

RAVEN'S NEST - APARTMENTS

Galloway Township, NJ 08205



THE MARTIN ARCHITECTURAL GROUP, P.C.
Philadelphia, Pennsylvania

Design Development

November 22, 2017

OWNER: Davis Enterprises
8000 Sagmore Dr, Ste 8201
Marlton, NJ 08053
P: 856.985.1200 F: 856.985.9199
Contact: Mitchell R. Davis
e: mdavis@davisenterprises.com

ARCHITECT: The Martin Architectural Group
240 N 22nd St, Philadelphia, PA 19103
P: 215.665.1080 F: 215.563.7818
Contact: Dan McCauley
e: dmccauley@martinaia.com

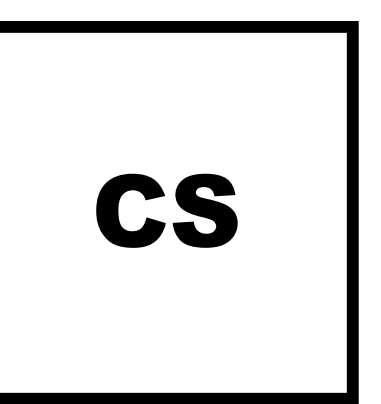
**STRUCTURAL AE:S
ENGINEER:** 238 N 22nd St, Philadelphia, PA 19103
P: 215.561-5064
Contact: Steve Kronenbitter
e: skronenbitter@ae-structure.com

**MECHANICAL PE Services
ENGINEER:** 9 North Broadway, Lebanon, OH 45036
P: 513.836.3810
Contact: A.J. Meyer
e: ameyer@pe-services.com

**CIVIL
ENGINEER:** Dixon Associates Engineering
335 East Jimmie Leeds Rd, 2nd Fl, Galloway, NJ
08205
P: 609.652.7131
Contact: Stephen Duda
e: stephen.duda@dixonassociates.com

NO.	REVISION	DATE

1826-05 Davis Enterprise
RAVEN'S NEST - APARTMENTS
 Galloway Township, NJ 08205
 Professional Architect:
 NJ License Number:
 DANIEL McCAULEY



NOT FOR CONSTRUCTION

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THE MARTIN ARCHITECTURAL GROUP, P.C.
ARCHITECTS AND LAND PLANNERS
A PROFESSIONAL CORPORATION
240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103
P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY
P.M.: JOSEPH MONAHAN
DRAWN BY: TT
PROJECT NO.: 1826-05

NO.	REVISION	DATE

ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

GENERAL INFORMATION
RAVEN'S NEST - APARTMENTS
Building # Galloway Township, NJ 08205

SCALE: AS NOTED
DATE: 12/31/2017

Building #

A0.01
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E6.02	PANELS SCHEDULES, SUMMERIES, & RISERS	

Building Information					
Floor Area	Residential	Garage	Storage	Common	
FIRST FLOOR					
12,631 SF	7,256 SF	2,081 SF	297 SF	2,995 SF	
SECOND FLOOR					
12,601 SF	11,007 SF	0 SF	62 SF	1,532 SF	
THIRD FLOOR					
12,601 SF	11,007 SF	0 SF	62 SF	1,532 SF	
37,834 SF	29,270 SF	2,081 SF	421 SF	6,060 SF	

Unit Matrix					
Unit Type	Number	Heated Area	Balcony Area	Total Area	Bedrooms
A	3	1,392 SF	36 SF	1,428 SF	2
A1	8	1,424 SF	38 SF	1,462 SF	2
B	3	1,171 SF	45 SF	1,216 SF	2
C	4	1,128 SF	49 SF	1,177 SF	2
D	6	951 SF	59 SF	1,010 SF	1

ARCHITECTURAL SYMBOLS LIST

ABBREVIATIONS

AB ANCHOR BOLT	ENGR ENGINEER	L LINEN / LEFT / ANGLE	REF REFRIGERATOR
ABV ABOVE	EXC EXCAVATE	LAD LADDER	REM REMOVABLE
ACST ACOUSTIC	EXP EXPANSION	LD LEADER DRAIN	REQD REQUIRED
ACT ACOUSTICAL CEILING TILE / ACTUAL	EXT EXTENSION	LDG LANDING	REQS REQUIREMENTS
ADH ADHESIVE	FA FIRE ALARM	LGTH LENGTH	RGH ROUGH
AFF ABOVE FINISHED FLOOR	FBRK FIRE BRICK	LT LIGHT (PANE OF GLASS)	SA SOUND ATTENUATION
AGGR AGGREGATE	FD FLOOR DRAIN	LWC LIGHTWEIGHT CONCRETE	SC SELF CLOSING
AP ACCESS PANEL	FDC FIRE DEPT. CONNECTION	MATL MATERIAL	SD SMOKE DETECTOR
APP APPROVED	FDN FOUNDATION	MAX MAXIMUM	SDG SIDING
ASPH ASPHALT	FE FIRE EXTINGUISHER	MC MEDICINE CABINET	SF SQUARE FOOT
ASSEM ASSEMBLE	FH FIRE HOSE	MECH MECHANICAL	SH SHELVES / SHOWER / SINGLE HUNG
ASSY ASSEMBLY	FHC FIRE HOSE CABINET	MFG MANUFACTURING	SHTHG SHEATHING
BB BULLETIN BOARD	FL FLOOR / FLASHING	MFR MANUFACTURER	SS STAINLESS STEEL / SLOP SINK
BC BUILDING CODE / BROOM CL.	FP FIREPLACE	MIR MIRROR	ST STAIR / STONE
BK SH BOOK SHELVES	FPRF FIREPROOF	MLDG MOLDING	STC SOUND TRANSMISSION CLASS
BLK BLOCK / BLACK	FPSC FIREPROOF SELF-CLOSING	MO MASONRY OPENING	STY STORY
BLKG BLOCKING	FR FRONT	MOR MOISTURE RESISTANT BOARD	SUSP SUPERSEDE
B.O. BOTTOM OF	FRMG FRAMING	N/A NOT APPLICABLE	SUSP CLG SUSPENDED CEILING
BRCG BRACING	FTG FOOTING	NC NON COMBUSTIBLE	SVC SERVICE
BRK BRICK	GALV GALVANIZED	NIC NOT IN CONTRACT	T & G TONGUE & GROOVE
BRKT BRACKET	GB GRAB BAR	NO NUMBER	TB TOWEL BAR
C COURSE / CHANNEL	GC GENERAL CONTRACTOR	OA OVERALL	TEL TELEPHONE
CB CATCH BASIN	GL GLASS	OC ON CENTER	THK THICKNESS
CHG CHANGE	GL BL GLASS BLOCK	OCC OCCUPANCY	T.O. TOP OF
CHK CHECK	GR GRADE	OPG OPENING	TR TREAD / TRASH ROOM
CL CENTERLINE / CLOSET	GWB GYPSUM WALL BOARD	PAR PARAPET / PARALLEL	TYP TYPICAL
CLKG CAULKING	GYP GYPSUM	P/C POURED CONCRETE	UL UNDERWRITERS LABORATORIES
CS CAST STONE	HB HOSE BIBB	PIL PILASTER	U.N.O. UNLESS NOTED OTHERWISE
D DRYER / DRAIN	HC HANDICAPPED	PL PLATE / PLUG / PLACE	VAN VANITY
DH DOUBLE HUNG	HD HEAD	P/L PLASTIC LAMINATE	VB VAPOR BARRIER
DMPR DAMPER	HDW HARDWARE	PLMB PLUMBING	VIF VERIFY IN FIELD
DN DOWN	HDWD HARDWOOD	PLYWD PLYWOOD	VIN VINYL
DR DRAIN / DOOR	HGT/HT HEIGHT	PNL PANEL	VT VINYL TILE
DS DOWNSPOUT	HWH HOT WATER HEATER	PT PRESSURE TREATED / POINT	W WASHER / WATER
DW DOWEL	ID INTERIOR DESIGNER / INTERIOR DIAMETER	PTD PAINTED	WC WATER CLOSET
ELEC ELECTRICAL / ELECTRIC	INC INCLUDED	QTY QUANTITY	WD WOOD
ELEV ELEVATION / ELEVATOR	INSUL INSULATION	R RISER / ROUND / RIGHT / RANGE	WV WINDOW
	INT INTERIOR	R & S ROD & SHELF	W GL WIRE GLASS
	JSTS JOISTS	RATD RATED	WH WATER HEATER / WEEP HOLE
	JT JOINT	RCP REFLECTED CEILING PLAN	WI.C. WALK IN CLOSET
		RD ROOF DRAIN / ROUND	WP WATERPROOF
			WT WEIGHT

CODE SUMMARY OVERVIEW

ENTIRE BUILDING TO BE EQUIPPED WITH AUTOMATIC SPRINKLERS; DECKS SHALL BE PROVIDED WITH SPRINKLER PROTECTION

- I. Applicable Building Codes
BUILDING SUBCODE (NJAC 5:23-3.14)
International Building Code(2015, NJ ed (IBC w/ NJ edits from 3.14)
*Corrected pages (NJ errata)
*Corrected sections (ICC errata)
Other referenced I-Codes (IFC/2015; ISPSC/2015; etc.)
Other referenced ICC Standards (ICC/ANSI A117.1-2009; ICC 300-2012; etc.)

PLUMBING SUBCODE (NJAC 5:23-3.15)
National Standard Plumbing Code/2015

ELECTRICAL SUBCODE (NJAC 5:23-3.16)
National Electrical Code (NFPA 70)/2014

ENERGY SUBCODE (NJAC 5:23-3.18)
International Energy Conservation Code/2015 (Low-Rise Residential)
ASHRAE 90.1-2013 (Commercial & all other Residential)

MECHANICAL SUBCODE (NJAC 5:23-3.20)
International Mechanical Code/2015

FUEL GAS SUBCODE (NJAC 5:23-3.22)
International Fuel Gas Code/2015

BARRIER FREE SUBCODE (Chapter 11 of IBC/2015 & NJAC 5:23-7)
ICC/ANSI A117.1-2009

ELEVATOR SUBCODE (NJAC 5:23-12)
American Society of Mechanical Engineers (ASME)

OTHER
Federal Fair Housing Act, 1991 (Rev 1998)

Chapter 3 - USE & OCCUPANCY CLASSIFICATIONS
Use Group: R-2, Principle intended use
U, Ground Level Parking

Chapter 4 - SPECIAL DETAILED REQUIREMENTS BASED ON USE & OCCUPANCY

- 406.3.4 Separation.
For other than private garages adjacent to dwelling units, the separation of private garages from other occupancies shall comply with section 508. separation of private garages from dwelling units shall comply with 406.3.4.1 through 406.3.4.3
406.6.3 Automatic sprinkler system.
An enclosed parking garage shall be equipped with an automatic sprinkler system in accordance with Section 903.2.10..
420.2 Separation walls.
Walls separating dwelling units in the same building, walls separating sleeping units in the same building and walls separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as fire partitions in accordance with Section 708.
420.3 Horizontal separation.
Floor assemblies separating dwelling units in the same buildings, floor assemblies separating sleeping units in the same building and floor assemblies separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as horizontal assemblies in accordance with Section 711.
420.5 Automatic sprinkler system.
Group R occupancies shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.2.8.
420.6 Smoke detection and fire alarm systems.
Fire alarm systems and smoke alarms shall be provided in Group I-1, R-1 and R-2 occupancies in accordance with Sections 907.2.6, 907.2.8 and 907.2.9, respectively. Single-or multiple-station smoke alarms shall be in accordance with Section 907.2.11.

Chapter 5 - GENERAL BUILDING HEIGHTS AND AREAS

- Table 503
R-2, Type VA - Max 3 Stories / 12,000 sf per floor /60' Height
506.1 Area Modifications (for R-2 occupancy)
Aa = 12,000 + (12,000 x 0.34) + 12,000 x 0 =16,080
506.2 Frontage (for R-2 occupancy)
If = [(555/377) - .25] x 24/30 = .34
508 - Mixed Use and Occupancy
508.1 - Each portion of a building shall be individually classified in accordance with Section 302.1. Where a building contains more than one occupancy group, the building or portion thereof shall comply with the applicable provisions of Section 508.2, 508.3, or 508.4, or a combination of these sections.
508.2.4 - Separation of Occupancies. No separation is required between accessory occupancies and the main occupancy. EXCEPTION 2. Group, I-1, R-1, R-2 and R-3 dwelling units and sleeping units shall be separated from other dwelling units or sleeping units and from accessory contiguous to them in accordance with the requirements of Section 420.

509 - Incidental Uses

- 509.1 - General
Incidental uses located within a single occupancy or mixed use occupancy buildings shall comply with the provisions of this section. Incidental uses are ancillary functions associated with a given occupancy and are limited to the uses listed in Table 509. or a combination of these sections.

Table 509
Incidental Uses

Table with 2 columns: Room or Area, Separation Required. Waste rooms over 100sf, 1 Hour or provide automatic sprinkler

Chapter 6 - TYPES OF CONSTRUCTION

Table 601
FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (hours)
Table with 2 columns: BUILDING ELEMENT, TYPE VA. Structural frame, 1. Bearing walls, Exterior, 1. Interior, 1. Nonbearing walls & partitions, Interior, 0. Floor construction, Including supporting beams & joists, 1.

CODE SUMMARY OVERVIEW (Continue)

Roof construction
Including supporting beams & joists n/a 1

Table 602
FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE
FIRE SEPARATION DISTANCE (feet) Group R, S-2, B, & A-3
Equal or Greater than 30'-Type VA 0

Chapter 7 - FIRE AND SMOKE PROTECTION FEATURES

- 704.3 Protection of the primary structural frame other than columns.
Members of the primary structural frame other than columns that are required to have protection to achieve a fire-resistance rating and support more than two floors or one floor and roof, or support a load-bearing wall or a nonload-bearing wall more than two stories high, shall be provided individual encasement protection by protecting them on all sides for the full length, including connections to other structural members, with materials having the required fire-resistance rating.
704.4 Protection of secondary members.
Secondary members that are required to have a fire-resistance rating shall be protected by individual encasement protection, by the membrane or ceiling of a horizontal assembly in accordance with Section 711, or by a combination of both.
Table 705.8
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE
Unprotected openings separated 30' or more - No limit
705.11 Parapets.
Parapets shall be provided on exterior walls of buildings.
Exceptions: A parapet need not be provided on an exterior wall where any of the following conditions exist:
1. The wall is not required to be fire-resistance rated in accordance with Table 602 because of fire separation distance.
711 Horizontal Assemblies
711.1 General. Floor and roof assemblies required to have a fire-resistance rating shall comply with section 714.4.2.
7.11.3 Fire-resistance rating. The fire-resistance rating of floor and roof assemblies shall not be less than that required by the building type of construction. Where the floor assembly separated mixed occupancies, the assembly shall have a fire-resistance rating of not less than that required by Section 508.4 based on the occupancies being separated. Where the floor assembly separates a single occupancy into different fire areas, the assembly shall have a fire-resistance rating of not less than that required by section 707.3.10. Horizontal assemblies separating dwelling units in the same building and horizontal assemblies separating sleeping units in the same building shall be a minimum of 1-hour fire-resistance rated construction.

713 - Shaft Enclosures

Building is 3 story and all shafts shall be minimum 1 hour rated

Table 716.5
FIRE DOOR & FIRE SHUTTER FIRE PROTECTION RATINGS
Table with 3 columns: TYPE OF ASSEMBLY, REQUIRED ASSEMBLY RATING(HR), Min Door Rating. Fire Barrier: Shaft, exit enclosure & exit passageway walls, Other fire barriers. Fire Partitions: Corridor walls, Other partitions.

718 - CONCEALED SPACES

- 718.2.2 Fireblocking in concealed spaces
A) Vertically at the ceiling and floor levels
B) Horizontally every 10 feet
718.3 Draftstopping in floors
718.3.2 Groups R-1, R-2, R-3 and R-4
Draftstopping shall be provided in floor/ceiling spaces of Group R-2 buildings with three or more dwelling units. Draftstopping shall be located above and in line with the dwelling unit and sleeping unit separations.
718.4.2 Groups R-1 and R-2.
Draftstopping shall be provided in attics, mansards, overhangs or other concealed roof spaces of Group R-2 buildings with three or more dwelling units. Draftstopping shall be installed above, and in line with, sleeping unit and dwelling unit separation walls that do not extend to the underside of the roof sheathing above.
Exceptions:
1. Where corridor walls provide a sleeping unit or dwelling unit separation, draftstopping shall only be required above one of the corridor walls.
3. In occupancies in Group R-2 that do not exceed four stories above grade plane, the attic space shall be subdivided by draftstops into areas not exceeding 3,000 square feet (279 m2) or above every two dwelling units, whichever is smaller

Chapter 8- INTERIOR FINISHES

803 - Wall and Ceiling Finishes

Table 803.9

Table with 4 columns: Group, Vertical exits and exit passageways, Exit Access Corridors and other exitways, Rooms and enclosed spaces. R-2, C, C, C

i-Applies when the vertical exits, exit passageways, exit access corridors or exitways, or rooms and spaces are protected by a sprinkler system installed in accordance with section 903.3.1.1 or 903.3.1.2

804 INTERIOR FLOOR FINISH

- 804.4.2 Minimum critical radiant flux:
Exception: Building equipped throughout with an automatic sprinkler system in accordance with section 903.3.1.1, Class II materials are permitted in any area where Class I materials are required, and materials complying with DOC FF-1 "pill test" (CPSC 16 CFR, Part 1630) are permitted in any area where Class II materials are required.

Chapter 9- Fire Protection Systems

903 AUTOMATIC SPRINKLER SYSTEMS

903.2.8 -Group R
An automatic sprinkler system installed in accordance with section 903.3 shall be provided throughout all buildings with a group R fire area.

903.3.1.2 NFPA 13R sprinkler systems.

Automatic sprinkler systems in Group R and Group U occupancies up to and including four stories in height shall be permitted to be installed throughout in accordance with NFPA 13R.

905 STANDPIPE SYSTEMS

905.3 Required installations.
Standpipe systems shall be installed where required by Sections 905.3.1 through 905.3.8. Standpipe systems are allowed to be combined with automatic sprinkler systems.

906 PORTABLE FIRE EXTINGUISHERS

906.2 General Requirements
Portable fire extinguishers shall be selected and installed in accordance with this section of NFPA 10

CODE SUMMARY OVERVIEW (Continue)

915 CARBON MONOXIDE DETECTION

- 915.1.1
Carbon monoxide detection shall be provided in group R occupied
915.1.2
Carbon monoxide detection shall be provided in dwellin units that contain a fuel burning appliance.
915.2.1
Carbon monoxide detection shall be installed in dwelling units outside of each separate sleeping area in the immediate vicinity of the bedrooms.

Chapter 10- MEANS OF EGRESS

Table 1004.1.2
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

Table with 2 columns: Function of Space, Occupant Load Factor. Residential, 200 gross. Parking garages, 200 gross

1st Floor- U Parking = 16,100 sqft @ 200 sqft/occupant = 81 occupants
1st Floor- R-2 Residential = 16,100 sqft @ 200 sqft/occupant = 81 occupants
2nd Floor- R-2 Residential = 15,800 sqft @ 200 sqft/occupant = 79 occupants
3rd Floor- R-2 Residential = 15,800 sqft @ 200 sqft/occupant = 79 occupants

Section 1005 EGRESS WIDTH

Table 1005.1
EGRESS WIDTH PER OCCUPANT WITH SPRINKLER SYSTEM

Table with 3 columns: OCCUPANCY, Stairways (inches per occupant), Other egress components (inches per occupant). R-2, 0.3, 0.2

1007 ACCESSIBLE MEANS OF EGRESS

- 1007.3 Stairways.
Exceptions:
1. The clear width of 48 inches (1219 mm) between handrails is not required in buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2.
2. Areas of refuge are not required at stairways in buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2.
6. The areas of refuge are not required in Group R-2 occupancies.

