the Guthriesville Village Development Strategy Plan, and highlighted on the aerial photograph below.
- 1.G. This Manual shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes and hardscapes.
- 1.H. Throughout this document the word, “shall” is a requirement and the word, “should” is a preferred option desired by the Township.
- 1.I. The places, spaces, buildings, streetscapes, etc. as shown in this Manual shall be emulated.



 Primary Study Area  Core Area

Overall Form

Guthriesville Village Manual of Written & Graphic Design Guidelines East Brandywine Township, Chester County, PA



Group new buildings close to existing buildings.



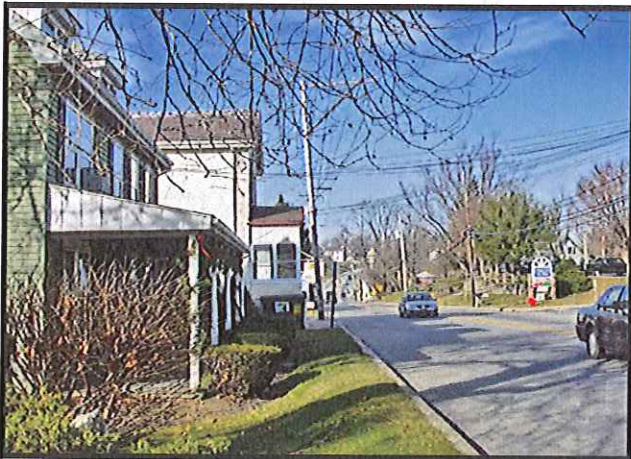
Align new buildings to match existing buildings.

Legislative Intent:

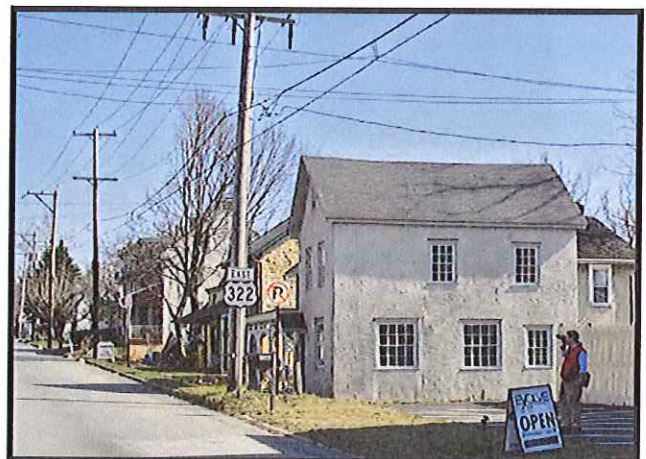
- 2.1 Development in Guthriesville Village is intended to promote a compact, mixed-use, and walkable form and pattern of development.
- 2.2 Development is also intended to promote development that is consistent with the character, scale, and proportion of buildings built before 1950 in Guthriesville Village.

Design Guidelines:

- 2.3 New development shall create a neighborhood and block structure, with interconnected accessways, sidewalks, and crosswalks.
- 2.4 Smaller "footprint" buildings shall be clustered together in a traditional alignment.
- 2.5 The streetscape of Guthriesville Village shall be defined with buildings located close to sidewalks.
- 2.6 The Streetscape shall be embellished with street trees and other landscaping, street lights, sidewalks and other pedestrian amenities.



Existing buildings in alignment along Route 322.



Existing buildings in alignment along Route 322.

Connectivity of Accessways

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



Interconnected network of streets and alleys.

Legislative Intent:

- 3.1 An interconnected network of accessways is intended to enhance vehicular traffic flow.
- 3.2 An interconnected network of accessways is also intended to promote a connected sidewalk network and pedestrian circulation system.
- 3.3 Traffic calming techniques are intended to make a more pedestrian-friendly setting.
- 3.4 Curb cuts are intended to be minimized to promote pedestrian continuity.



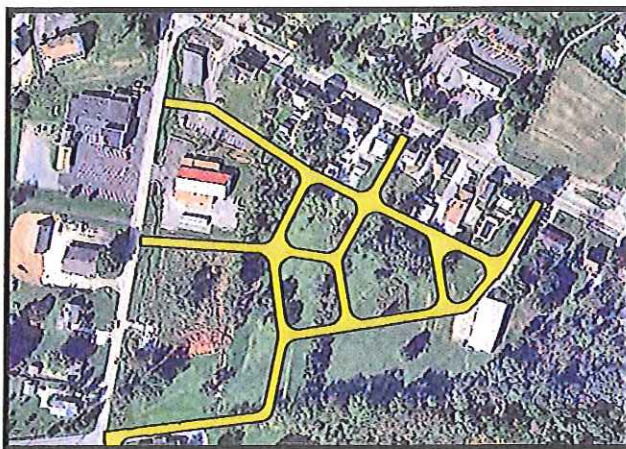
Extra wide curb cuts are not pedestrian-friendly, as they interrupt sidewalk activity.



Curb bulb-outs are an effective traffic-calming device, and help to define on-street parking.

Design Guidelines:

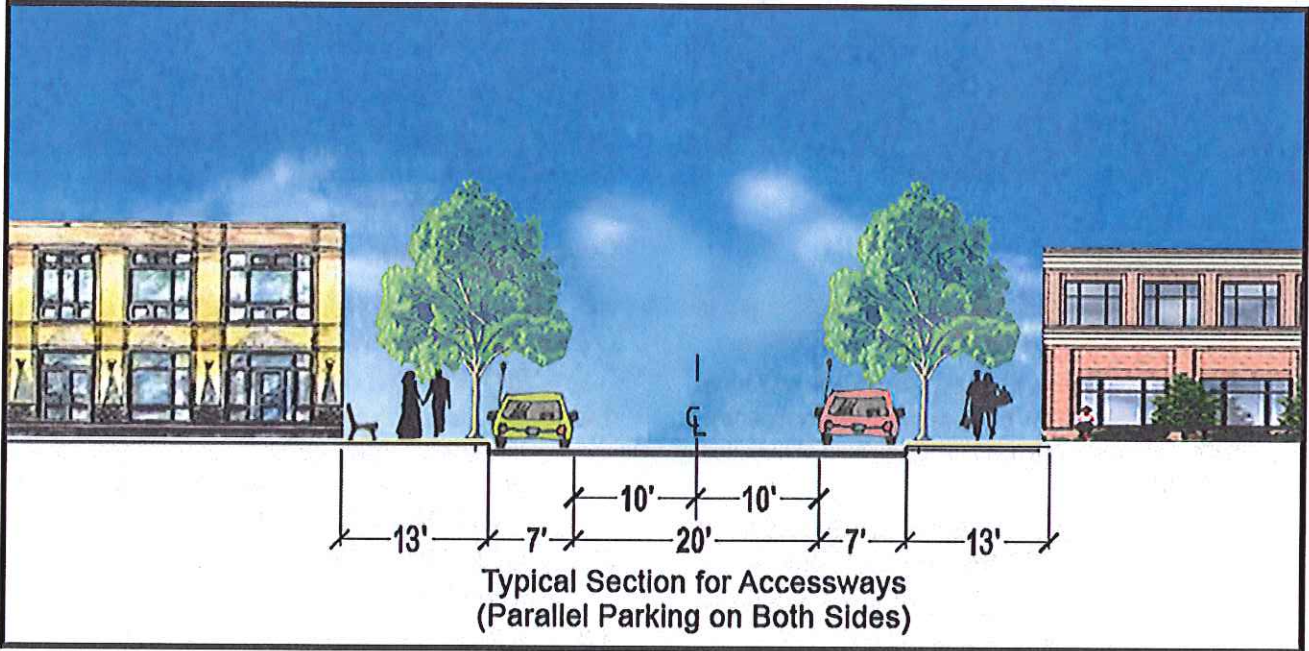
- 3.5 An interconnected network of accessways shall be created. Cul-de-sac streets shall not be created.
- 3.6 Traffic calming techniques such as horizontal and vertical deflections in road geometry, speed tables, curb bulb-outs, and roundabouts shall be utilized.
- 3.7 Curb cuts along main accessways shall be minimized to the extent practical.
- 3.8 Alleys should be constructed and maintained wherever possible.
- 3.9 Refer to page 3.1 for Typical Section for Accessways.



Interconnected network of Accessways.

Typical Section for Accessways

Guthriesville Village Manual of Written & Graphic Design Guidelines
East Brandywine Township, Chester County, PA



Parking Location and Types

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



Parking located to the side and rear of the building.



Two-story Bank with with drive-thru and parking in rear yard.

Legislative Intent:

- 4.1 Off-Street Parking is not intended to be located between the front of a building and the street, except for approved on-street parking.
- 4.2 Off-street parking lots are intended to be screened from view.
- 4.3 On-street parking is intended compliment vehicular traffic flow and to help insulate pedestrians from traffic flow.

Design Guidelines:

- 4.4 New off-street parking areas shall be located to the side and rear of buildings.
- 4.5 New off-street parking areas shall not be located at street corners.
- 4.6 Off-street parking visible from a street shall be screened piers, fences, hedges and other landscaping at 30 inches in height.
- 4.7 On-Street Parking shall be provided where feasible, and where useful in meeting the parking needs of adjoining land uses.



Off-Street Parking screened by piers, fence, and hedge.

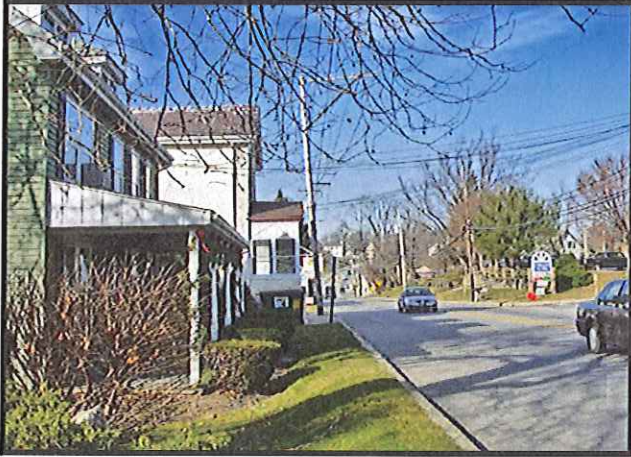


Accessway with on-street parking that is bordered with a sidewalk, grass strip, street trees and streetlights.

Building Location - New Construction

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



The alignment of existing historic buildings in Guthriesville Village.

Legislative Intent:

- 5.1 The Streetscape is intended to be formed by buildings located close to sidewalks.
- 5.2 Buildings are intended to be located in general alignment with existing historical buildings in Guthriesville Village.
- 5.3 Buildings are intended to "anchor" corners.



Buildings set back from the road evoke a more suburban identity.

Design Guidelines:

- 5.4 New buildings shall be built close to the sidewalk and in alignment with existing buildings on a block.
- 5.5 Buildings shall be located so as to "anchor" corners (with parking located away from the street corners).
- 5.6 Buildings shall flank accessways to create a "bookends" effect.



New buildings in alignment along the streetscape.



Two-story buildings with Streetscape Context.

Building Height and Proportion - New Construction

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



One of the larger iconic historic buildings in Guthriesville Village.