1015 EXIT AND EXIT ACCESS DOORWAYS

- 1015.2.1 Two exits or exit access doorways.
Where two exits or exit access doorways are required from any portion of the exit access, the exit doors or exit access doorways shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the building or area to be served measured in a straight line between exit doors or exit access doorways. Interlocking or scissor stairs shall be counted as one exit stairway.
Exceptions:
1. Where interior exit stairways are interconnected by a 1-hour fire-resistance-rated corridor conforming to the requirements of Section 1018, the required exit separation shall be measured along the shortest direct line of travel within the corridor.
2. Where a building is equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2, the separation distance of the exit doors or exit access doorways shall not be less than one-third of the length of the maximum overall diagonal dimension of the area served.

1016 EXIT ACCESS TRAVEL DISTANCE

TABLE 1017.2
EXIT ACCESS TRAVEL DISTANCE

Table with 3 columns: Occupancy, Without sprinkler system, With sprinkler system. R-2, 200', 250' (b)

- b. Buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2. See Section 903 for occupancies where automatic sprinkler systems are permitted in accordance with Section 903.3.1.2.
c. Buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

1018 CORRIDORS

TABLE 1017.2
CORRIDOR FIRE RESISTANCE RATING

Table with 4 columns: Occupancy, With sprinkler system (Occupant Load served by Corridor, Required Fire Rating (Hrs)). R-2, 200', 250' (b)

Chapter 12 - INTERIOR ENVIRONMENT

1203 VENTILATION

1203.1. Buildings provided with natural ventilation per section 1203.4, or mechanical ventilation per the International Mechanical Code.

1207 SOUND TRANSMISSION

- 1207.2 Air-borne sound.
Walls, partitions and floor/ceiling assemblies separating dwelling units from each other or from public or service areas shall have a sound transmission class (STC) of not less than 50 (45 if field tested) for air-borne noise when tested in accordance with ASTM E 90. Penetrations or openings in construction assemblies for piping; electrical devices; recessed cabinets; bathtubs; soffits; or heating, ventilating or exhaust ducts shall be sealed, lined, insulated or otherwise treated to maintain the required ratings. This requirement shall not apply to dwelling unit entrance doors; however, such doors shall be tight fitting to the frame and sill.
1207.3 Structure-borne sound.
Floor/ceiling assemblies between dwelling units or between a dwelling unit and a public or service area within the structure shall have an impact insulation class (IIC) rating of not less than 50 (45 if field tested) when tested in accordance with ASTM E 492.

Section 1208 INTERIOR SPACE DIMENSIONS

- 1208.1. Minimum room width is 7 feet, except kitchens, which have 3 feet minimum clear passageway between counter fronts and any element on opposite side.
1208.2. Minimum ceiling height is 7'-6" at occupiable spaces and 7 feet at bathrooms, toilet rooms, kitchens, storage and laundry rooms.
1208.3. Every dwelling unit shall have at least one room not less than 120 square feet of net floor area, other habitable rooms shall be not less than 70 square feet.

Chapter 14 - EXTERIOR WALLS

1406 COMBUSTIBLE MATERIALS ON THE EXTERIOR SIDE OF THE EXTERIOR WALLS

- 1406.3. Balconies and similar projections
(3) Balconies and similar projections on buildings of Type III, IV and V construction shall not be required to have fire resisted rated construction where sprinkler protection is extended into these areas.

NOTE:
Code review above is for reference only. Review may not represent every code provision which the architect has designed for. Architect and owners consultants shall provide their own code outline for the systems which they designed.

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DANIEL MCCAULEY
Professional Architect:
NJ License Number:

THE MARTIN ARCHITECTURAL GROUP, P.C.
ARCHITECTS AND LAND PLANNERS
A PROFESSIONAL CORPORATION
240 NORTH 22ND STREET, PHILADELPHIA, PA. 19103
P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY
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PROJECT NO: 1826-05

Table with 2 columns: NO., REVISION. DATE

ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

CODE REVIEW
RAVEN'S NEST - APARTMENTS
Building #
Gateway Township, NJ 08205

SCALE:
DATE: 11/10/17

Building #

A0.03
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NO.	REVISION	DATE

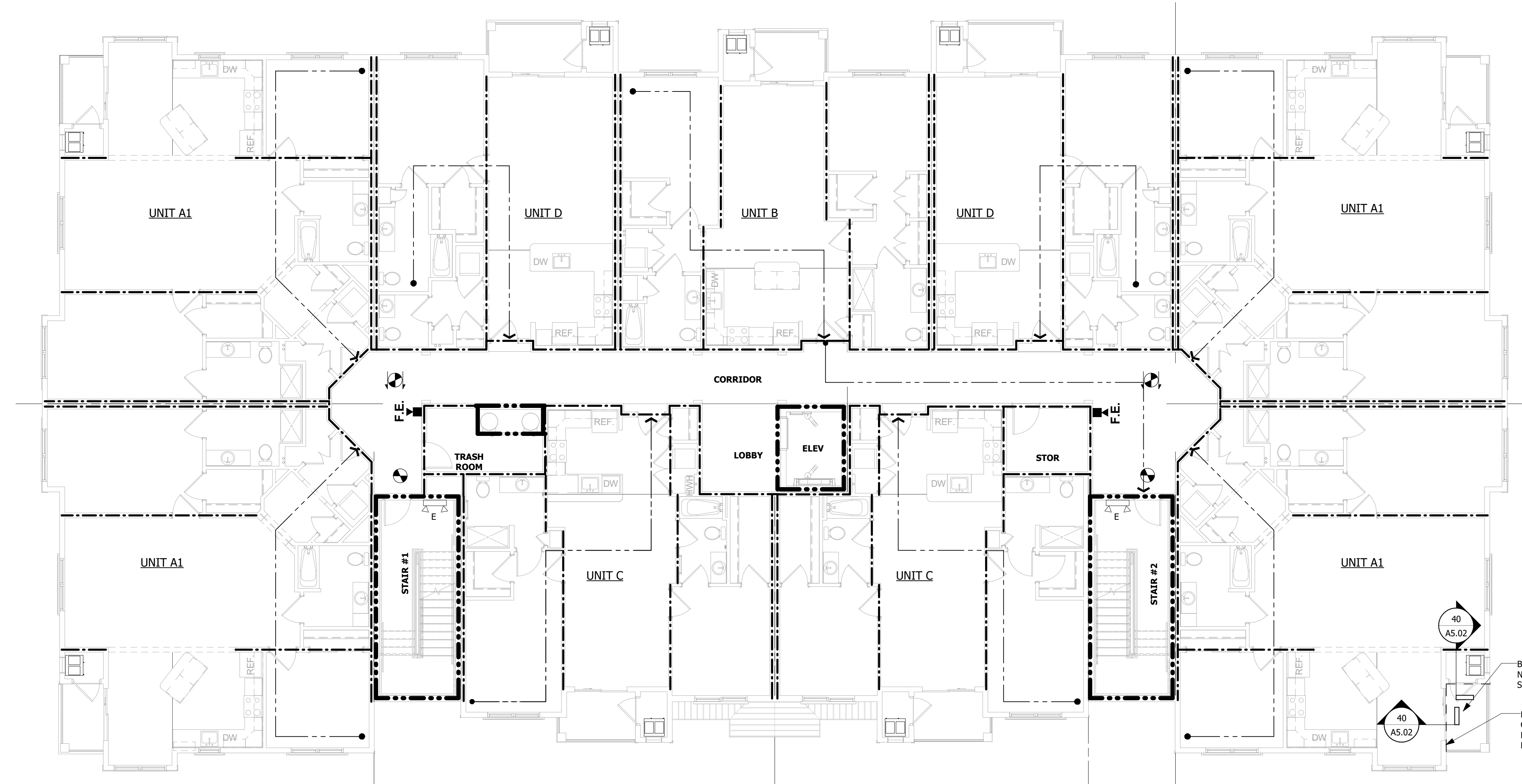
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LIFE SAFETY PLANS
RAVEN'S NEST - APARTMENTS
Building #
Galloway Township, NJ 08205

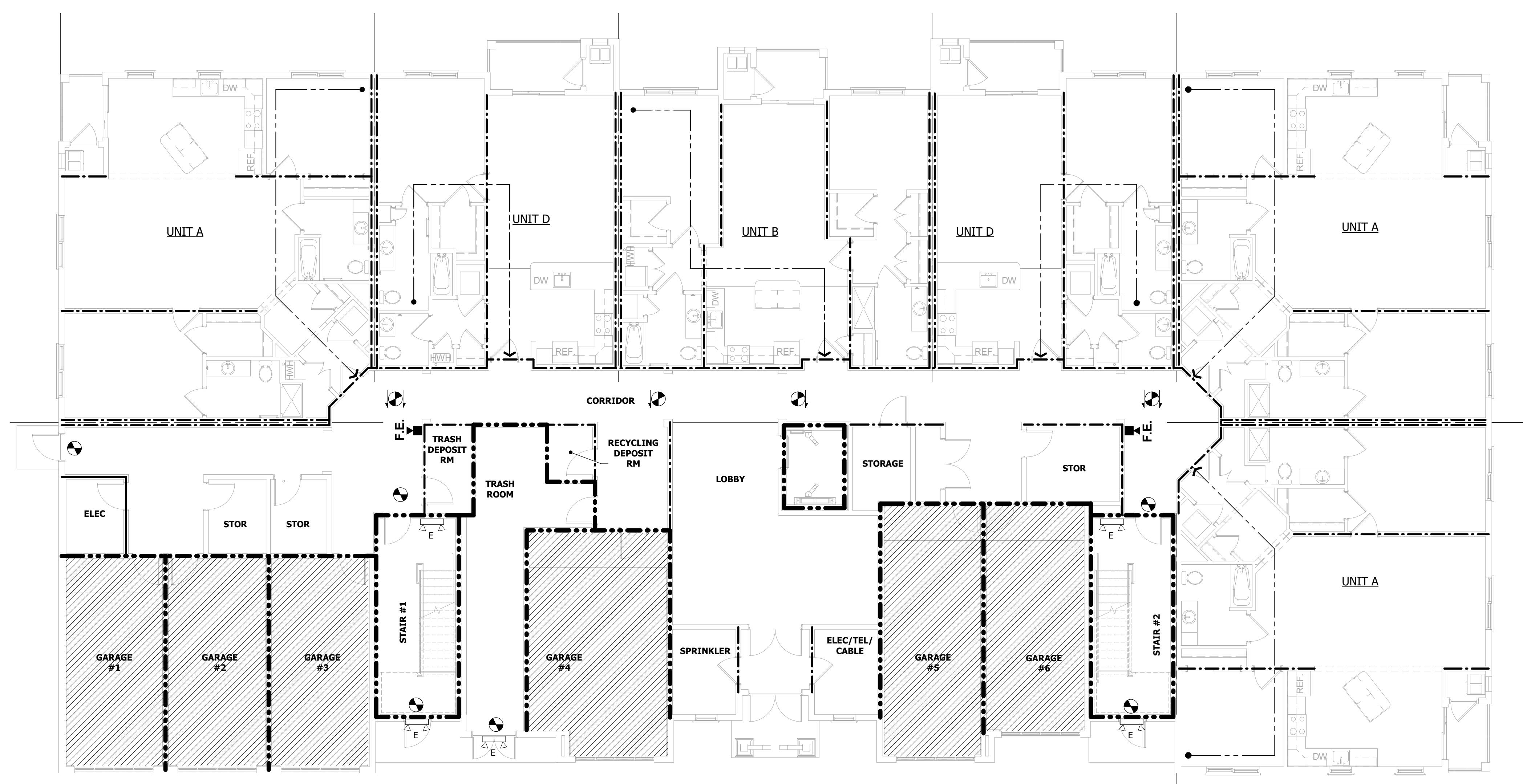
SCALE: AS NOTED
DATE: 12/31/2017

Building #

A1.01
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2 SECOND & THIRD FLOOR LIFESAFETY PLAN
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR LIFESAFETY PLAN
SCALE: 1/8" = 1'-0"

LIFESAFETY LEGEND

- ONE HOUR RATED FIRE BARRIER AT STAIR, ELEV. SHAFT, TRASHCHUTE, TRASHROOM, GARAGES
- ONE HOUR INTERIOR BEARING, DWELLING UNIT SEPARATION, OR UNIT/ CORRIDOR WALL CONSTRUCTION. (SEE PARTITION SCHEDULE FOR MORE INFO.)
- ONE HOUR FIRE PARTITION
- EXIT SIGN (SEE ELECTRICAL DRAWINGS)
- FIRE EXTINGUISHER (SEMI-RECESSED)
- SMOKE DETECTOR (SEE ELECTRICAL DRAWINGS)
- EMERGENCY LIGHT
- USE GROUP "V"

FIRE PROTECTION PROVIDED
(LANCASTER COUNTY)

	RATING PER TABLE 501	U.L. # OR REFER-ENCE
EXTERIOR LOAD BEARING:	1 HR.	U356
INTERIOR LOAD BRG PARTITION:	1 HR.	U305
FLOOR/CEILING ASSEMBLY:	1 HR.	LS46
ROOF/CEILING ASSEMBLY:	1 HR.	FS22
CORRIDOR WALLS:	1 HR.	U311
DWELLING UNIT SEPARATIONS:	1 HR.	V305
EXIT STAIR WALL:	1 HR.	U905 (2 HR.)

ENTIRE BUILDING TO BE EQUIPPED WITH AUTOMATIC SPRINKLERS: NFPA 13R AT R-2 AND S-2 USE GROUPS
ENTIRE BUILDING TO BE EQUIPPED WITH EMERGENCY POWER TO PROVIDE EXIT LIGHTING AT STAIRS, EXITS, ETC.
(SEE ELECTRICAL PLANS)
ALL SMOKE DETECTORS TO BE HARD WIRED WITH BATTERY BACK-UP (SEE ELECTRICAL PLANS)
REFER TO SPRINKLER DRAWINGS FOR GENERAL SPRINKLER LAYOUT. SPRINKLER SYSTEM DESIGN AND INSTALLATION TO BE PROVIDED BY SPRINKLER CONTRACTOR

FIRE EXTINGUISHERS

- ALL EXTINGUISHERS SHALL BE MULTIPLE-USE DRY CHEMICAL EXTINGUISHERS, CONTAINING AMMONIUM PHOSPHATE BASE AGENT. 2A: 20-B.C.
- ALL CABINETS SHALL BE LARSEN'S ROTA SERIES MODEL NO. R-2409 SEMI-RECESSED CABINET OR EQUAL.
- ALL EXTINGUISHERS SHALL BE IN COMPLIANCE WITH NFPA 10 (STANDARD FOR PORTABLE FIRE EXTINGUISHERS).

OCCUPANCY / EXITING

OCCUPANCY LOAD - Residential 200 gross, Garages 200 gross
See Life Safety Plans for Occupancy Loads at Stairs and Exits

NOTE 1- SLOPE BUILDING SLAB MIN. 1/4"1'-0", MAX. 1:20. COORDINATE WITH CIVIL
NOTE 2- ACCESSIBLE WALKWAY TO BUILDING SLAB PER CIVIL ENGINEERING (REQUIRED AT 50% OF ALL ENTRANCES). SEE CIVIL FOR SITE STEPS.

PATH OF TRAVEL SCHEDULE

Path ID	Path Travel Distance
MAX DISTANCE TO STAIR	54'
Unit A & A1	47'
Unit B	50'
Unit C	53'
Unit D	44'

GENERAL NOTES

- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
- ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOULD BE PRESSURE TREATED
- REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
- WHERE PRESSURE TREATED LUMBER IS USED ALL FASTENERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
- AT RATED SEPARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
- WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK
- ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS

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 DANIEL MCCAULEY
 Professional Architect
 NJ License Number:

THE MARTIN ARCHITECTURAL GROUP, P.C.
 ARCHITECTS AND LAND PLANNERS
 A PROFESSIONAL CORPORATION
 240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103
 P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY
 P.M.: JOSEPH MONAHAN
 DRAWN BY: TT
 PROJECT NO: 1826-05

NO.	REVISION	DATE

ISSUED FOR CONSTRUCTION THROUGH REV. X
 MM-DD-YYYY

FOUNDATION PLAN
 RAVEN'S NEST - APARTMENTS
 Building #
 Galloway Township, NJ 08205