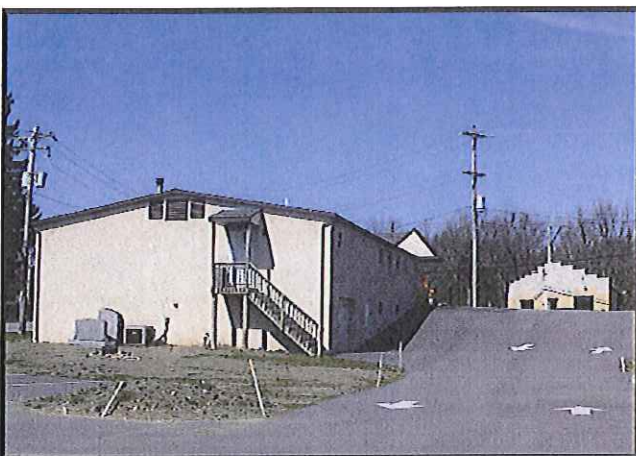
New construction that is evocative of an older building typology.

Legislative Intent:

- 6.1 Minimum 2-story building height regulations are intended to promote less building coverage, and engender a more village-type scale.
- 6.2 Buildings and structures, in height and massing, are intended to be human-scaled.
- 6.3 Facade articulation, variation in roof lines, and vertical expression of buildings, is intended to promote consistency with the scale and proportion of traditional Village streetscapes and neighborhoods.

Design Guidelines:

- 6.4 Buildings shall be a minimum of 2 stories or 20 feet.
- 6.5 A primarily vertical expression to buildings shall be created through the use of facade articulation in the form of windows, doors, piers, pilasters, columns, colonnades, and the like.
- 6.6 Roof lines of buildings shall be varied through the use of dormers, gables, and changes in roof pitch, to the maximum extent possible.
- 6.7 No building shall have a flat roof.



Contemporary purpose-built non-residential building that does not emulate the historic Village character.



A 2-story bank building (with drive-through in back) that emulates the height and proportion of a pre-1950 building.

Adaptive Re-use of Buildings

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



One of the several intact buildings in Guthriesville that could be adaptively re-used.

Legislative Intent:

- 7.1 Adaptive re-use is intended to serve as an alternative to demolition of historic resources.
- 7.2 Adaptive re-use is intended to foster economic redevelopment in the core area.



An opportunity for rehabilitation and adaptive re-use.

Design Guidelines:

- 7.3 Existing pre-1950 buildings shall be adaptively re-used to the maximum extent possible.
- 7.4 The structural integrity and historical significance of a building shall be considered in assessing the suitability of adaptive re-use.
- 7.5. The Secretary of the Interior's Standards for Rehabilitation shall be used as a guide for the adaptive re-use of buildings.
- 7.6 Alterations to the facades of buildings that are context sensitive (e.g., pre-1950) shall be minimized.



An historic building that is already being adaptively re-used with a non-residential use on the first floor.



A non-historic building in Guthriesville Village that presents an opportunity for adaptive re-use.

Accessory Buildings & Structures

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



Historic accessory building (spring house) provides an opportunity for adaptive re-use.

Legislative Intent:

- 8.1 Accessory buildings are intended to be built and maintained so as to be architecturally compatible with principal buildings.
- 8.2 Accessory structures are intended to be complementary to the Village character.



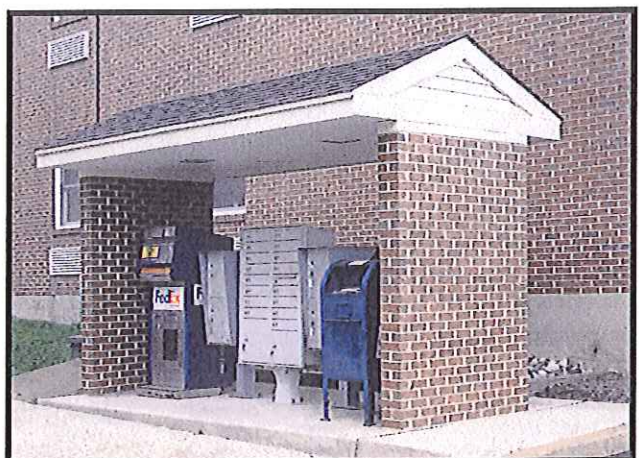
Historic accessory building (garage) provides opportunity for small studio or shop.



Gas Station Canopy with Village character.

Design Guidelines:

- 8.3 Accessory buildings with architectural features similar to the overall neighborhood character of the principal buildings shall be built and maintained.
- 8.4 The height and proportions of accessory buildings and structures shall be in a diminished scale relative to principal buildings.
- 8.5 Garage doors and siding for new construction shall be painted non-white colors.
- 8.6 Accessory buildings should be considered for adaptive re-use.



Common mail area.

Sidewalks & Crosswalks

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



Existing sidewalk along Route 322 (that could be extended).



A well-maintained sidewalk along the base of a slope/berm as part of a network of pedestrian connections.

Legislative Intent:

- 9.1 Development in Guthriesville Village is intended to promote and foster pedestrian connectivity and to encourage walking to the maximum extent possible.
- 9.2 Sidewalks are intended to provide opportunities for pedestrian circulation.
- 9.3 Sidewalks and Crosswalks are intended to facilitate safe, secure, and convenient connections between destinations.

Design Guidelines:

- 9.4 Sidewalks at 4'-6" shall be built and maintained
- 9.5 Sidewalks shall be installed and maintained to connect to buildings.
- 9.6 Crosswalks shall be installed where sidewalks cross all cartways and at entrances to common parking areas.
- 9.7 All sidewalks & crosswalks shall be paved, ADA compliant, and sloped minimally to promote positive drainage.



A decorative crosswalk contrasts with the cartway surface in order to promote visibility, and promote pedestrian circulation.



A decorative crosswalk.

Pedestrian Amenities

Guthriesville Village Manual of Written & Graphic Design Guidelines East Brandywine Township, Chester County, PA



A low sitting wall as informal pedestrian gathering area.