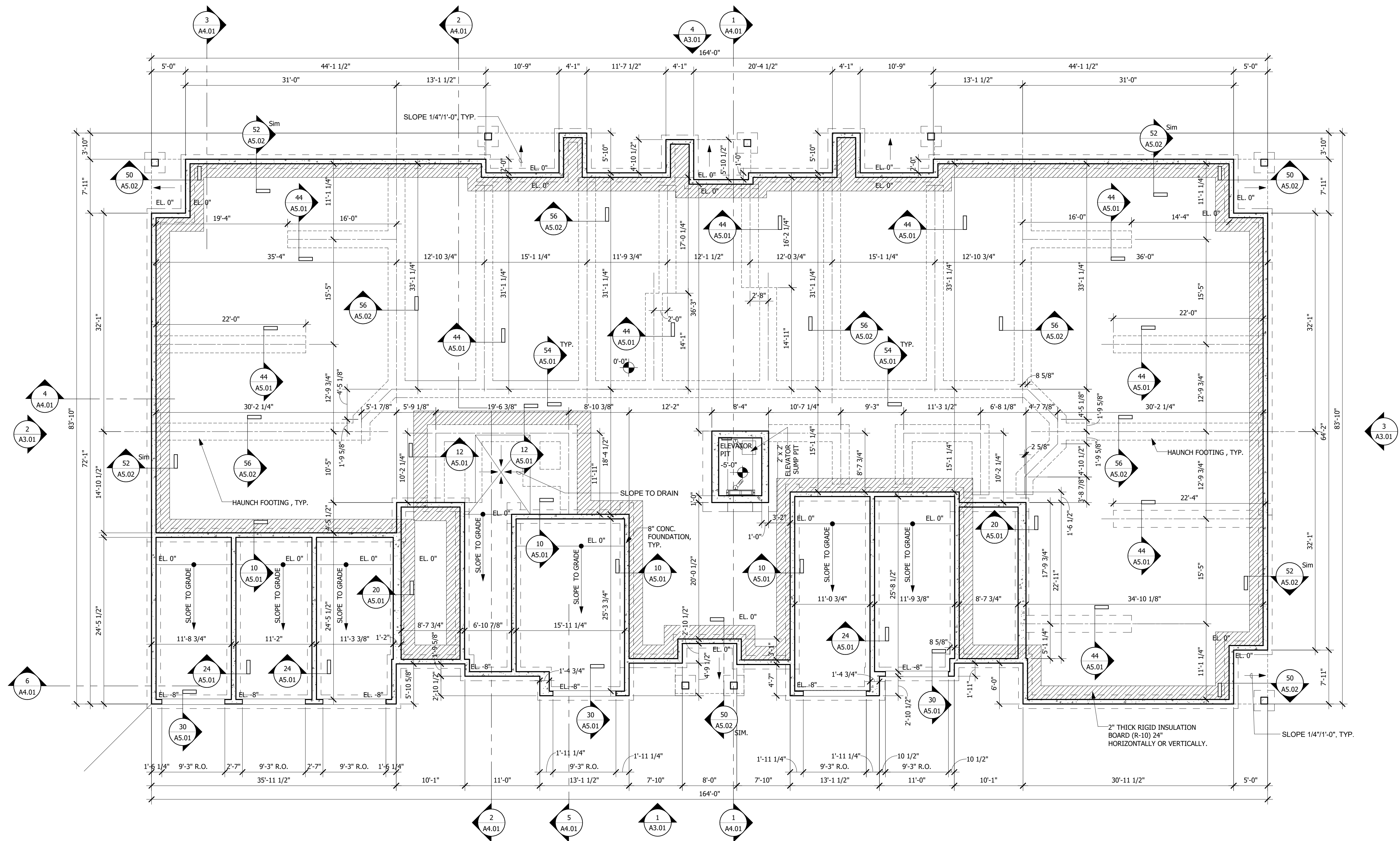
SCALE:
 DATE: 10/13/17

Building #

A2.00

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NOT FOR CONSTRUCTION



1 FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

BUILDING #3

NO.	REVISION	DATE

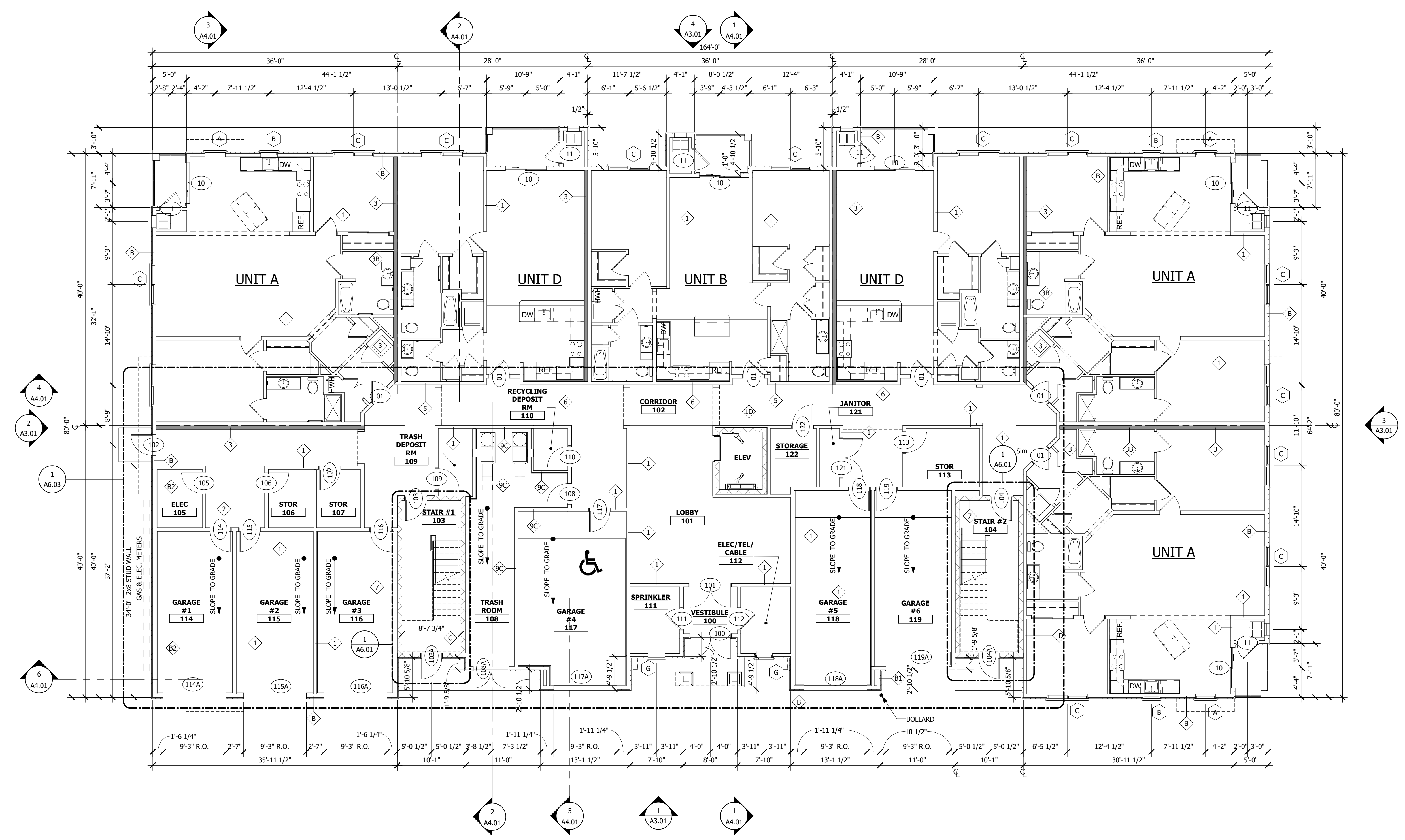
ISSUED FOR CONSTRUCTION THROUGH REV. X MM-DD-YYYY

FIRST FLOOR PLAN
RAVEN'S NEST - APARTMENTS
 Building #
 Galloway Township, NJ 08205

SCALE: AS NOTED
 DATE: 12/31/2017

Building #
A2.01
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- GENERAL NOTES**
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1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

BUILDING #3

NO.	REVISION	DATE

ISSUED FOR CONSTRUCTION THROUGH REV. X MM-DD-YYYY

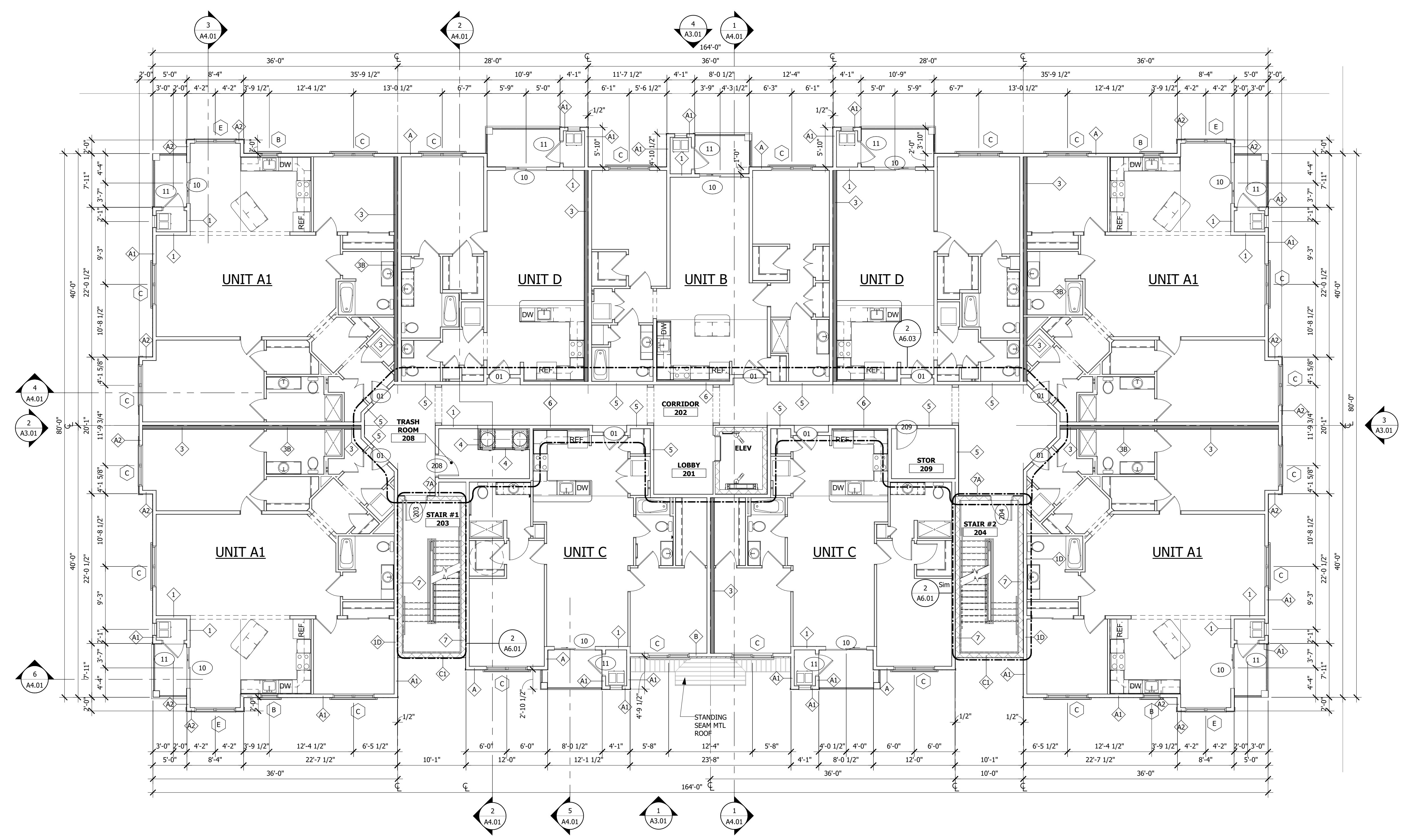
SECOND FLOOR PLAN
RAVEN'S NEST - APARTMENTS
 Building #
 Galloway Township, NJ 08205

SCALE: AS NOTED
 DATE: 12/31/2017

Building #

A2.02
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1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

BUILDING #3

NO.	REVISION	DATE

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THIRD FLOOR PLAN
RAVEN'S NEST - APARTMENTS

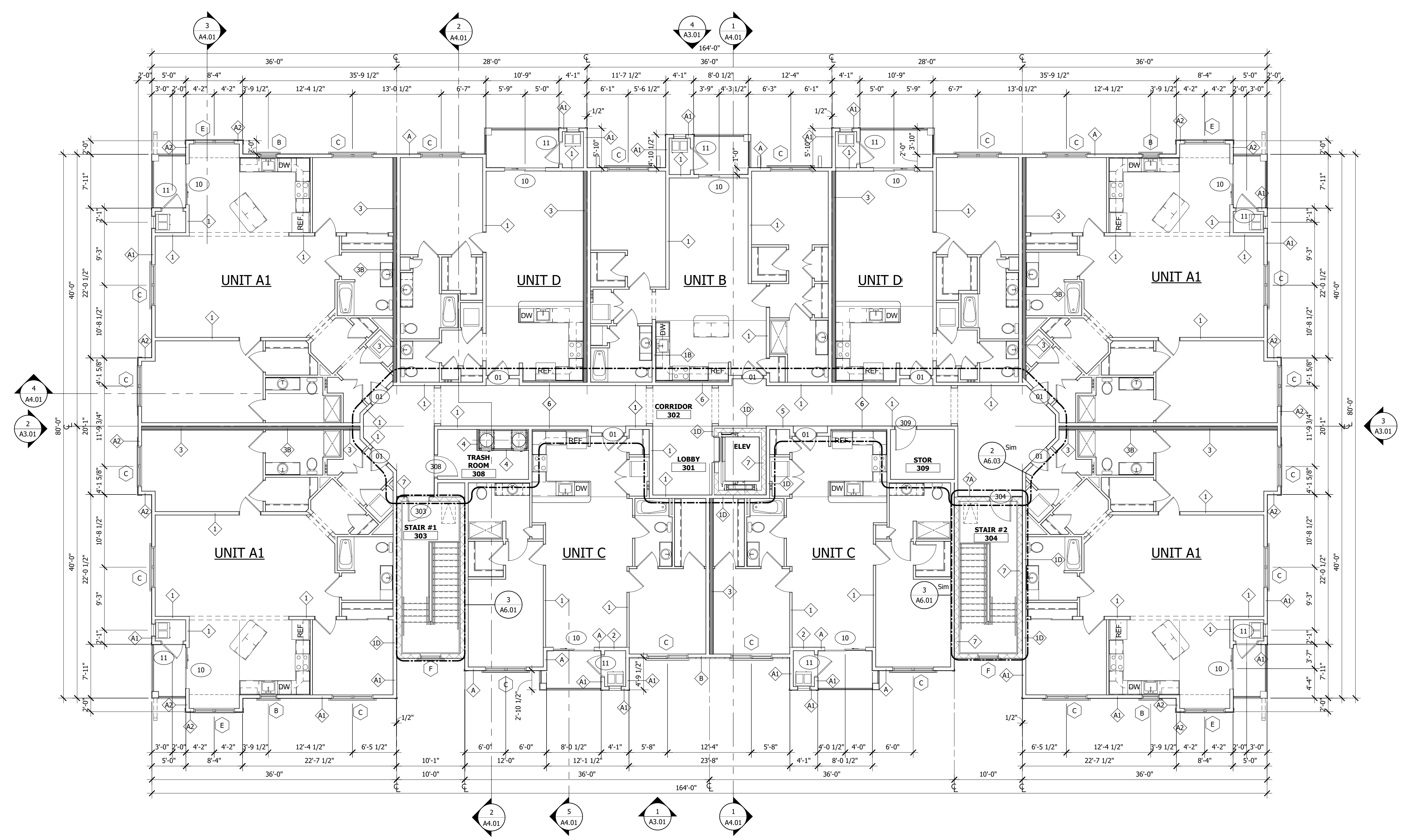
Building #
 Galloway Township, NJ 08205

SCALE: AS NOTED
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Building #

A2.03

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 - AT RATED SPEARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
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1 THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

BUILDING #3

VENTILATION NOTE:

VENTILATION REQUIREMENTS AREA BASED ON: IBC 2015, NJ EDITION, SECTION 1203.2:

THE MINIMUM REQUIRED AREA IS PERMITTED TO BE REDUCED TO 1/300, PROVIDED THAT A VAPOR RETARDER HAVING A PERMEANCE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING, OR THE RIDGE OR GABLE VENTILATION OPENINGS ARE LOCATED IN THE UPPER THIRD OF THE SPACE TO BE VENTILATED WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. NOTE: CODE ALLOWS 40% AT RIDGE & 60% AT SOFFIT.

NOTE: ONE HALF OF THE ATTIC VENTILATION IS PROVIDED BY RIDGE AND GABLE VENTS AND THE BALANCE TO BE PROVIDED BY SOFFIT VENTS.

RIDGE VENT IS BASED ON "VENTSURE" WITH A NET FREE AREA OF 20 SQ. IN. PER LINEAR FOOT.

SUPPLEMENTARY VENTILATION IS BASED ON "LOMANCO" LOW PROFILE ROOF LOUVER MODEL NO. 865 WITH A NET FREE AREA OF 61 SQ. IN. PER UNIT.

PERFORATED SOFFIT VENT IS BASED ON "AIR VENT INC." OR EQUAL TO WITH A NET FREE AREA OF 9 SQ. IN. PER LINEAR FOOT.

SOFFIT INTAKE VENT IS BASED ON "LOMANCO C816" OR EQUAL WITH A NET FREE AREA OF 65 SQ. IN. PER VENT

ATTIC VENTILATION CALCULATIONS

Attic Area	Draft Stopping Area	Req'd Area of Ventilation	Req'd Soffit Area	Req'd Exhaust Area	Perf. Soffit Lin. Ft.	Perf. Soffit Provided	Number of Intake Vents	Soffit Vent Area	Total Soffit Area	Roof Vent #	Roof Vent Area	Ridge Vent Lin. Ft.	Ridge Vent Area	Vent Provided
Attic Area 1	2,915 SF	1,399 in ²	700 in ²	700 in ²	0"	0 in ²	11	715 in ²	715 in²	4	244 in ²	24'-0"	480 in ²	724 in²
Attic Area 2	2,205 SF	1,058 in ²	529 in ²	529 in ²	0"	0 in ²	9	585 in ²	585 in²	6	366 in ²	10'-0"	200 in ²	566 in²
Attic Area 3	2,003 SF	961 in ²	481 in ²	481 in ²	0"	0 in ²	8	520 in ²	520 in²	2	122 in ²	18'-0"	360 in ²	482 in²
Attic Area 4	1,001 SF	480 in ²	240 in ²	240 in ²	0"	0 in ²	4	260 in ²	260 in²	4	244 in ²	0"	0 in ²	244 in²
Attic Area 5	2,927 SF	1,405 in ²	702 in ²	702 in ²	0"	0 in ²	11	715 in ²	715 in²	4	244 in ²	24'-0"	480 in ²	724 in²
Attic Area 6	1,911 SF	917 in ²	459 in ²	459 in ²	0"	0 in ²	8	520 in ²	520 in²	0	0 in ²	25'-0"	500 in ²	500 in²

ROOF NOTES

PROVIDE ICE AND WATERSHIELD TO 24" BEYOND FACE OF EXTERIOR WALL.

GUTTERS ARE SHOWN FOR LOCATION ONLY. LOCATION AND SIZING OF DOWNSPOUTS DUE TO SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR AND APPROVED BY ARCHITECT AND OWNER.

DOWNSPOUTS MUST NOT DISCHARGE ONTO DECKS OR PATIOS.

GUTTERS & DOWNSPOUTS

-GUTTER SIZING BASED ON A 6" WIDE "OGEE" STYLE DOWNSPOUT MOUNTED HORIZONTAL (LEVEL)

- DOWNSPOUTS BASED ON STANDARD 2 3/4"X4 1/4" CORRUGATED RECTANGLE DOWNSPOUTS.

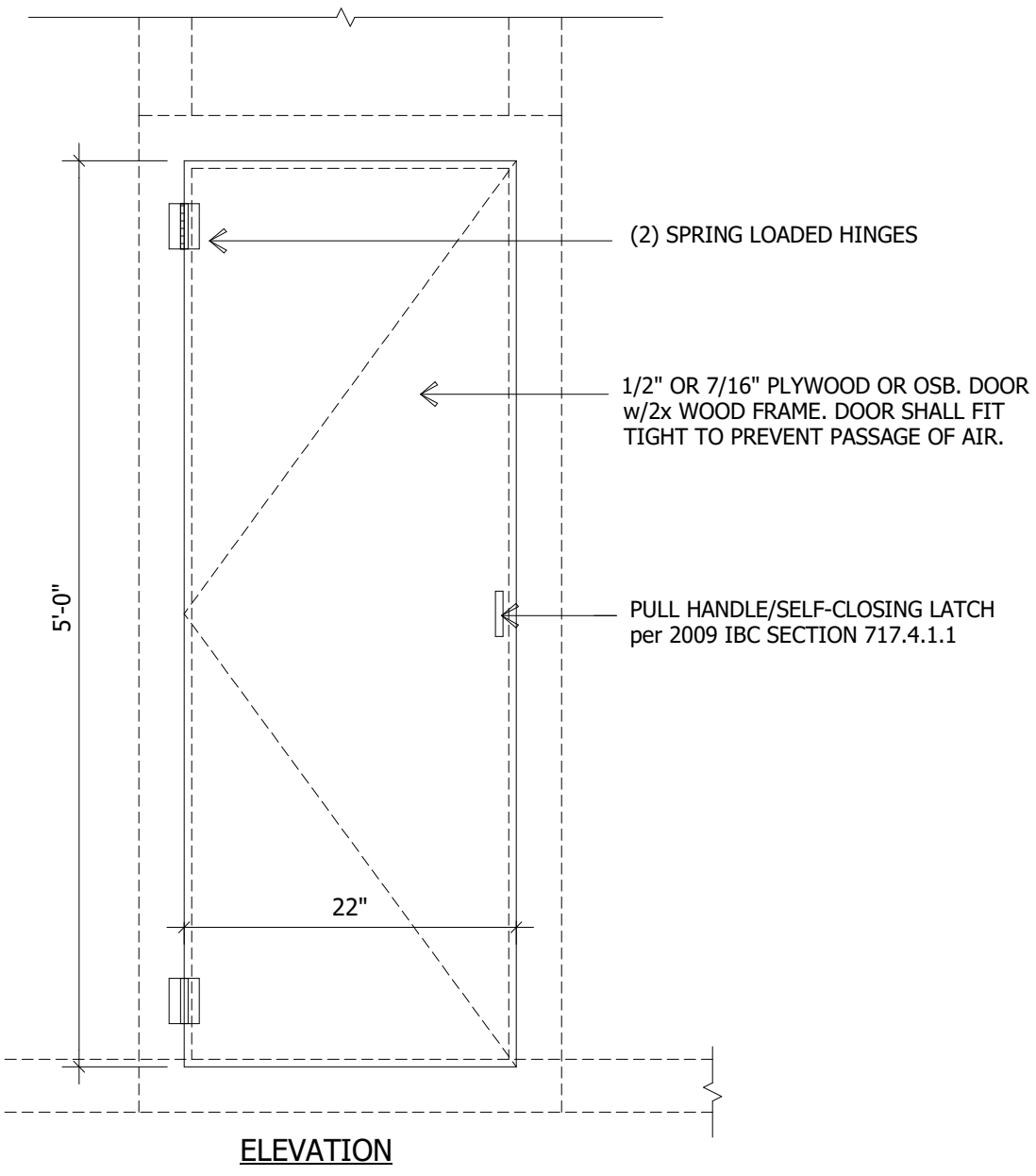
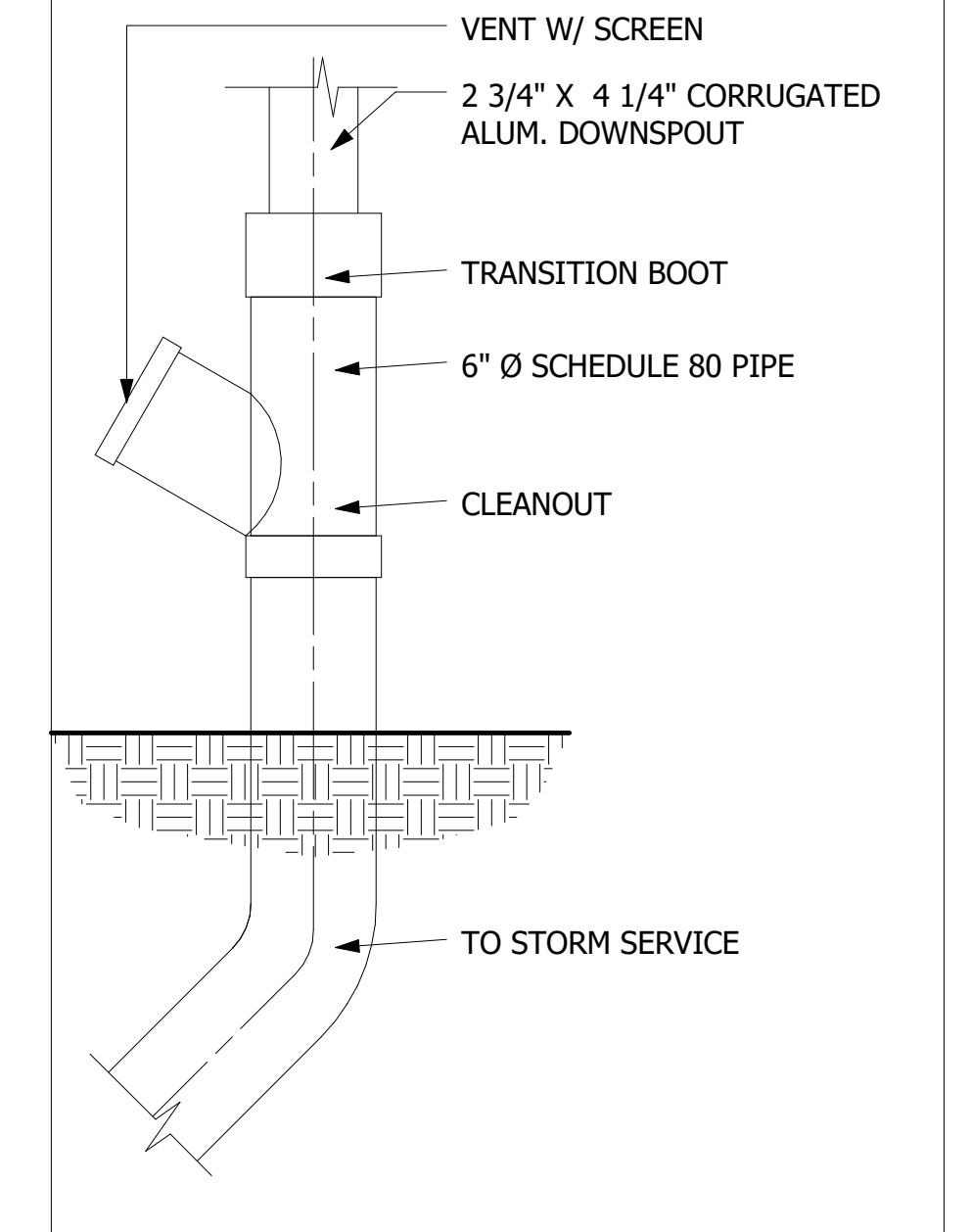
- DAYLIGHTS @ DOWNSPOUTS ON REAR TO CONNECT SPLASH BLOCKS.