A small pedestrian gathering area with brick pavers, benches, planters and other landscaping can enhance a residual portion of a property.

Legislative Intent:

- 10.1 Development in Guthriesville Village is intended to provide opportunities for sitting to the maximum extent possible.
- 10.2 Pedestrian Gathering Areas are intended to provide viable opportunities to celebrate the public realm.

Design Guidelines:

- 10.3 Install and maintain benches, sitting walls, decorative pavers, plantings and waste receptacles in pedestrian gathering areas to enhance attractiveness and safety.
- 10.4 Maintain Pedestrian Gathering Areas to provide year-round attractiveness and utility.
- 10.5 Outdoor dining shall be provided in Guthriesville Village where appropriate.



A decorative bench, trash receptacle, and planter in a pedestrian gathering area.



Outdoor dining adds vibrancy to the Village.

Pedestrian Amenities

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



Civic Green with pergola, benches and fountain form a pedestrian gathering area.



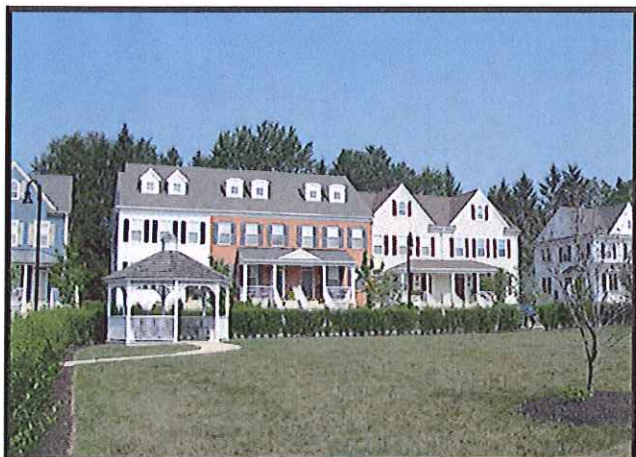
Village Green around which stores and shops are clustered.

Design Guidelines:

10.6 Village Greens shall be built and maintained to enhance the shopping, living, and working environment.

Design Guidelines:

10.7 Village greens should have gazebos, pergolas, and pavilions wherever possible.



Village Green located central to a compact neighborhood of homes.



Walkway connecting public space.

Street Trees

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



Street Trees with upright form along the streetscape (with retail building located close to the sidewalk).

Legislative Intent:

- 11.1 Street trees are intended to provide shade and screening, and add a graceful component to the Streetscape.



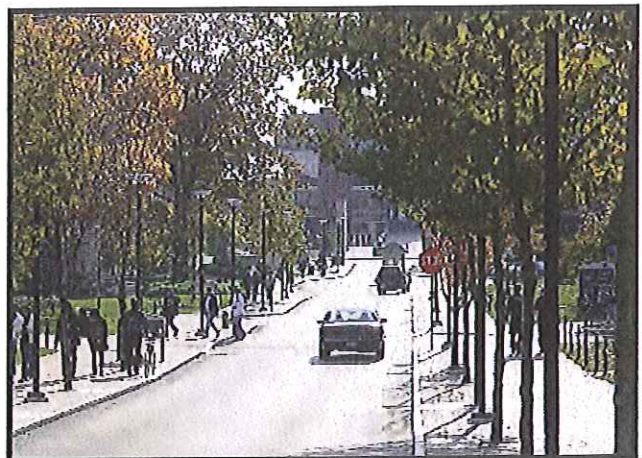
Street Trees in combination with street lights help to define the residential streetscape.

Design Guidelines:

- 11.2 Street Trees shall be installed and maintained along both sides of all streets.
- 11.3 Street Trees shall be alternated with street lights along accessways.
- 11.4 Deep rooted, stress-tolerant, street tree species shall be utilized.
- 11.4 Street trees shall be maintained to provide clearance for vehicles and pedestrians.



Street trees maintained along a sidewalk to balance the architectural scale of buildings, and to provide shade.



Street Tree alley.

Other Landscape Elements

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



Building complemented with shade tree and picket fence.



Street Wall in lieu of building wall, for Wawa Store

Legislative Intent:

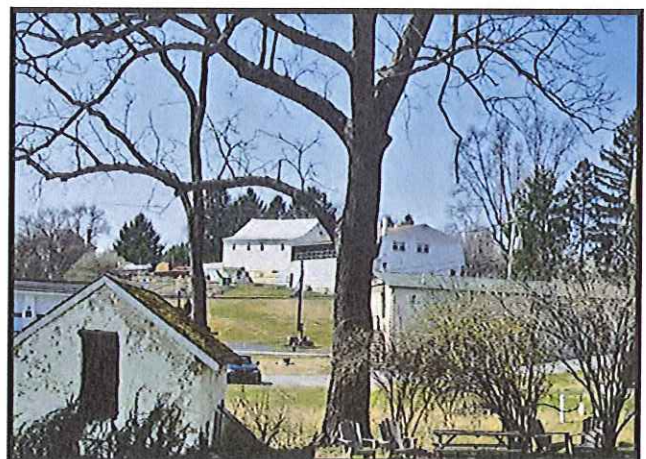
- 12.1 Landscape features are intended to be designed to help achieve a balance between man-made and natural materials, objects, and spaces.
- 12.2 Shrubs, groundcovers, and perennials are intended to provide attractive layering and color along the Streetscape.
- 12.3 Mature trees are intended to be preserved as components of the historic character of Guthriesville Village.

Design Guidelines:

- 12.4 Building design shall be complemented with landscape features and materials.
- 12.5 Colorful plants shall be employed to enhance the streetscape and individual properties.
- 12.6 Buffer plantings shall be provided to separate disparate uses.
- 12.7 Plant materials shall be selected to be tolerant of prevailing climatic, hydrologic and soil conditions.
- 12.8 Mature trees shall be preserved to the maximum extent possible.