- TIE FRONT AND SIDE OF BUILDING GUTTERS TO UNDERGROUND STORM SERVICE PER CIVIL ENGINEER.

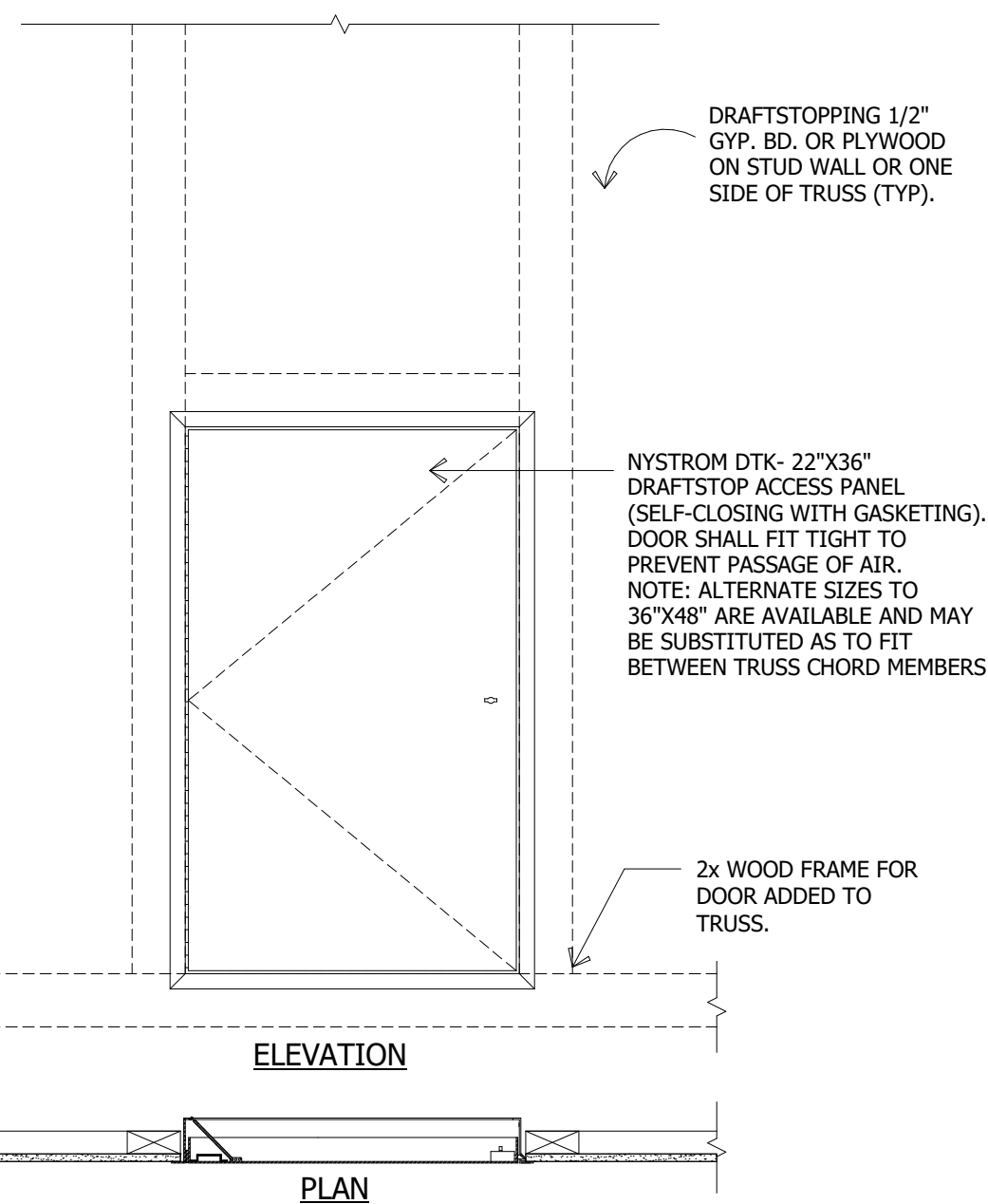
- USE 6" SCHEDULE 80 PIPE TO BELOW GRADE.

- USE PLASTIC TRANSITION BOOT TO TIE DOWNSPOUT TO BELOW GRADE PIPE.

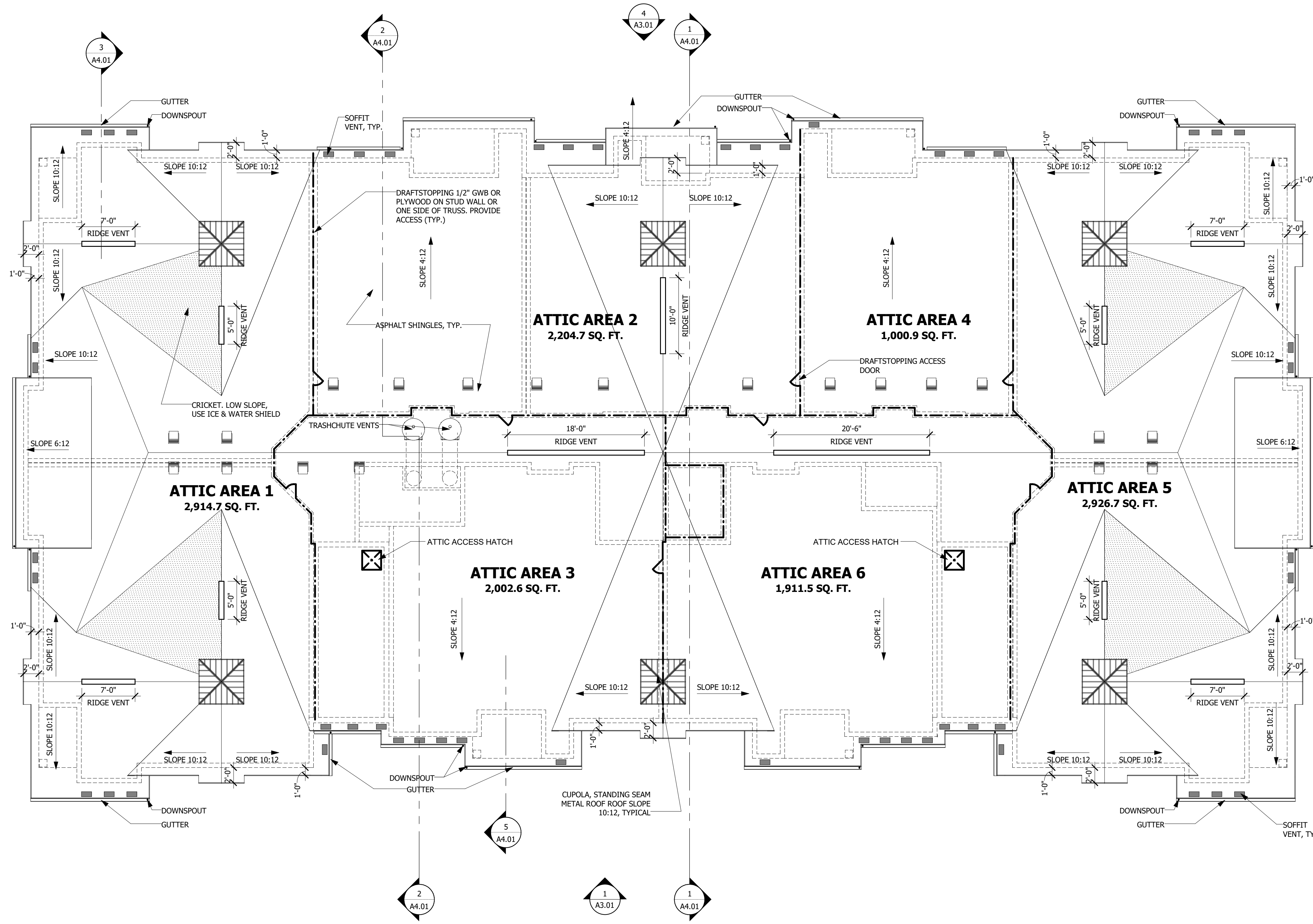
- PROVIDE SPLASH GUARDS @ INSIDE GUTTER CONNERS.



4 DRAFT STOPPING ACCESS DOOR ALTERNATIVE
SCALE: 1" = 1'-0"



3 DRAFT STOPPING ACCESS DOOR
SCALE: 1" = 1'-0"



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

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P.M.: JOSEPH MONAHAN
DRAWN BY: TT
PROJECT NO: 1826-05

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MM-DD-YYYY

ROOF PLAN
RAVEN'S NEST - APARTMENTS
Building #
Galloway Township, NJ 08205

SCALE: AS NOTED
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Building #
A2.04

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NOT FOR CONSTRUCTION

DANIEL MCCAULEY
Professional Architect
NJ License Number:

WINDOW SCHEDULE

Mark	Width	Height	Rough Width	Rough Height	Window Type	Construction Type	Comments
A	3'-0"	6'-0"	36 1/4"	72"	SH	VIN	
B	2'-6"	4'-6"	30"	54"	SH	VIN	OVER KITCHEN SINK
C	6'-0 1/8"	6'-0"	72 5/8"	72"	SH	VIN	INTERMEDIATE JAMB
E	6'-0 1/8"	5'-0"	72 5/8"	60"	SH	VIN	INTERMEDIATE JAMB
F	3'-0"	5'-0"	36 1/4"	60"	SH	VIN	
G	2'-6"	5'-0"	30"	60"	F	VIN	

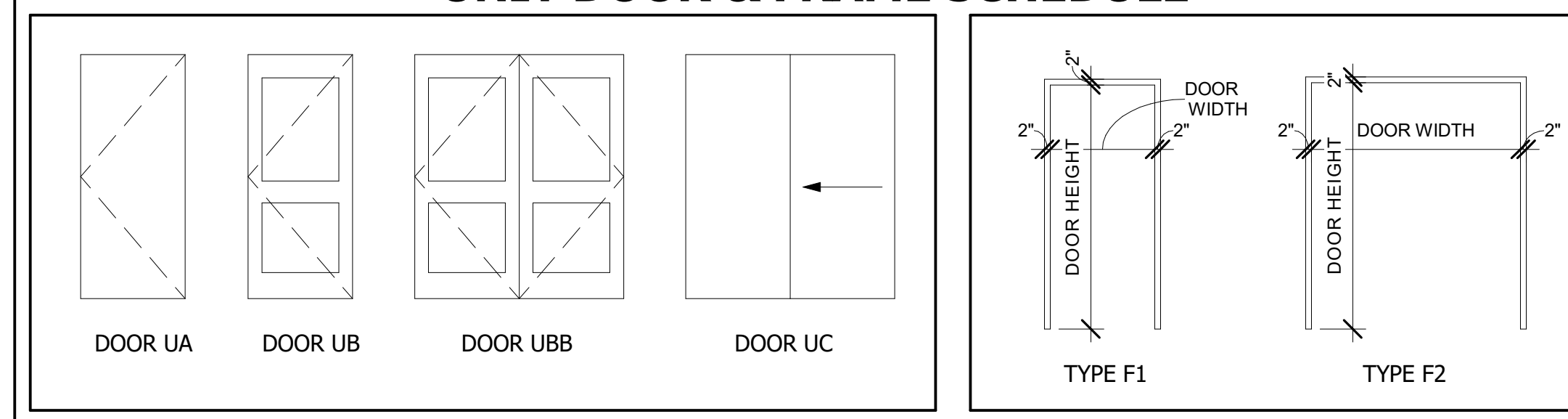
Window Type Key:
 F Fixed
 SH Single Hung
 DH Double Hung

Glazing:
 □ Single
 ■ Double
 ▤ Triple

Frame:
 □ Aluminum
 □ Wood
 ■ Vinyl

Manufacturer: MI Windows or equal

UNIT DOOR & FRAME SCHEDULE

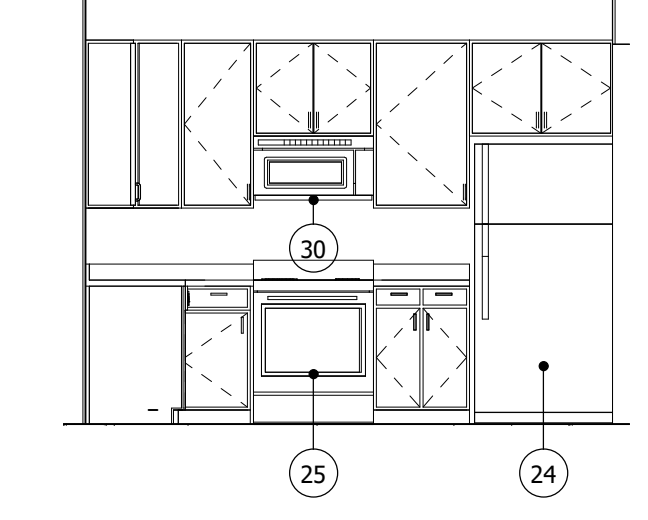
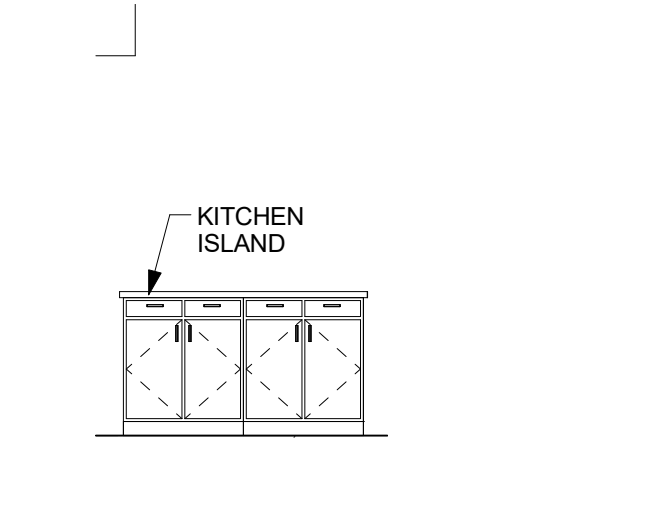
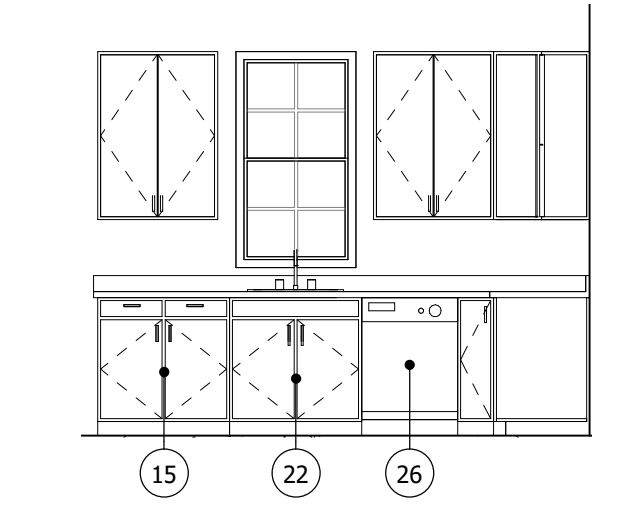


Door				Frame		Remarks
Number	Width	Height	Construction Type	Frame Type	Frame Material	
01	3'-0"	6'-8"	WD UA	F1	WD	UNIT ENTRANCE
02	2'-0"	6'-8"	WD UB	F1	WD	
03	3'-0"	6'-8"	WD UB	F1	WD	
04	2'-10"	6'-8"	WD UB	F1	WD	
05	5'-0"	6'-8"	WD UBB	F2	WD	
06	2'-4"	6'-8"	WD UB	F1	WD	
07	3'-0"	6'-8"	WD UB	F1	WD	
08	4'-0"	6'-8"	WD UBB	F2	WD	
09	1'-4"	6'-8"	WD UB	F1	WD	SLIDER - 32" MIN. CLEARANCE
10	6'-0"	6'-8"	VIN UC	MI	WD	SLIDER
11	3'-0"	6'-8"	WD UA	F1	WD	
12	6'-0"	6'-8"	WD UC	F2	WD	