A narrow buffer of evergreen trees.



Mature trees contribute to the historic Village character and scale.

Street Lights

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



Pedestrian-scaled, decorative lighting.



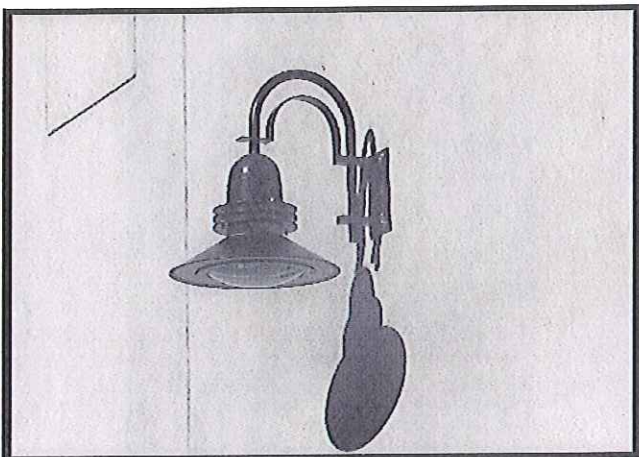
Decorative lighting and street trees installed in a grass strip along the cartway.

Legislative Intent:

- 13.1 Street lights are intended to be installed and maintained to enhance safety and wayfinding for drivers and pedestrians.
- 13.2 Street lights are intended to reinforce the traditional Village character of Guthriesville.
- 13.3 Pedestrian-scaled street lights are intended to provide a safe and attractive complement to the Streetscape.

Design Guidelines:

- 13.4 Pedestrian-scaled Street Lights shall be installed and maintained along both sides of all streets.
- 13.5 Street lights shall be located to complement sidewalk and street tree features along the Streetscape.
- 13.6 Building-mounted lights shall be used where pole-mounted lights cannot be installed.
- 13.6 Street light posts should be equipped to support an attached vertical banner.



Where pole-mounted lights cannot be installed, a building-mounted light can provide illumination along an accessway and/or sidewalk.



Street light with vertical banner.

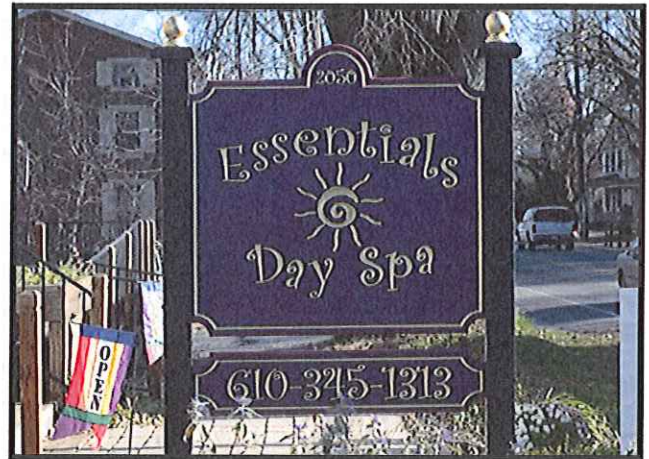
Signage

Guthriesville Village Manual of Written & Graphic Design Guidelines

East Brandywine Township, Chester County, PA



A useful building-mounted business sign.



An attractive free-standing business sign.

Legislative Intent:

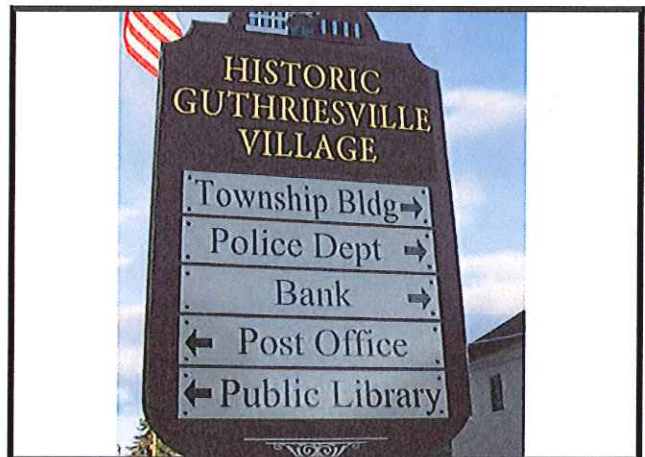
- 14.1 Non-residential signage is intended to evoke, and contribute to, the character and identity of the Village setting.
- 14.2 Wayfinding Signage is intended to provide orientation and a sense of place, as well as an aid to navigation for motorists.

Design Guidelines:

- 14.3 Signs that are attached or project from buildings shall be as small as possible.
- 14.4 Simple, colorful wall signs should be used as an attractive complement to the character and identity of Guthriesville Village.
- 14.5 Freestanding signs shall be minimized to reduce visual clutter.
- 14.6 Wayfinding signage shall be installed and maintained to promote the effective movement of vehicles.



Banner signs help to identify the core area.



Wayfinding sign: freestanding directional sign.

East Brandywine Township – Chester County, PA

Guthriesville Village
Zoning Ordinance Amendments

Amendments to:

- Article II. Terminology
§ 399-9. Definitions
- Article III. Zoning Districts and Boundaries
§ 399-10. Establishment of districts; maps
- Article IV. R-2 Residential District
- Article VIII. VC Village Commercial District

Draft: 9-20-12

Article II. Terminology

§ 399-9. Definitions

BUILD-TO LINE – The line which defines the placement of the building from the street on which the building fronts. The build-to line of the building forms the street wall line. On a corner lot, the build-to line is located on each side of a lot abutting a street. A Build-To line may have a recess or projection up to four (4) feet in order to promote variations of building placement on a block.

INFILL DEVELOPMENT – New development, adaptive re-use of buildings, redevelopment, and the like.

REDEVELOPMENT – The re-use, alteration, enlargement or extension of a building by one-third (33 1/3%) or more of the gross floor area of the building.

STREET WALL – The wall of a building adjoining a sidewalk at the edge of the street right-of-way; or approved architecture or landscaping elements at least 30 inches but not more than 42 inches in height such as walls, pillars, colonnades, fences, and hedges, in lieu of a building wall when an existing building is already set back from the street wall line. A street wall shall extend the entire length of the edge of the street right-of-way, except where curb cuts, driveways and pedestrian access is provided.

STREETSCAPE – The space formed by buildings adjoining the street, which is embellished with sidewalks, street trees, street lights, curbs, on-street parking, and cartways. The streetscape is framed by buildings, which create the “outdoor room” character of the street.

TRADITIONAL BUILDING – A building constructed prior to 1950 in Guthriesville Village typically two or three stories in height, adjoining or located close to the street or other accessway.

Article III. Zoning Districts and Boundaries

§ 399-10. Establishment of districts; maps.

- B. Zoning Overlay Maps. Further, certain areas as shown on the following Zoning Overlay Maps:

Guthriesville Village TND Overlay District

(Note:

We need to create a Zoning Map Amendment. Let's discuss on 9-25-12)

Article IV. R-2 Residential District

§ 399-26. Statement of Intent.

The R-2 Residential District is intended to enable the development of stable, well-designed residential neighborhoods with single-family detached dwellings. Allowable densities are considered appropriate to assure compatibility with the existing pattern of development, the limitations on sewage facilities and water supply, and the limited capacity of the road network. Residential densities, dwelling types, policies regarding sewage facilities, and policies limiting the use of central water supply are established in this district as means to achieve this objective and as appropriate components of the overall pattern of land use that is provided throughout the Township; they are intended to provide for orderly growth and utilization of natural resources in accordance with the Township Comprehensive Plan. Clustering of single-family dwellings is offered and encouraged as a site design mechanism to further the resource conservation objection. **A portion of the R-2 Residential District adjoining the VC District of Guthriesville Village is intended to be governed by the TND Overlay District regulations of Article VIII.**

§ 399-27. Use regulations.

- C. Conditional uses. The following uses shall be permitted when approved as a conditional use by the Board of Supervisors in accordance with the terms of this article and § 399-137:
 - (1) Home occupation, in accordance with the terms of § 399-93D.
 - (2) Village extension development.
 - (3) **Traditional Neighborhood Development (TND) in the TND Overlay District.**

§ 399-28. Area and bulk regulations.

- A. **Except as set forth in the TND Overlay District, the following regulations shall apply in the R-2 District to those uses permitted under § 399-27A(3) and (4), B(1):**
- C. Clustered residential development, as permitted by § 399-27A(3), shall comply with the regulation in § 399-31 of this article, **unless the tract is in the TND Overlay District.**
- D. **Traditional Neighborhood Development (TND) shall comply with Article VIII provisions.**

§ 399-29. Design standards.

- C. **The Design Standards of Article VIII shall apply to the TND Overlay District.**

§ 399-30. Standards and criteria for conditional uses.

- C. **Refer to Article VIII for TND Overlay District development.**

§ 399-31.1. Regulations for Traditional Neighborhood Development in the TND Overlay District.

- A. **Refer to Article VIII.**

Article VIII. VC Village Commercial District

§ 399-38. Intent.

The VC Village Commercial District is intended to reflect and support the properties and uses that are predominant in the village of Guthriesville and Lyndell, and to assure that new uses or changes in use, and the dimensional and design standards to which they much adhere, are compatible with the traditional, compact neighborhood commercial character and complementary residential uses within these village. Unobtrusive transition to the surrounding residential districts is to be achieved. The district seeks to limit and appropriately manage highway-oriented business uses; its uses are not meant to attract significant regional traffic. The standards of the VC District also are intended to address potential concerns relating to air quality, pedestrian and vehicular access, and off-street parking, and **Traditional Neighborhood Development (TND)**.

§ 399-39. Use regulations.

- A. Permitted uses. A building may be erected, altered, or used, and a lot may be used or occupied, for any one of the following purposes, or for as many as three such purposes in combination, and no other:
- (1) Single-family detached dwelling.
 - (2) Dwelling unit or units, when arranged to form an integral part of a building in which the ground floor, or at a minimum the front portion thereof, is constructed and maintained for any use permitted is constructed and maintained for any use permitted under Subsection A(3) through (13) herein, and when in compliance with Subsection 1 below.
 - (3) Retail sale of dry goods, hardware, variety and general merchandise, clothing, food, flowers, pharmaceuticals, personal care items, household supplies or furnishings; musical, professional, or scientific instruments; and similar items, but specifically not including:
 - (a) ~~The sale of new or used automobiles, trucks, or similar vehicles.~~
 - (ba) The sale of automotive fuel or lubricants; and
 - (eb) A convenience store.
 - (4) Personal service enterprises such as barbershop; beauty salon; shoe repair; tailor; dropoff/pickup facility associated with off-site clothes cleaning or pressing operation; repair of television, radio, and similar appliances and equipment; plumber; electrician.
 - (5) Restaurant, retail bakery, confectionery, or other places serving food and/or beverages, provided that no fast-food restaurant shall be permitted.
 - (6) (Reserved) *Editor's Note: Former Subsection A(6), regarding convenience stores, as amended, was deleted 3-6-2008 by Ord. No. 03-2008.*
 - (7) Office for the professional practice of medicine, law, engineering, architecture, real estate, insurance, or financial consultation.