NOTE:
 SEE SHEETS A10.1 & A10.2 FOR ADAPTABLE FEATURES. ALL UNITS SHALL BE PREPARED FOR ADAPTION AS REQUIRED

UNIT PLAN & INTERIOR ELEVATION NOTES

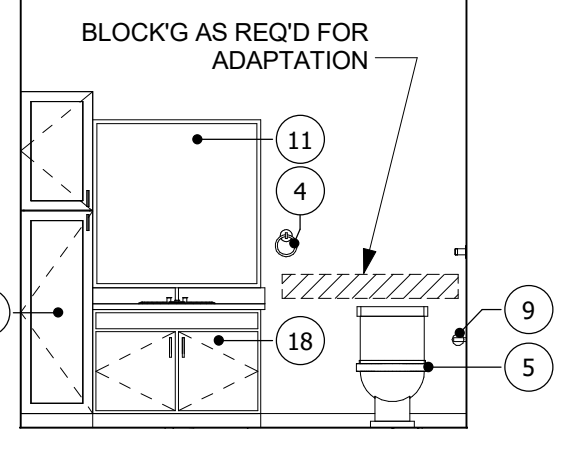
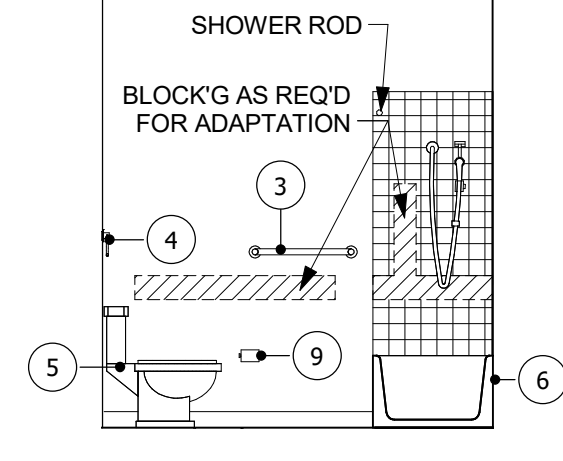
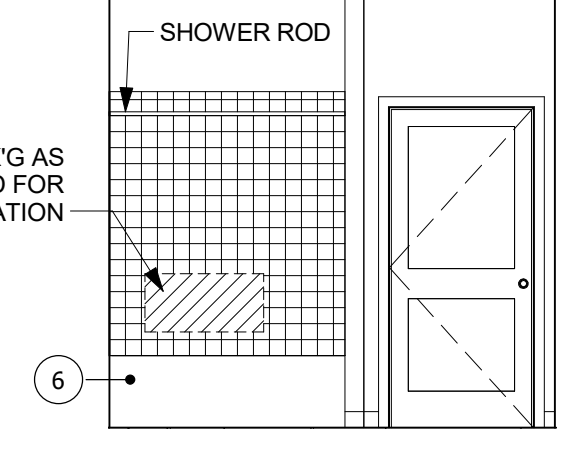
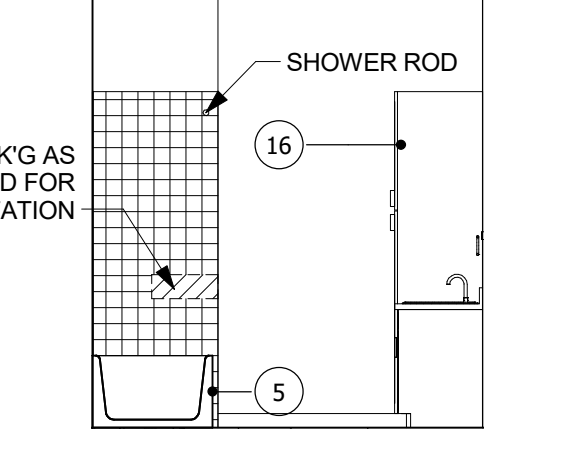
- WIRE SHELF & ROD
- WIRE SHELVES
- TOWEL BAR
- HAND TOWEL RING
- TOILETS
- BATH TUB
- SHOWER
- KITCHEN SINK
- TOILET PAPER HOLDER
- FLOOR DRAIN
- MIRROR
- 30" VANTY
- 36" VANTY W/ REMOVABLE SINK BASE
- 60" VANTY
- WORKSPACE W/ REMOVABLE BASE - 30" CLEAR MIN.
- 18" LINEN CABINET
- 12" REMOVABLE VANTY
- 42" REMOVABLE VANTY
- 12" VANTY
- 42" SINK VANTY
- CASEWORK END PANEL
- 33" REMOVABLE SINK BASE
- PANTRY CABINET
- REFRIGERATOR
- RANGE/OVEN
- DISHWASHER
- WASHER/DRYER
- TANKLESS HOT WATER HEATER
- HVAC (MAGIC PAK)
- MICROWAVE
- VINYL RAILING @ 42" A.F.F.



5 UNIT A KITCHEN - 3
 SCALE: 1/4" = 1'-0"

4 UNIT A KITCHEN - 2
 SCALE: 1/4" = 1'-0"

3 UNIT A KITCHEN - 1
 SCALE: 1/4" = 1'-0"

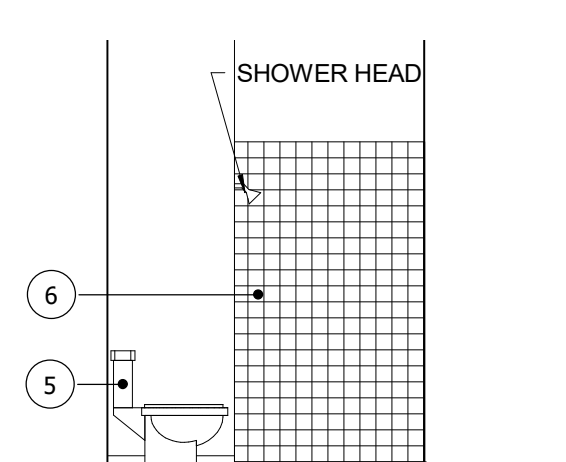
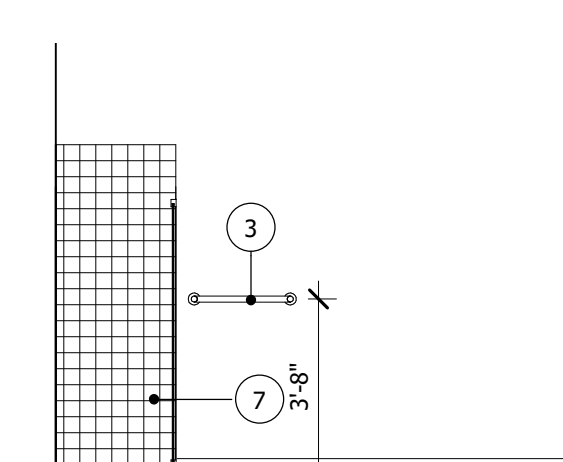
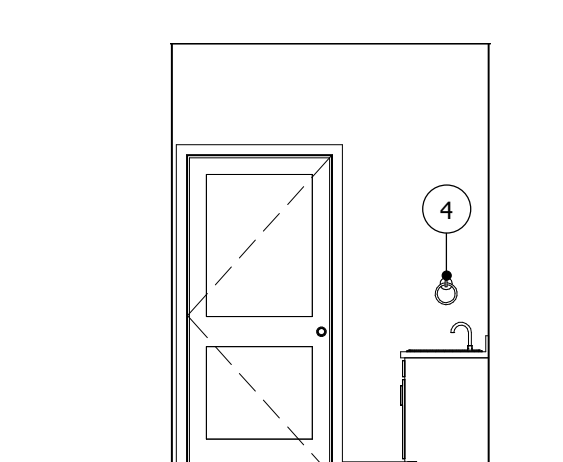
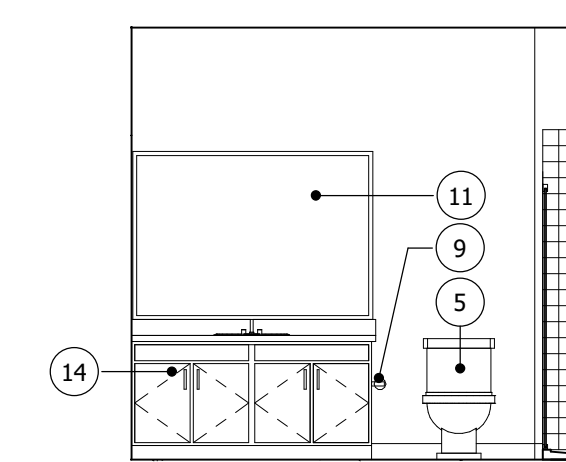


9 UNIT A BATH#2 - 4
 SCALE: 1/4" = 1'-0"

8 UNIT A BATH#2 - 3
 SCALE: 1/4" = 1'-0"

7 UNIT A BATH#2 - 2
 SCALE: 1/4" = 1'-0"

6 UNIT A BATH#2 - 1
 SCALE: 1/4" = 1'-0"



13 UNIT A MSTR BATH - 4
 SCALE: 1/4" = 1'-0"

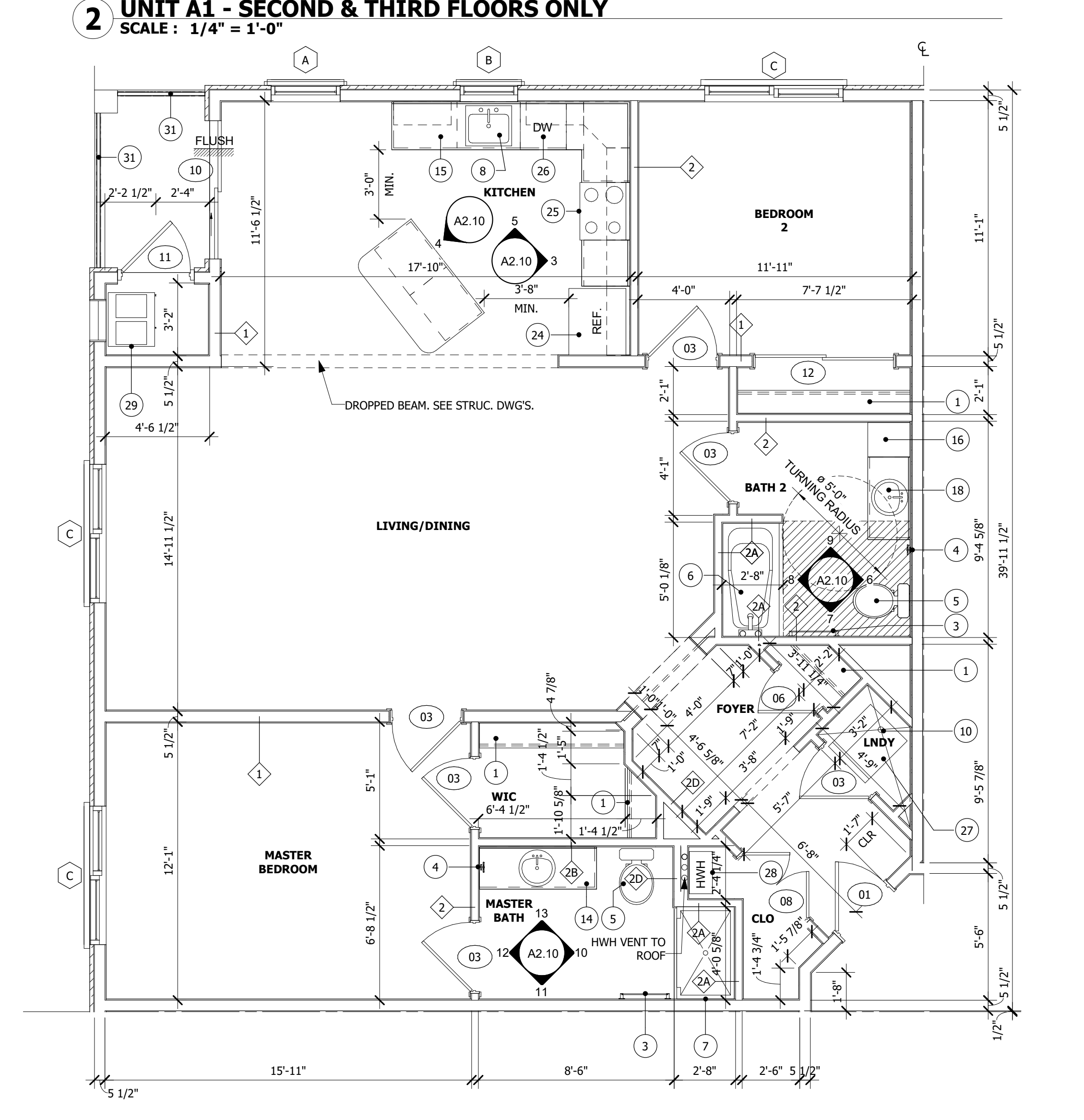
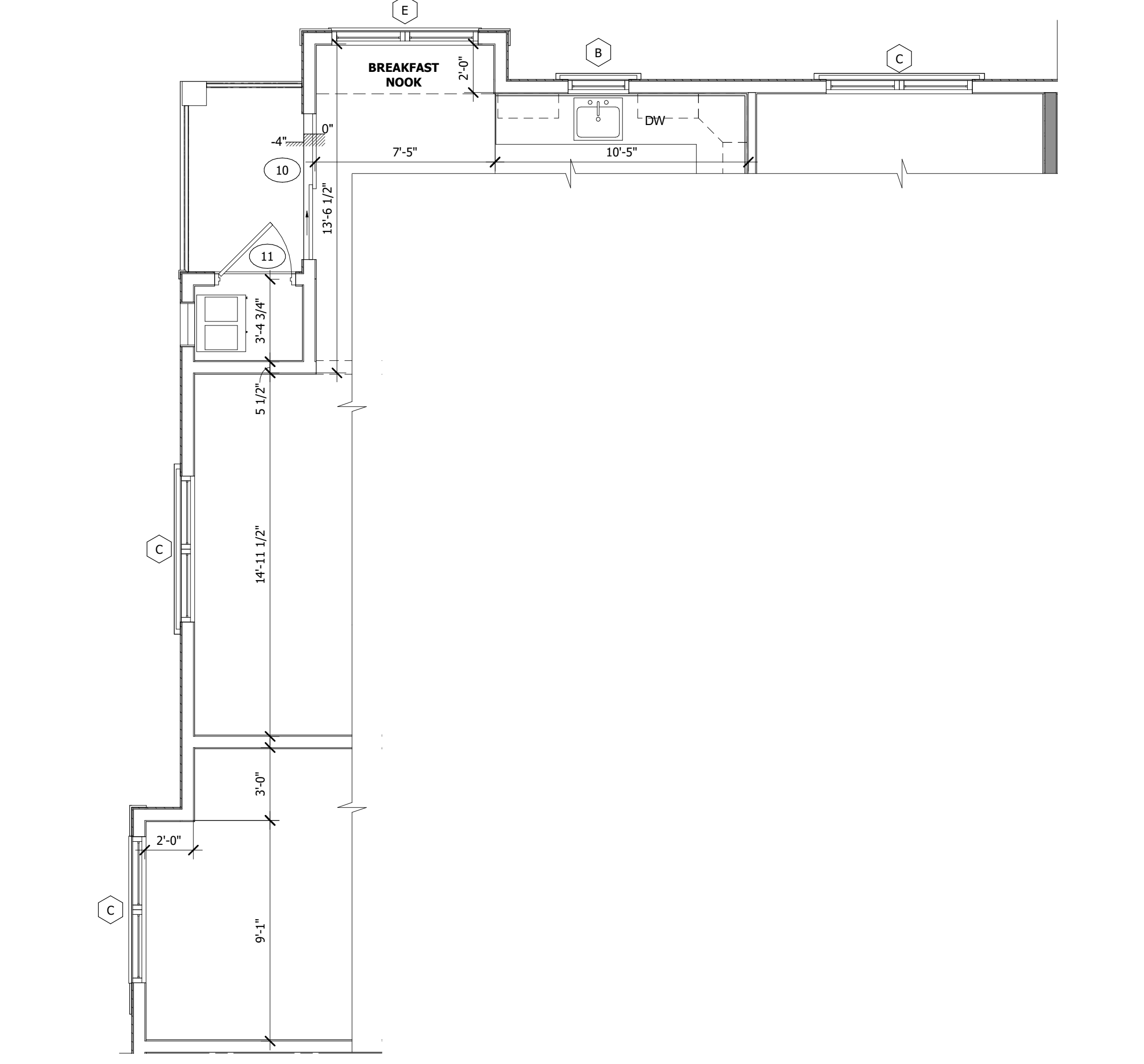
12 UNIT A MSTR BATH - 3
 SCALE: 1/4" = 1'-0"

11 UNIT A MSTR BATH - 2
 SCALE: 1/4" = 1'-0"

10 UNIT A MSTR BATH - 1
 SCALE: 1/4" = 1'-0"

- ### GENERAL NOTES
- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE
 - ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE 2x6 STUDS AT 16" o.c. UNLESS NOTED OTHERWISE
 - ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16" o.c. UNLESS NOTED OTHERWISE
 - ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOULD BE PRESSURE TREATED
 - REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
 - WHERE PRESSURE TREATED LUMBER IS USED ALL FASTENERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
 - AT RATED SEPARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
 - WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK
 - ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS

- ### UNIT NOTES
- ALL UNITS SHALL COMPLY WITH ADAPTABILITY REQUIREMENTS AS LISTED IN ANSI A117.1 (2009) FOR TYPE A DWELLING UNITS
 - ALL FINISHES MUST EXTEND UNDER REMOVABLE CABINETS AT SINK BASES AND WORKSPACES
 - 2% OF ALL UNITS SHALL COMPLY WITH THE REQUIREMENTS OF THE ACCESSIBLE COMMUNICATION FEATURES AS LISTED IN ANSI A117.1 (2009) SECTION 1006. COORDINATE UNIT LOCATION WITH OWNER
 - FINAL KITCHEN CABINET LAYOUT TO BE PREPARED BY CABINET MANUFACTURER



1 UNIT A - FIRST FLOOR ONLY
 SCALE: 1/4" = 1'-0"

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THE MARTIN ARCHITECTURAL GROUP, P.C.
 ARCHITECTS AND LAND PLANNERS
 A PROFESSIONAL CORPORATION

240 NORTH 22ND STREET, PHILADELPHIA, PA. 19103
 P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY
 P.M.: JOSEPH MONAHAN
 DRAWN BY: TT
 PROJECT NO.: 1826-05

NO.	REVISION	DATE

ISSUED FOR CONSTRUCTION THROUGH REV. X MM-DD-YYYY

UNIT PLANS RAVEN'S NEST - APARTMENTS

Building #
 Galloway Township, NJ 08205

SCALE: AS NOTED
 DATE: 12/31/2017

A2.10

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NOT FOR CONSTRUCTION

DANIEL MCCAULEY
 Professional Architect
 NJ License Number: P 00000108

WINDOW SCHEDULE						
Mark	Width	Height	Rough Width	Rough Height	Window Type	Construction Type
A	3'-0"	6'-0"	36 1/4"	72"	SH VIN	
B	2'-6"	4'-6"	30"	54"	SH VIN	OVER KITCHEN SINK
C	6'-0 1/8"	6'-0"	72 5/8"	72"	SH VIN	INTERMEDIATE JAMB
E	6'-0 1/8"	5'-0"	72 5/8"	60"	SH VIN	INTERMEDIATE JAMB
F	3'-0"	5'-0"	36 1/4"	60"	SH VIN	
G	2'-6"	5'-0"	30"	60"	F VIN	