- (8) Studio for performing or visual arts; gallery.
- (9) Inn, but not including motel/hotel.
- (10) Gift, art, and/or antique shop.
- (11) Museum or library.
- (12) Specialty shop and facilities for craftsman, such as blacksmith, tinsmith, or cabinet maker.
- (13) Places of indoor amusement or recreation, but not including bowling alley or similar large-scale facilities.
- (14) Accessory use on the same lot with and customarily incidental to any of the foregoing permitted uses, including but not limited to those uses described in § 399-92.

B. Uses by special exception.

- (1) Any of the following uses shall be permitted when approved as a special exception by the Zoning Hearing Board, in accordance with the terms of this article and the standards and criteria contained in § 399-145 of this chapter:
 - (a) Conversion of a single-family dwelling, subject to the provisions of § 399-96.
 - (b) Accessory dwelling unit, in accordance with the terms of § 399-91.
 - (c) Religious use.
 - (d) (Reserved) *Editor's Note: Original Subsection B4, re: automobile service station and automobile repair, was repealed 6-19-2002*
 - (e) Bed-and-breakfast facility, in accordance with the terms of § 399-95.
 - (f) Any use deemed by the Zoning Hearing Board to be of the same general character as any of the uses specifically permitted under Subsection A. *Editor's Note: Former Subsection B(1)(b), regarding day-care facilities as principal uses in the VC Village Commercial District, added 10-19-2005 by Ord. No. 4-2005, which immediately followed this subsection, was repealed 3-4-2010 by Ord. No. 05-2010.*
- (2) Among its other considerations, the Zoning Hearing Board may, as it deems appropriate, require any applicant for a special exception to prepare and submit a traffic impact study. Such study shall comply, at minimum, with the requirements of § 350-37 of Chapter 350, Subdivision and Land Development; in addition, the applicant may be required to address specific measures to achieve satisfactory access management.

- C. Conditional uses. The following uses shall be permitted when approved as a conditional use by the Board of Supervisors in accordance with the terms of § 399-43 and other applicable provisions of this article, and of § 399-137:
- (1) Single-family attached dwellings.
 - (2) Two-family dwellings.
 - (3) Planned village commercial center, comprising one or more building containing four or more of the uses permitted under the terms of Subsection A.
 - (4) **Traditional Neighborhood Development (TND).**

§ 399-40. Area and bulk regulations.

- A. The regulations in this section shall be applicable only when as a prerequisite, it can be demonstrated that adequate sewage facilities and water supply for the use in question can be provided and approved. Criteria for determining such adequacy shall include compliance with the requirements of this article and other applicable provisions of this chapter, as well as the requisite approvals and permits from the Chester County Health Department and/or the Pennsylvania Department of Environmental Protection. Any proposed use for which water and/or sewage facilities are deemed inadequate to serve such use shall comply with the area and bulk regulations for single-family dwellings in the R-3 District.
- B. Minimum lot area. Except as otherwise specified by this chapter for particular uses, a net lot area of not less than 20,000 square feet shall be required in the VC District. Where the lot is to contain a combination of uses, as permitted in § 399-39, a minimum net lot area of 10,000 square feet per use shall be required.
- C. Minimum lot width. Each lot shall have a width of not less than ~~100~~ **80** feet at the building setback line.
- D. Minimum front yard. There shall be a front yard on each lot which shall be not less than ~~15~~ **10** feet in depth.
- E. Minimum side and rear yards.
- (1) On each lot except a corner lot, there shall be no required side yard where buildings are erected on the side lot line and share a common party wall with a building on an adjacent lot. Where buildings are not so erected, there shall be a side yard along each side lot line having a width of not less than 10 feet.
 - (2) On each corner lot, any side yard shall have a width of not less than 15 feet.
 - (3) No principal building shall be located closer than ~~45~~ **30** feet to any rear property line.
 - (4) Any accessory use structure may be located within a side or rear yard only in accordance with § 399-75 of this chapter or, with respect to the sheltering of animals, in accordance with § 399-85D(2).

- F. Maximum impervious surface. No more than ~~75%~~ **80%** of the net area of any lot may be covered by impervious surfaces.
- G. Minimum vegetative cover. Not less than ~~20%~~ **15%** of the gross area of any lot shall be planted and maintained with existing and/or installed vegetation.
- H. Maximum height. No building or other structure erected, altered, or enlarged in the VC District shall exceed a height of ~~three~~ **four** stories or ~~35~~ **45** feet, whichever is less.
- I. Dwellings in combination with nonresidential use.
 - (1) Any dwelling unit permitted under the terms of § 399-39A(2) above shall have a floor area of not less than 950 square feet.
 - (2) Total floor area devoted to dwelling units within the structure shall not exceed four times the total floor area of the ground-floor nonresidential use or uses.
 - (3) Entrance to any dwelling unit may be shared with another unit or units, but shall be independent of the nonresidential use or uses.
 - (4) Off-street parking required for each dwelling unit shall be in accordance with Article XV of this chapter, and shall be in addition to the parking requirements for the nonresidential use or uses.
 - (5) Where two or more dwelling units are to be created above the ground floor, requisite approvals of interior layout, emergency exits, etc., shall be obtained from the Pennsylvania Department of Labor and Industry, and a copy provided to the East Brandywine Fire Company upon receipt of such approval.

§ 399-41. Design standards.

(No changes. See original Zoning Ordinance text.)

§ 399-42. Zoning compliance plan.

(No changes. See original Zoning Ordinance text.)

§ 399-43. Standards and criteria for conditional uses.

- A. Single-family detached dwellings.
 - (1) Maximum density: ~~Four~~ **Five** dwelling unit per acre of net tract area.
 - (2) Maximum impervious surface: No more than ~~45%~~ **50%** of the gross tract area shall be covered by impervious surfaces.
 - (3) Common open space: It is not required that common open space be provided as part of the development of single-family attached dwellings in the VC District. Where common open space is provided, however, it shall comprise an area representing not less than 30% of the gross tract area.
 - (4) Minimum width of unit: 20 feet.

- (5) Minimum front yard: 15 feet.
- (6) Minimum side yard (end units): 15 feet.
- (7) Minimum rear yard: 45 feet.
- (8) All dwellings shall be served by a community or public sewage system and a central water supply system. The proposals for sewage disposal and water supply shall comply with the terms of §§ 399-40A and 399-41K above.
- (9) The furnishing of a detailed and acceptable planting plan and its approval by the Board of Supervisors shall be a condition of any approval of an application for single-family attached dwellings.
- (10) The use, location, design, maintenance, and ownership of any common open space areas shall be in accordance with the applicable standards contained in § 399-58C(5) of this chapter.
- (11) Design standards regarding building separation, setbacks, and length shall be those contained in § 399-37E(3) of this chapter.

B Two-family detached dwellings.

- (1) Minimum net lot area: ~~10,000~~ **8,500** square feet per family.
- (2) Minimum lot width: 60 feet as measured at the building setback line.
- (3) Minimum front yard: 15 feet.
- (4) Minimum side yard: 15 feet.
- (5) Minimum rear yard: 45 feet.
- (6) Maximum impervious surface: Not more than ~~35%~~ **40%** of the net area of any lot may be covered by impervious surfaces.
- (7) Maximum height: Three stories or 35 feet, whichever is less.
- (8) All dwelling shall be served by a community sewage system and a central water supply system. The proposals for sewage disposal and water supply shall comply with the terms of §§ 399-40A and 399-41K above.

C. Planned Village Commercial Center.

- (1) Minimum gross tract area: 32,000 square feet.
- (2) Minimum net tract area per individual use: 8,000 square feet.
- (3) Minimum tract width: 125 feet.

- (4) Minimum front yard: ~~60~~ 20 feet where parking is provided in the front yard; 35 feet where no parking is provided in the front yard.
- (5) Minimum side and rear yards: 15 feet where the tract abuts a nonresidential zoning district; 50 feet where the tract abuts a residential zoning district.
- (6) Minimum setback of parking areas from any tract boundary line: Eight feet.
- (87) Maximum total impervious surface coverage: ~~70%~~ 75% of the gross tract area.
- (98) Minimum vegetative cover: ~~25%~~ 20% of the gross tract area.
- (409) Frontage landscaping. There shall be a frontage landscaped area provided at the street right-of-way line, extending a minimum of eight feet into the front yard; and extending the entire frontage. Any unpaved area between the street right-of-way line and the edge of the cartway also shall be continuously maintained as a landscaped area. The landscaped area shall comply with the standards of § 399-79 of this chapter. No improvements other than access drives shall be permitted within these landscaped areas. Landscaping materials shall be selected and designed so as not to obstruct vision along the street and shall be resistant to road salt and pollution associated with vehicular traffic.
- (410) Perimeter buffering. There shall be a landscaped buffer along all side and rear property lines which abut a residential zoning district boundary or use. Plantings within the buffer shall have a minimum depth of eight feet and shall comply with the terms of § 399-79 of this chapter.
- (421) Access standards:
 - (a) A single, shared access shall be provided to serve the entire tract. Access shall take the form of an internal road which directs traffic to a single entrance with divided lanes, or by means of reverse frontage access.
 - (b) Entrances shall be a minimum of 24 feet wide and shall have a depth of 40 feet before being intersected by any internal access aisle.
- (432) Ownership. The tract of land to be developed shall be in one ownership, or shall be the subject of an application filed jointly by the owners of the entire tract, and shall be under unified control. If ownership of the entire tract is held by more than one person or entity, the application shall identify and be filed on behalf of all the said owners. Approval of the plan shall be conditioned upon agreement by the applicant or applicants that the tract shall be developed under single direction in accordance with the approved plan. No site preparation or construction shall be permitted other than in accordance with the approved plan. If ownership of the tract changes subsequent to approval of the plan, no site preparation or construction by such new owner or owners shall be permitted unless and until such owner or owners shall review the terms and obligations of the approved plan and agree in writing to be bound thereby with respect to development of the tract.

(1413) Covenants and restrictions. The language, terms, and conditions of any proposed covenants or restrictions shall be subject to review and recommendation by the Township Solicitor.

D. Traditional Neighborhood Development (TND) Overlay District.

(1) **Intent.** The intent of this section is to provide regulations and written and graphic design guidelines to:

- (a) Address the purposes, objectives, and standards of Article VII-A, Traditional Neighborhood Development, of the Pennsylvania Municipalities Planning Code.
- (b) Provide a manual of written and graphic design guidelines to assist applicants in the preparation of proposals for traditional neighborhood development in accordance with Section 708-A of the Pennsylvania Municipalities Planning Code.
- (c) Improve the function and appearance of Guthriesville Village as a means of implementing the Comprehensive Plan.
- (d) Place buildings to help form a streetscape.
- (e) Provide opportunities for infill development and redevelopment, consistent with existing buildings that are located close to streets and other accessways.
- (f) Provide street walls to form the traditional neighborhood character.
- (g) Provide for off-street parking at the rear or the side of buildings.

(2) **Applicability.**

- (a) Refer to Exhibit A dated September 20, 2012, for the location of TND Traditional Neighborhood Development Overlay District, which Exhibit A is incorporated herein by reference and made a part hereof.
- (b) All new infill development and redevelopment within the TND Traditional Neighborhood Development Overlay District shall be consistent with the Design Guidelines in Exhibit B of this Article VIII, which Exhibit B is incorporated by reference and made a part hereof.
- (c) All new infill development and redevelopment shall also be consistent with the Development Strategy Plan, and the design guidelines.

(3) **Written and graphic design guidelines.**

- (a) Written and graphic design guidelines applicable to all infill development and redevelopment within the TND traditional Neighborhood Development Overlay District shall be in accordance with Exhibit B.