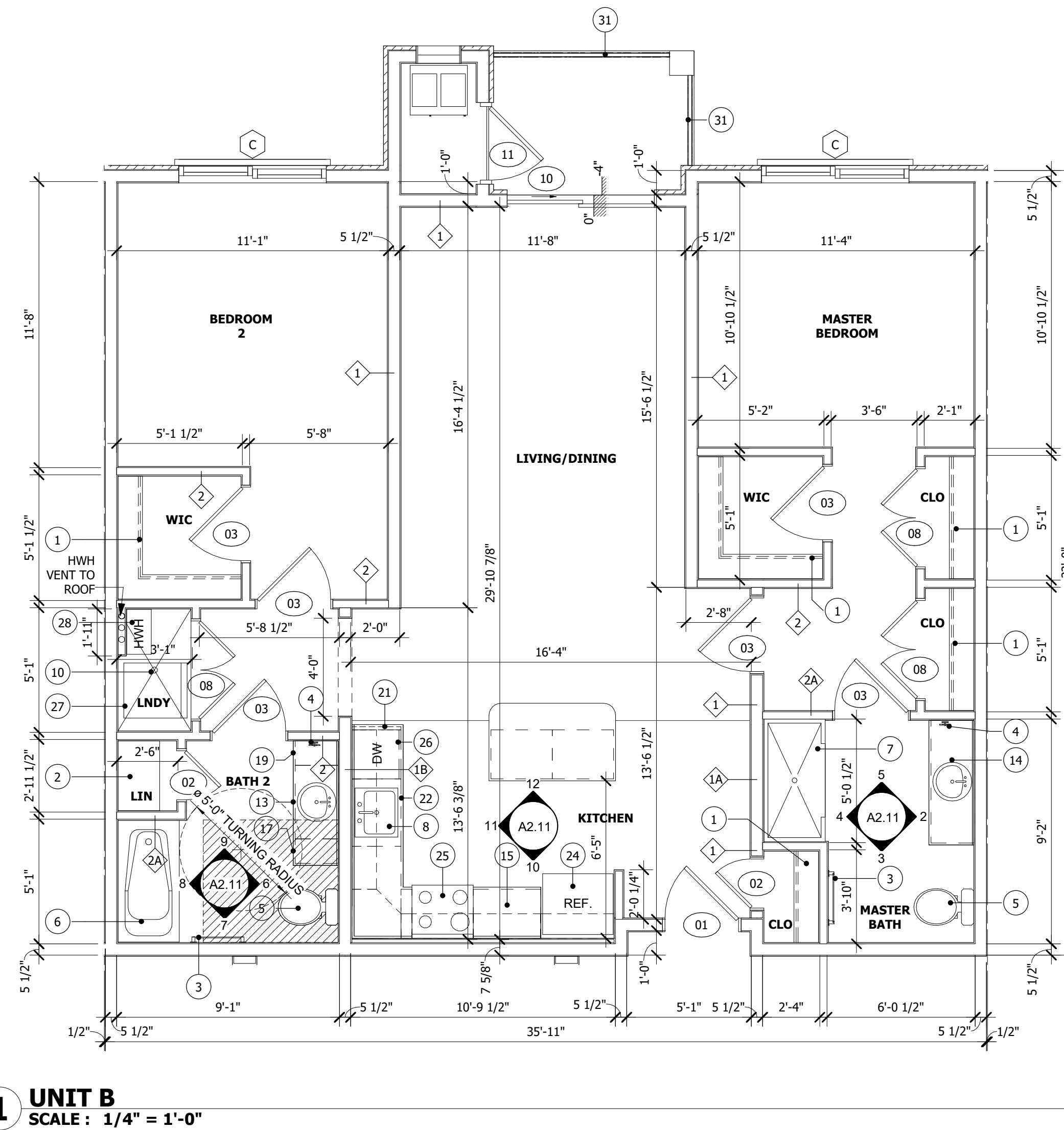
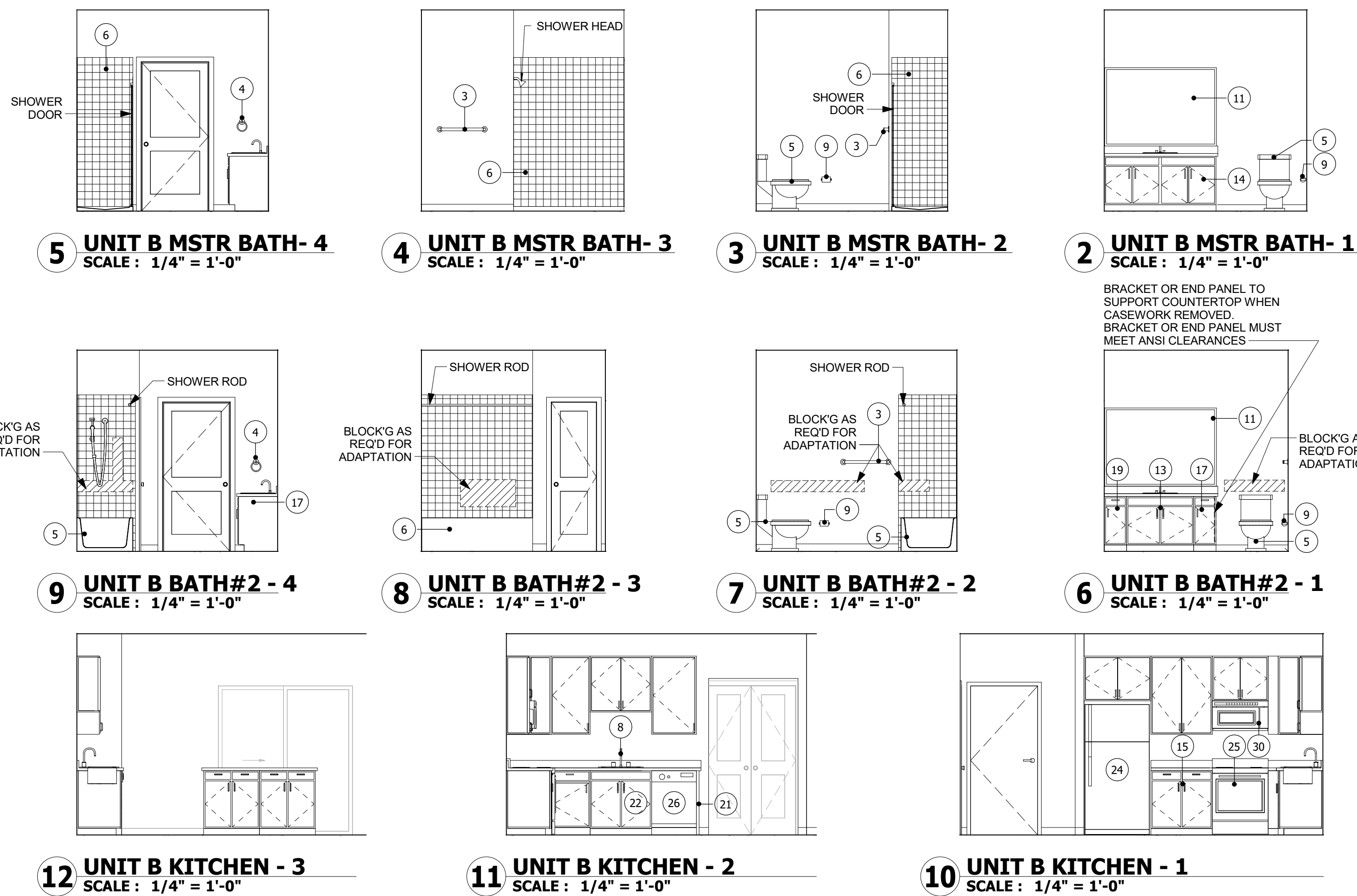
Window Type Key	Glazing	Frame	Manufacturer
F Fixed	□ Single	□ Aluminum	MI Windows or equal
SH Single Hung	■ Double	□ Wood	
DH Double Hung	□ Triple	■ Vinyl	

UNIT DOOR & FRAME SCHEDULE				
Door			Frame	
Number	Width	Height	Fire Rating	Remarks
01	3'-0"	6'-8"	1 3/4" WD UA	UNIT ENTRANCE
02	2'-0"	6'-8"	1 3/8" WD UB	
03	3'-0"	6'-8"	1 3/8" WD UB	
04	2'-10"	6'-8"	1 3/8" WD UB	
05	5'-0"	6'-8"	1 3/8" WD UBB	
06	2'-6"	6'-8"	1 3/8" WD UB	
07	3'-0"	6'-8"	1 3/8" WD UB	
08	4'-0"	6'-8"	1 3/8" WD UBB	
09	1'-4"	6'-8"	1 3/8" WD UB	
10	6'-0"	6'-8"	1 3/4" VIN UC	SLIDER - 32" MIN. CLEARANCE
11	3'-0"	6'-8"	1 3/4" WD UA	
12	6'-0"	6'-8"	1 3/8" WD UC	SLIDER

NOTES:			
1.	SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.		
2.	ALL GLAZING SHALL BE TEMPERED SAFETY GLAZING WHERE APPLICABLE PER LOCAL BUILDING CODE.		
3.	ALL DOOR HARDWARE TO BE COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT (ADA).		
4.	DOORS SHALL BE OPENABLE WITH NO MORE THAN ONE RELEASING OPERATION.		
5.	PROVIDE HANDICAPPED ACCESSIBLE THRESHOLDS AT ALL DOORS.		
6.	DOOR HARDWARE TO BE BRUSHED NICKEL.		
7.	DOOR LEVERS & HARDWARE TO BE 'DORIAN' KWIKSET.		

DOOR/FRAME MATERIAL KEY:			
EM	EXTERIOR METAL	WD	WOOD
HM	HOLLOW METAL	MTL	METAL
HC	HOLLOW CORE WOOD		
SC	SOLID CORE WOOD		
SR	STYLE AND RAIL		

UNIT PLAN & INTERIOR ELEVATION NOTES	
1	WIRE SHELF & ROD
2	5 WIRE SHELVES
3	TOWEL BAR
4	HAND TOWEL RING
5	TOILETS
6	BATH TUB
7	SHOWER
8	KITCHEN SINK
9	TOILET PAPER HOLDER
10	FLOOR DRAIN
11	MIRROR
12	30" VANITY
13	36" VANITY W/ REMOVABLE SINK BASE
14	60" VANITY
15	WORKSPACE W/ REMOVABLE BASE - 30" CLEAR MIN.
16	18" LINEN CABINET
17	12" REMOVABLE VANITY
18	42" REMOVABLE VANITY
19	12" VANITY
20	42" SINK VANITY
21	CASEWORK END PANEL
22	33" REMOVABLE SINK BASE
23	PANTRY CABINET
24	REFRIGERATOR
25	RANGE/OVEN
26	DISHWASHER
27	WASHER/DRYER
28	TANKLESS HOT WATER HEATER
29	HVAC (MAGIC PAK)
30	MICROWAVE
31	VINYL RAILING @ 42" A.F.F.



GENERAL NOTES

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UNIT NOTES

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- FINAL KITCHEN CABINET LAYOUT TO BE PREPARED BY CABINET MANUFACTURER

NOTE:
SEE SHEETS A10.1 & A10.2 FOR ADAPTABLE FEATURES. ALL UNITS SHALL BE PREPARED FOR ADAPTION AS REQUIRED

NOT FOR CONSTRUCTION
 Professional Architect: DANIEL MCCAULEY
 NJ License Number:

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NO.	REVISION	DATE

ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

UNIT PLANS
RAVEN'S NEST - APARTMENTS
 Building #
 Galloway Township, NJ 08205

SCALE: AS NOTED
 DATE: 12/31/2017

Building #
A2.11

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**UNIT PLANS
RAVEN'S NEST - APARTMENTS**

Building #
Galloway Township, NJ 08205

SCALE: AS NOTED
DATE: 12/31/2017

Building #

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UNIT DOOR & FRAME SCHEDULE		
Door		Frame
Number	Width Height Thickness Construction Type	Fire Rating Frame Type Frame Material
01	3'-0" 6'-8" 1 3/4" WD UA	C-LABEL (3/4 hr) F1 WD
02	2'-0" 6'-8" 1 3/8" WD UB	F1 WD
03	3'-0" 6'-8" 1 3/8" WD UB	F1 WD
04	2'-10" 6'-8" 1 3/8" WD UB	F1 WD
05	5'-0" 6'-8" 1 3/8" WD UBB	F2 WD
06	2'-6" 6'-8" 1 3/8" WD UB	F1 WD
07	3'-0" 6'-8" 1 3/8" WD UB	F1 WD
08	4'-0" 6'-8" 1 3/8" WD UBB	F2 WD
09	1'-4" 6'-8" 1 3/8" WD UB	F1 WD
10	6'-0" 6'-8" 1 3/4" VIN UC	F1 WD
11	3'-0" 6'-8" 1 3/4" WD UA	F1 WD
12	6'-0" 6'-8" 1 3/8" WD UC	F2 WD

Remarks	
	UNIT ENTRANCE
	SLIDER - 32" MIN. CLEARANCE
	SLIDER

NOTES:	
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2.	ALL GLAZING SHALL BE TEMPERED SAFETY GLAZING WHERE APPLICABLE PER LOCAL BUILDING CODE.
3.	ALL DOOR HARDWARE TO BE COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
4.	DOORS SHALL BE OPENABLE WITH NO MORE THAN ONE RELEASING OPERATION.
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7.	DOOR LEVERS & HARDWARE TO BE 'DORIAN' KWIKSET.

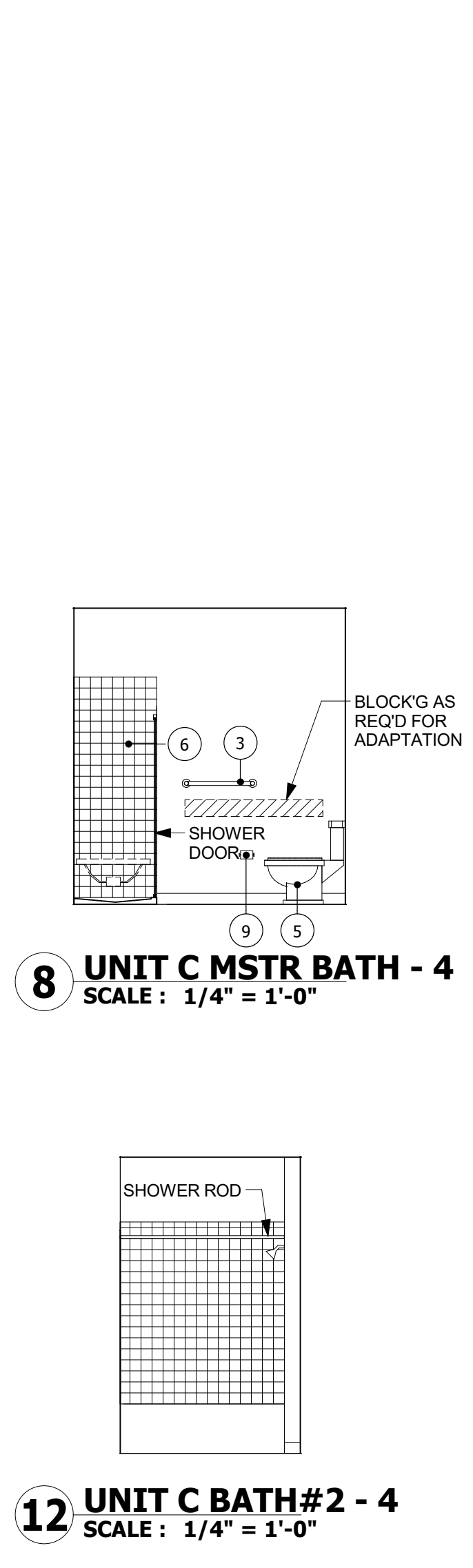
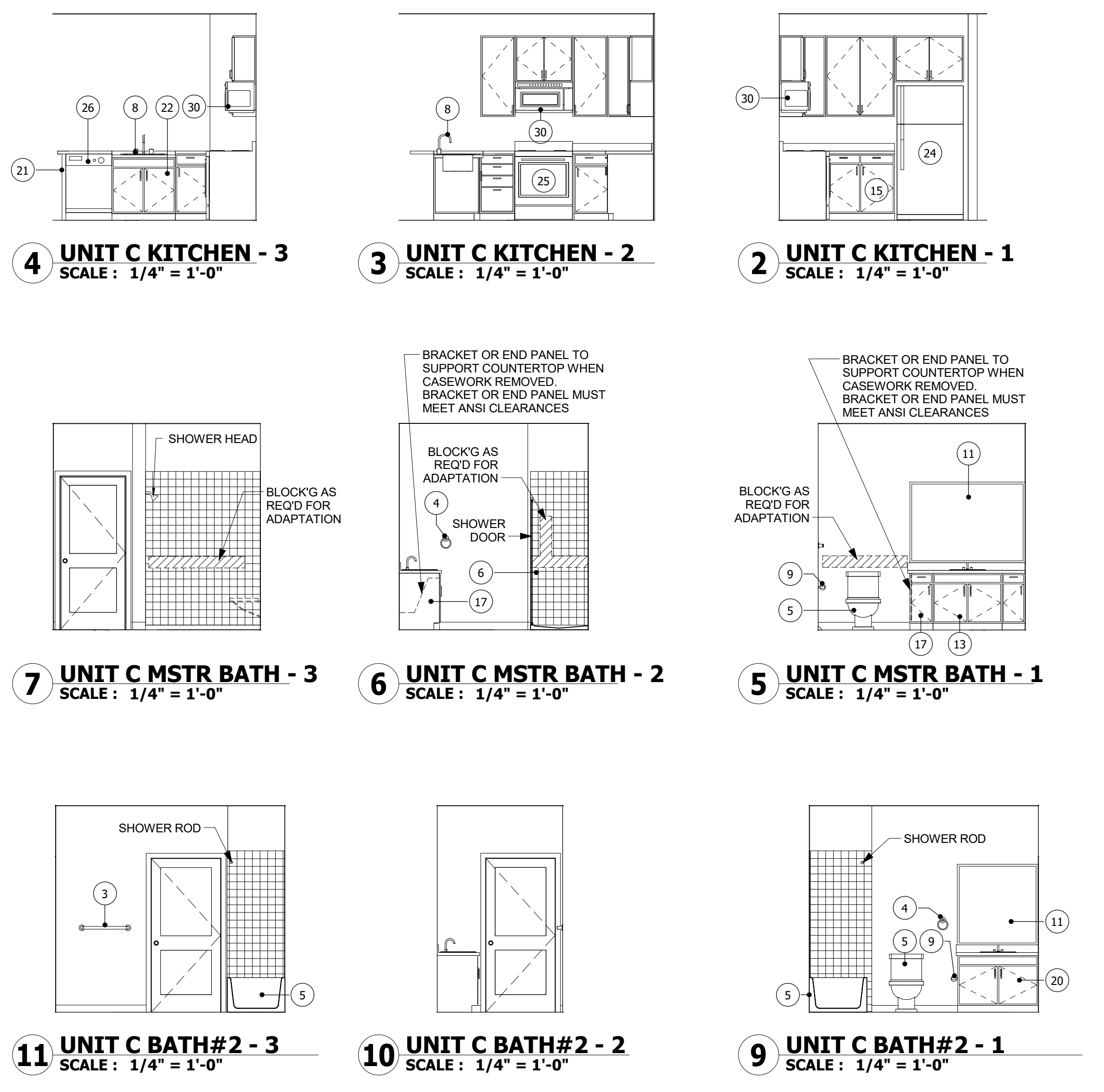
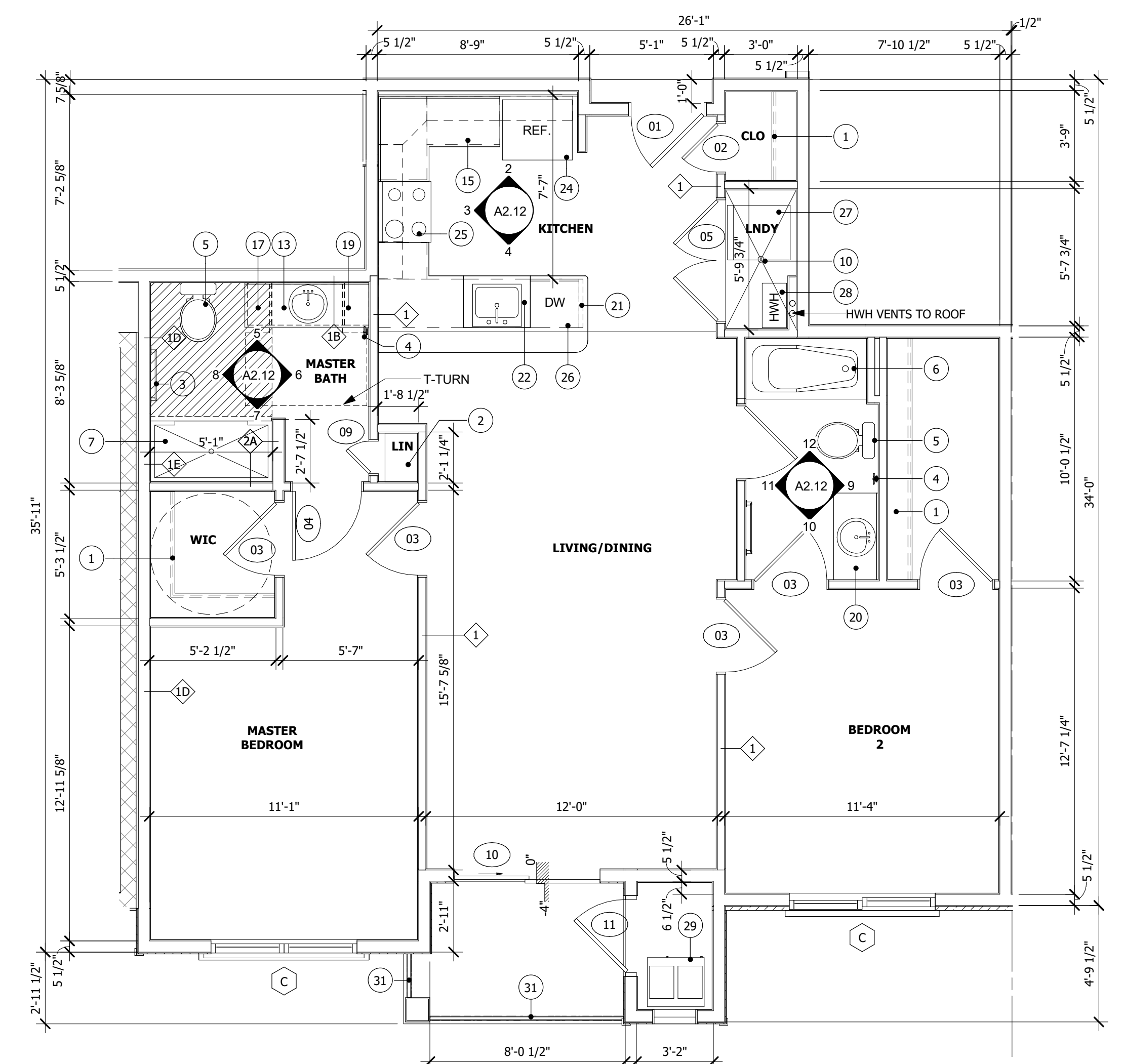
DOOR/FRAME MATERIAL KEY:	
EM	EXTERIOR METAL
HM	HOLLOW METAL
HC	HOLLOW CORE WOOD
SC	SOLID CORE WOOD
SR	STILE AND RAIL
WD	WOOD
MTL	METAL

WINDOW SCHEDULE						
Mark	Width	Height	Rough Width	Rough Height	Window Type	Construction Type
A	3'-0"	6'-0"	36 1/4"	72"	SH VIN	VIN
B	2'-6"	4'-6"	30"	54"	SH VIN	VIN
C	6'-0 1/8"	6'-0"	72 5/8"	72"	SH VIN	VIN
E	6'-0 1/8"	5'-0"	72 5/8"	60"	SH VIN	VIN
F	3'-0"	5'-0"	36 1/4"	60"	SH VIN	VIN
G	2'-6"	5'-0"	30"	60"	F VIN	VIN

Window Type Key	Glazing	Frame	Manufacturer
F Fixed	□ Single	□ Aluminum	M1 Windows or equal
SH Single Hung	▣ Double	□ Wood	
DH Double Hung	□ Triple	■ Vinyl	

UNIT PLAN & INTERIOR ELEVATION NOTES

- 1 WIRE SHELF & ROD
- 2 WIRE SHELVES
- 3 TOWEL BAR
- 4 HAND TOWEL RING
- 5 TOILETS
- 6 BATH TUB
- 7 SHOWER
- 8 KITCHEN SINK
- 9 TOILET PAPER HOLDER
- 10 FLOOR DRAIN
- 11 MIRROR
- 12 30" VANITY
- 13 36" VANITY W/ REMOVABLE SINK BASE
- 14 60" VANITY
- 15 WORKSPACE W/ REMOVABLE BASE - 30" CLEAR MIN.
- 16 LINEN CABINET
- 17 REMOVABLE VANITY
- 18 42" REMOVABLE VANITY
- 19 12" VANITY
- 20 42" SINK VANITY
- 21 CASEWORK END PANEL
- 22 33" REMOVABLE SINK BASE
- 23 PANTRY CABINET
- 24 REFRIGERATOR
- 25 RANGE/OVEN
- 26 DISHWASHER
- 27 WASHER/DRYER
- 28 TANKLESS HOT WATER HEATER
- 29 HVAC (MAGIC PAK)
- 30 MICROWAVE
- 31 VINYL RAILING @ 42" A.F.F.



WINDOW SCHEDULE									
Mark	Width	Height	ROUGH Width	ROUGH Height	Window Type	Construction Type	Comments		
A	3'-0"	6'-0"	36 1/4"	72"	SH VIN	VIN	OVER KITCHEN SINK		
B	2'-6"	4'-6"	30"	54"	SH VIN	VIN	INTERMEDIATE JAMB		
C	6'-0 1/8"	6'-0"	72 5/8"	72"	SH VIN	VIN	INTERMEDIATE JAMB		
E	6'-0 1/8"	5'-0"	72 5/8"	60"	SH VIN	VIN	INTERMEDIATE JAMB		
F	3'-0"	5'-0"	36 1/4"	60"	SH VIN	VIN			
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Window Type Key	Glazing	Frame	Manufacturer
F Fixed	□ Single	□ Aluminum	M1 Windows or equal
SH Single Hung	■ Double	□ Wood	
DH Double Hung	□ Triple	■ Vinyl	

UNIT DOOR & FRAME SCHEDULE									
Number	Width	Height	Thickness	Construction Type	Door Type	Fire Rating	Frame Type	Frame Material	Remarks
01	3'-0"	6'-8"	1 3/4"	WD UA	UA	C-LABEL (3/4 hr)	F1	WD	UNIT ENTRANCE
02	2'-0"	6'-8"	1 3/8"	WD UB	UB		F1	WD	
03	3'-0"	6'-8"	1 3/8"	WD UB	UB		F1	WD	
04	2'-10"	6'-8"	1 3/8"	WD UB	UB		F1	WD	
05	5'-0"	6'-8"	1 3/8"	WD UBB	UBB		F2	WD	
06	2'-6"	6'-8"	1 3/8"	WD UB	UB		F1	WD	
07	3'-0"	6'-8"	1 3/8"	WD UB	UB		F1	WD	
08	4'-0"	6'-8"	1 3/8"	WD UBB	UBB		F2	WD	
09	1'-4"	6'-8"	1 3/8"	WD UB	UB		F1	WD	
10	6'-0"	6'-8"	1 3/4"	VIN UC	UC		F1	WD	SLIDER - 32" MIN. CLEARANCE
11	3'-0"	6'-8"	1 3/4"	WD UA	UA		F1	WD	
12	6'-0"	6'-8"	1 3/8"	WD UC	UC		F2	WD	SLIDER

NOTES:	
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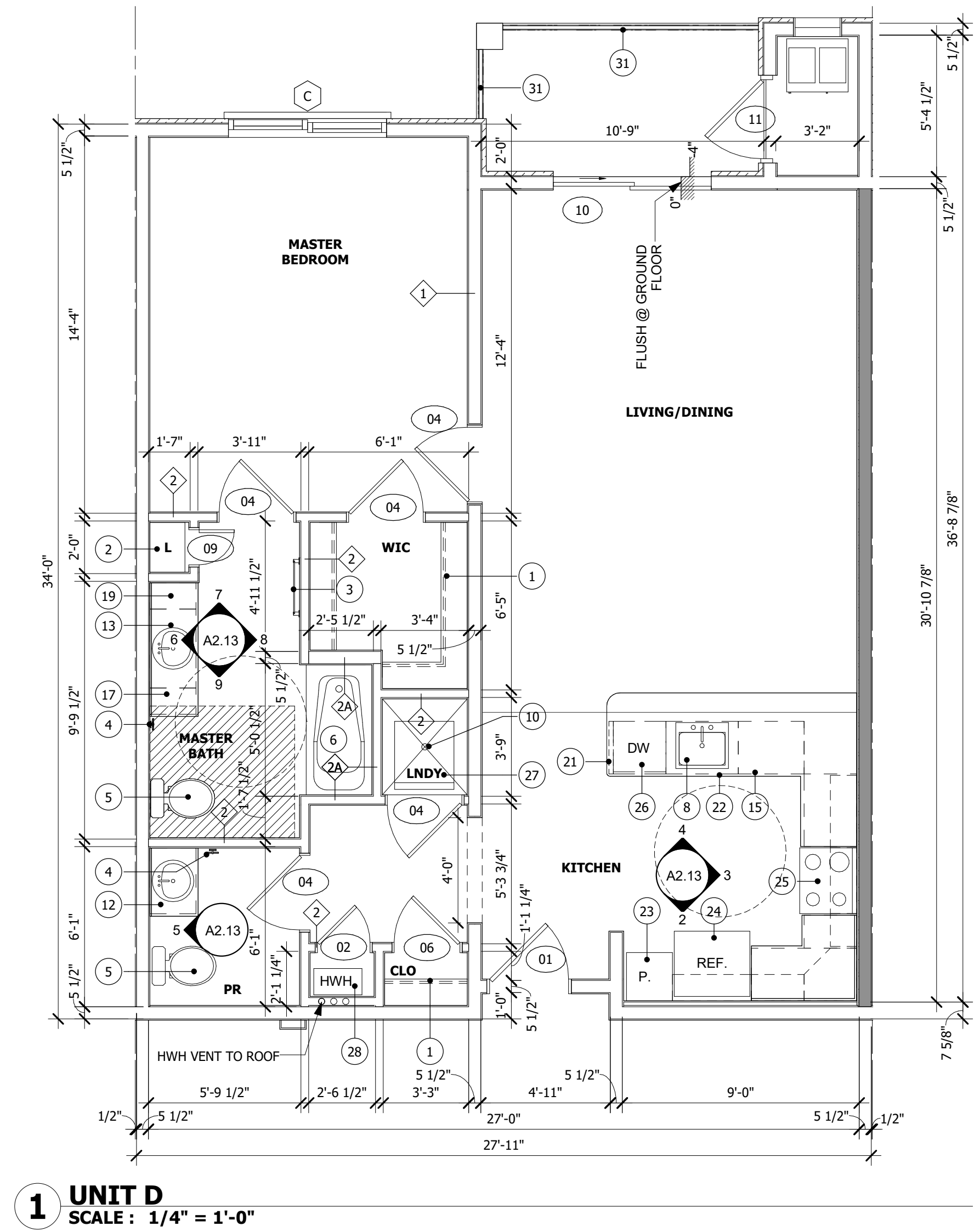
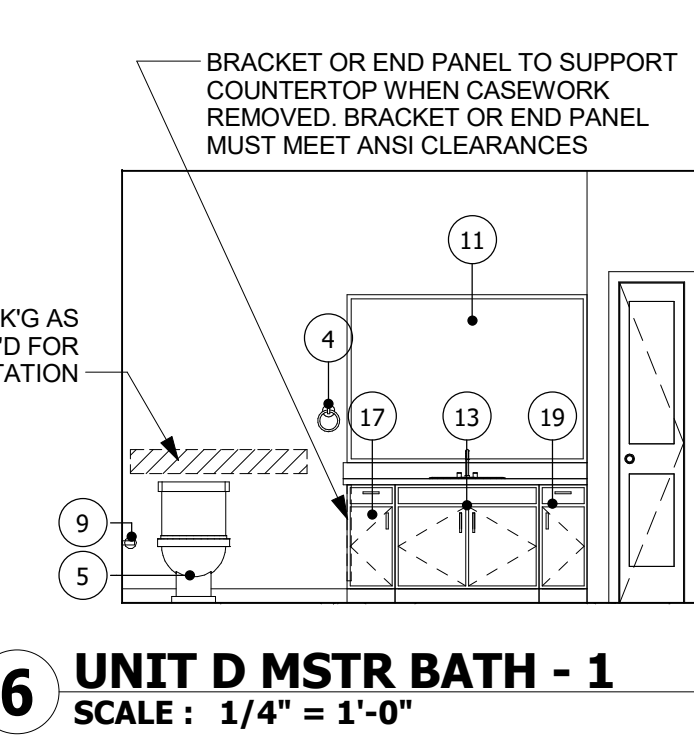
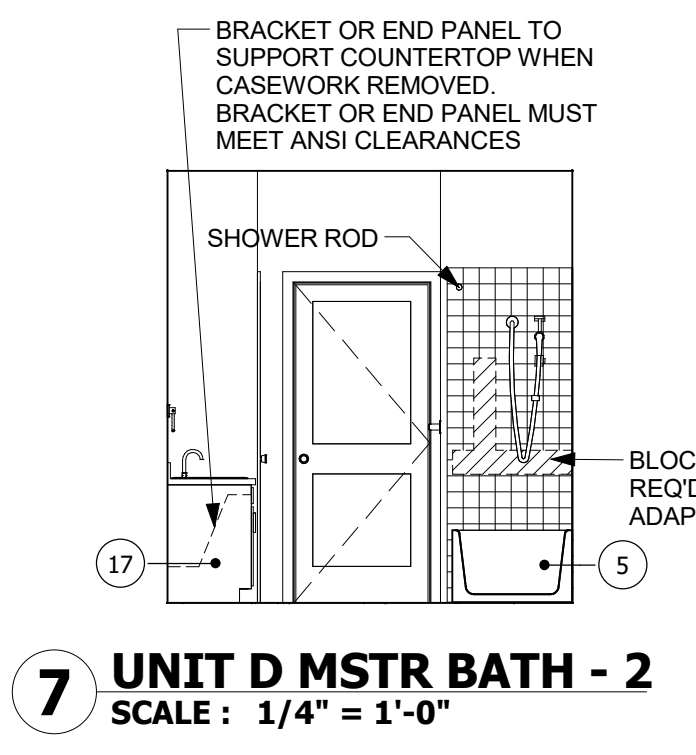
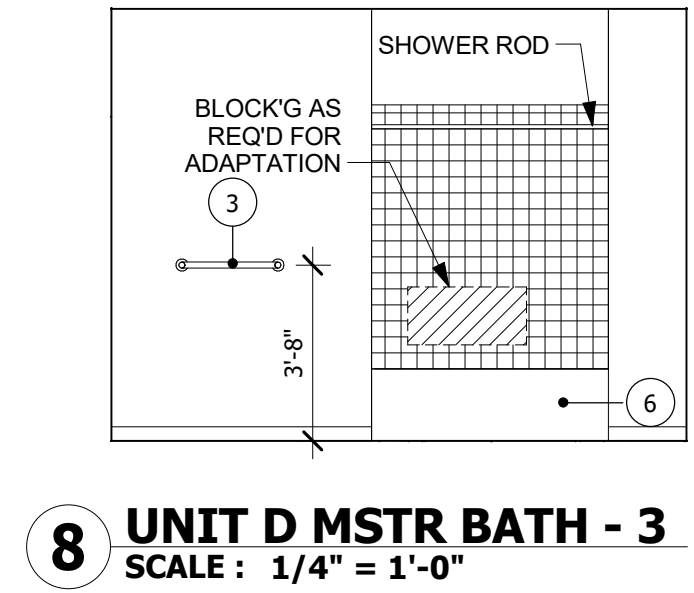
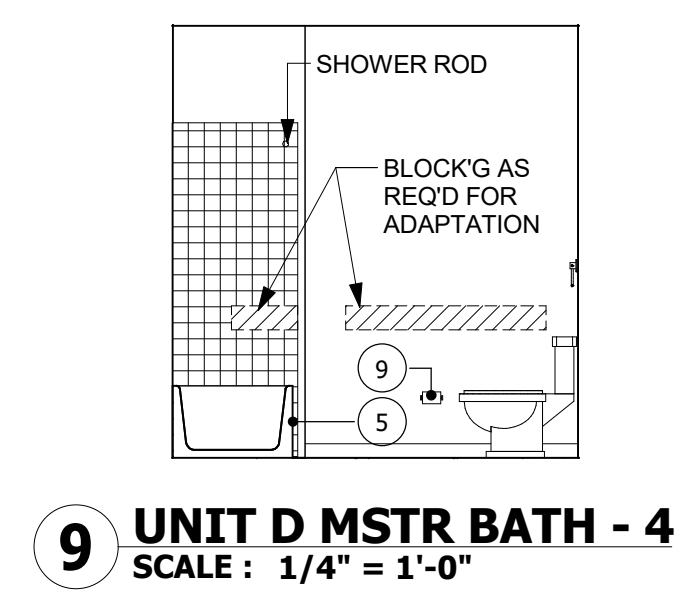
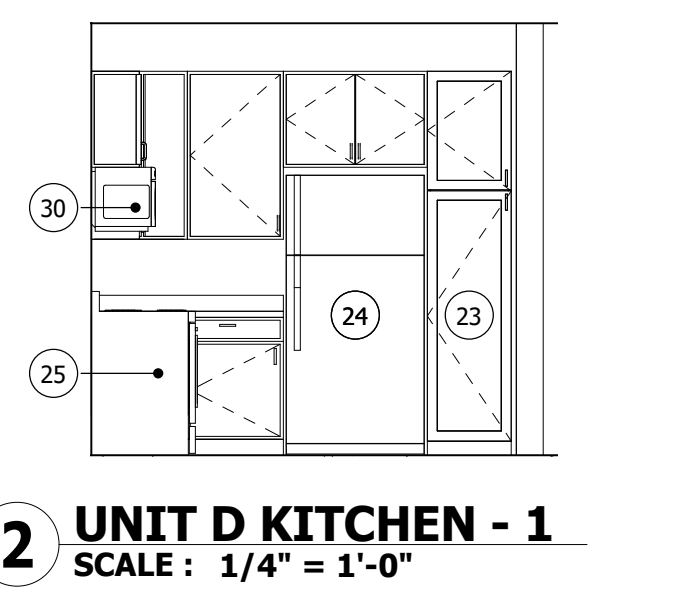
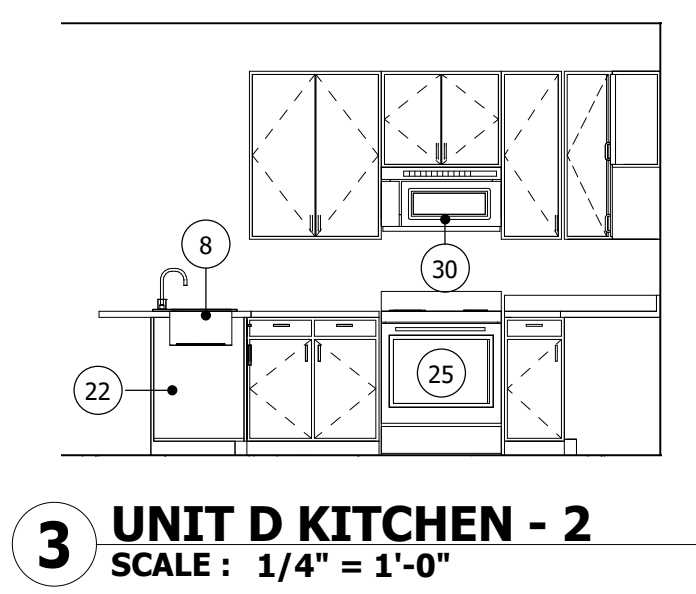
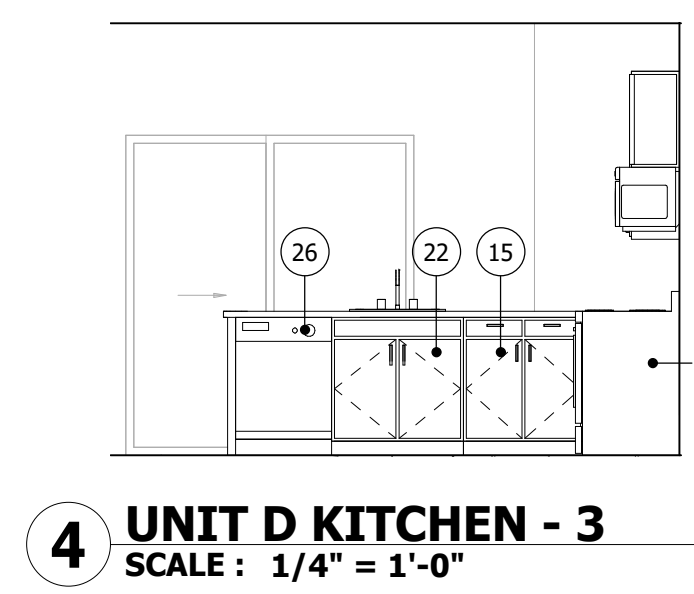
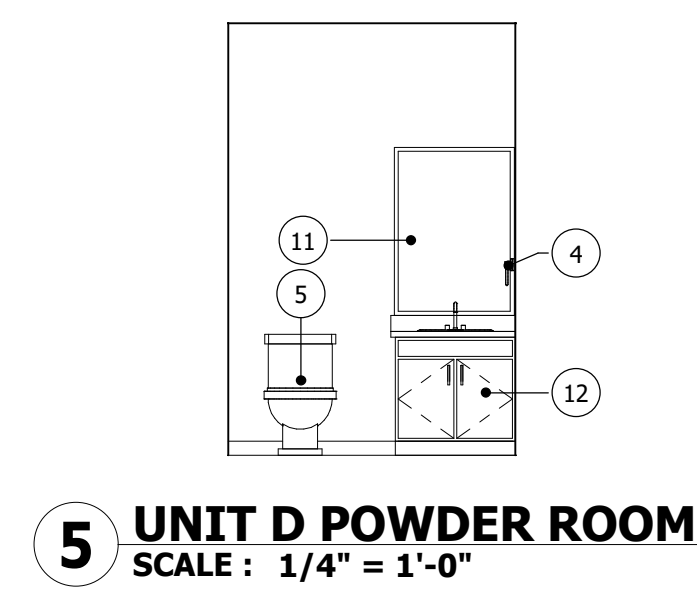
DOOR/FRAME MATERIAL KEY:			
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DRAWN BY: TT
PROJECT NO.: 1826-05

ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

UNIT PLANS
RAVEN'S NEST - APARTMENTS
Building #
Galloway Township, NJ 08205

SCALE: [REDACTED]
DATE: 10/25/17

Building #
A2.13
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Professional Architect:
NJ License Number:
DANIEL MCCAULEY

THE MARTIN ARCHITECTURAL GROUP, P.C.
ARCHITECTS AND LAND PLANNERS
A PROFESSIONAL CORPORATION
240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103
P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY
P.M.: JOSEPH MONAHAN
DRAWN BY: TT
PROJECT NO: 1826-05

NO.	REVISION	DATE

ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

ELEVATIONS
RAVEN'S NEST - APARTMENTS
Building #
Gateway Township, NJ 08205

SCALE: AS NOTED
DATE: 12/31/2017

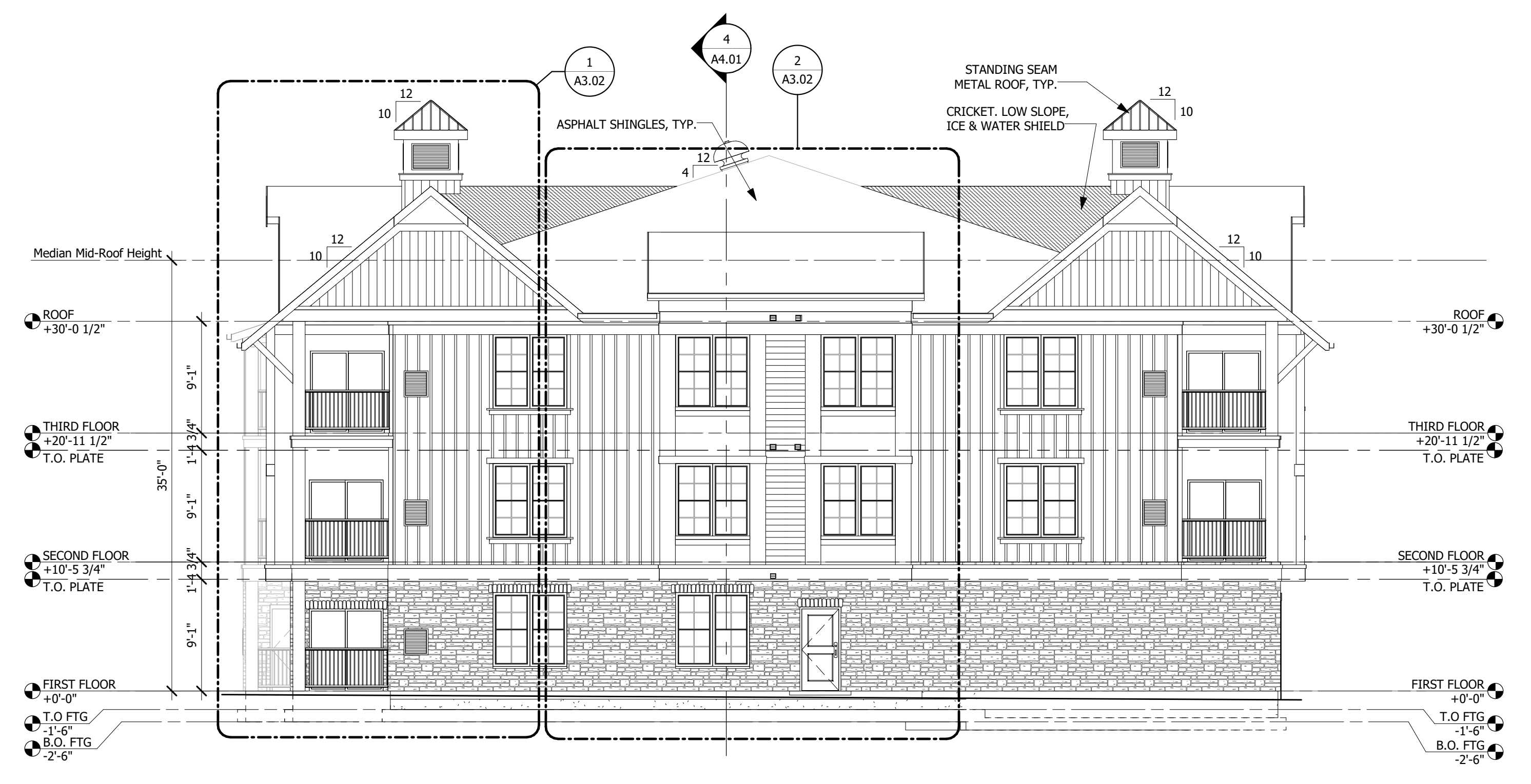
Building #

A3.01
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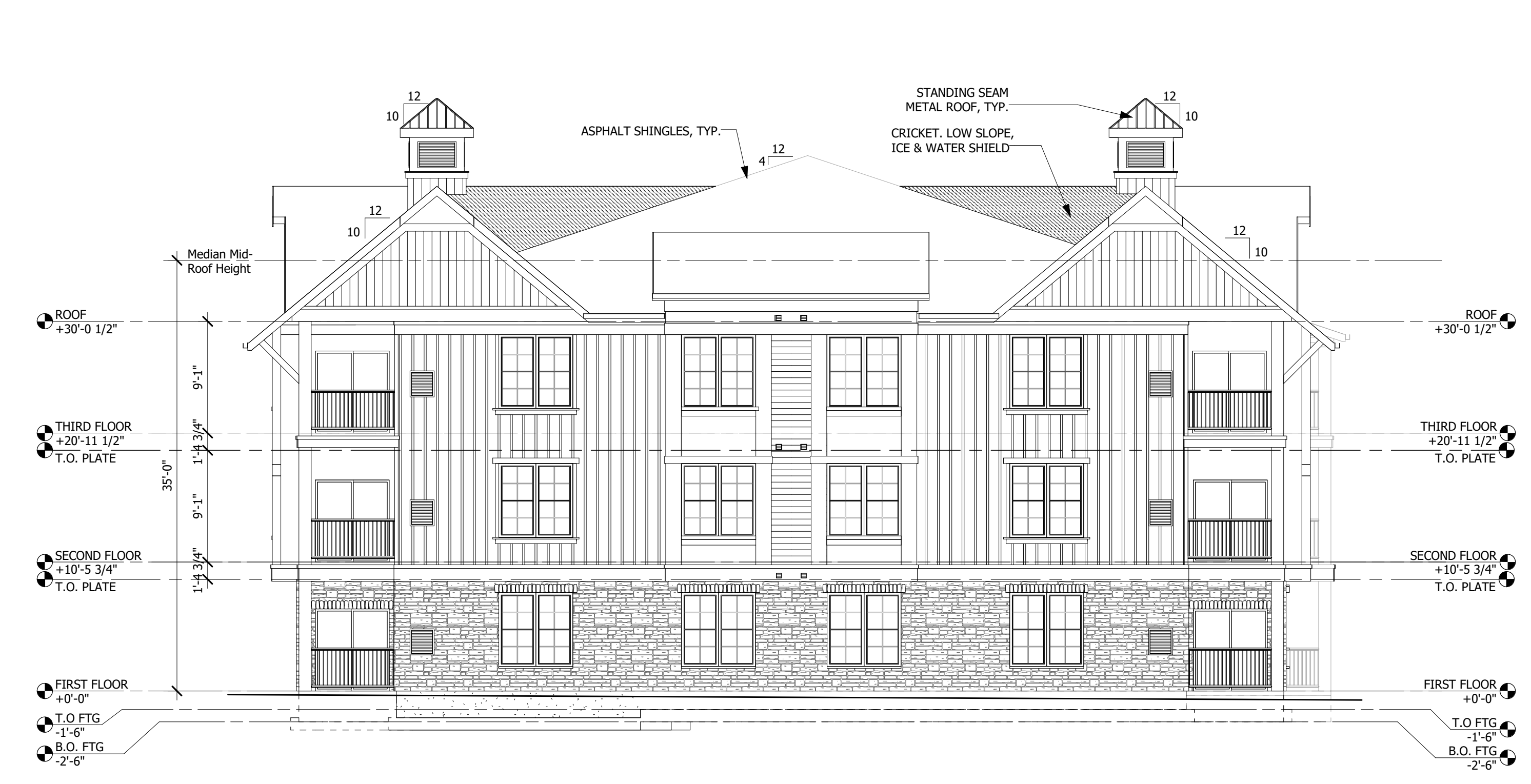
NOT FOR CONSTRUCTION



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

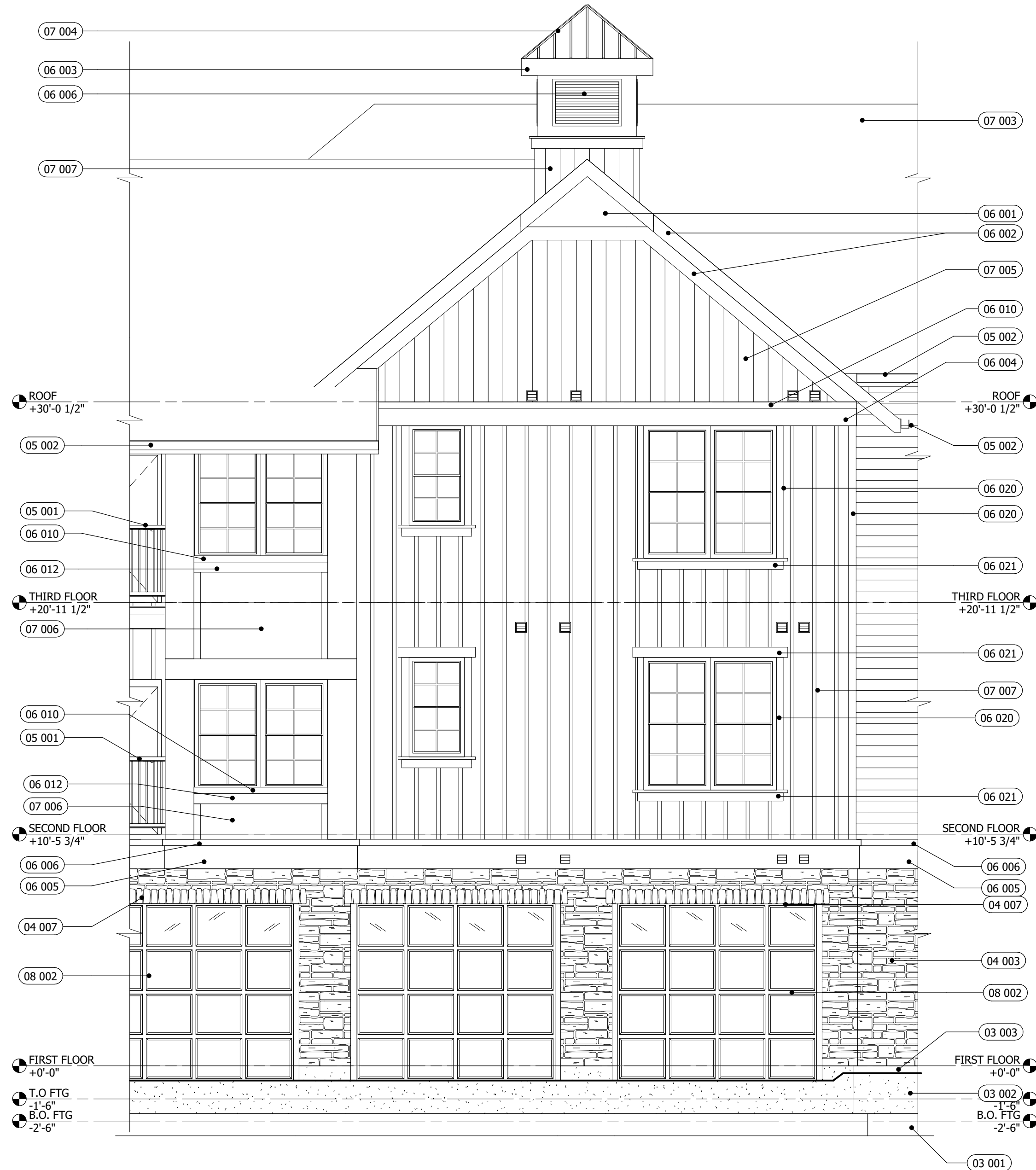
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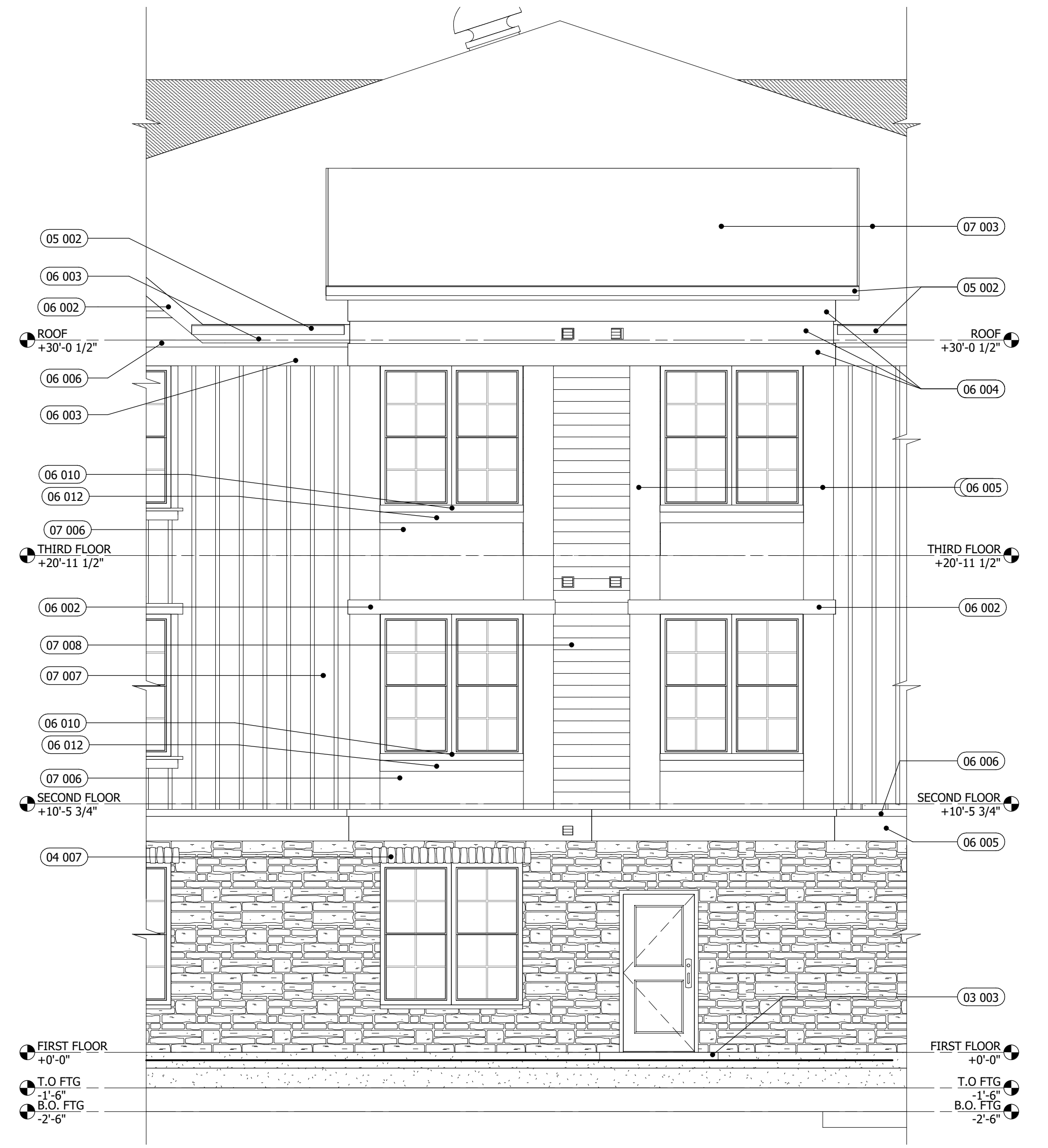
ELEVATION KEYNOTE LEGEND	
MARK	DESCRIPTION
03 001	CONCRETE FOOTING
03 002	CONCRETE FOUNDATION
03 003	CONCRETE SIDEWALK/CONC. PAD
04 003	MANUFACTURED STONE VENEER
04 006	PRECAST GAP
04 007	MANUFACTURED STONE SOLDIER HEADER
05 001	PAINTED METAL RAILINGS
05 002	GUTTERS
06 001	PVC PANEL
06 002	5/4 x 8 PVC TRIM
06 003	5/4 x 10 PVC TRIM
06 004	5/4 x 12 PVC TRIM
06 005	5/4 x 16 PVC TRIM
06 006	5/4 x 4 PVC TRIM
06 007	PVC LOUVER
06 008	PVC BRACKET
06 009	PVC COLUMN WRAP
06 010	5/4 x 4 PVC TRIM
06 012	4/4 x 6 PVC TRIM
06 020	5/4 x 4 VINYL TRIM
06 021	5/4 x 6 VINYL TRIM
07 003	ASPHALT SHINGLES
07 004	STANDING SEAM METAL ROOF
07 005	PVC PANEL (WOOD GRAIN)
07 006	PVC PANEL (SMOOTH)
07 007	VINYL VERTICAL SIDING "CERTAIN TEED" OR EQUIVALENT
07 008	VINYL HORIZONTAL SIDING "CERTAIN TEED" OR EQUIVALENT
07 009	VINYL BATTEN BOARD "CERTAIN TEED" OR EQUIVALENT
08 001	MECH. EQUIP. LOUVER
08 002	OVERHEAD GARAGE DOOR



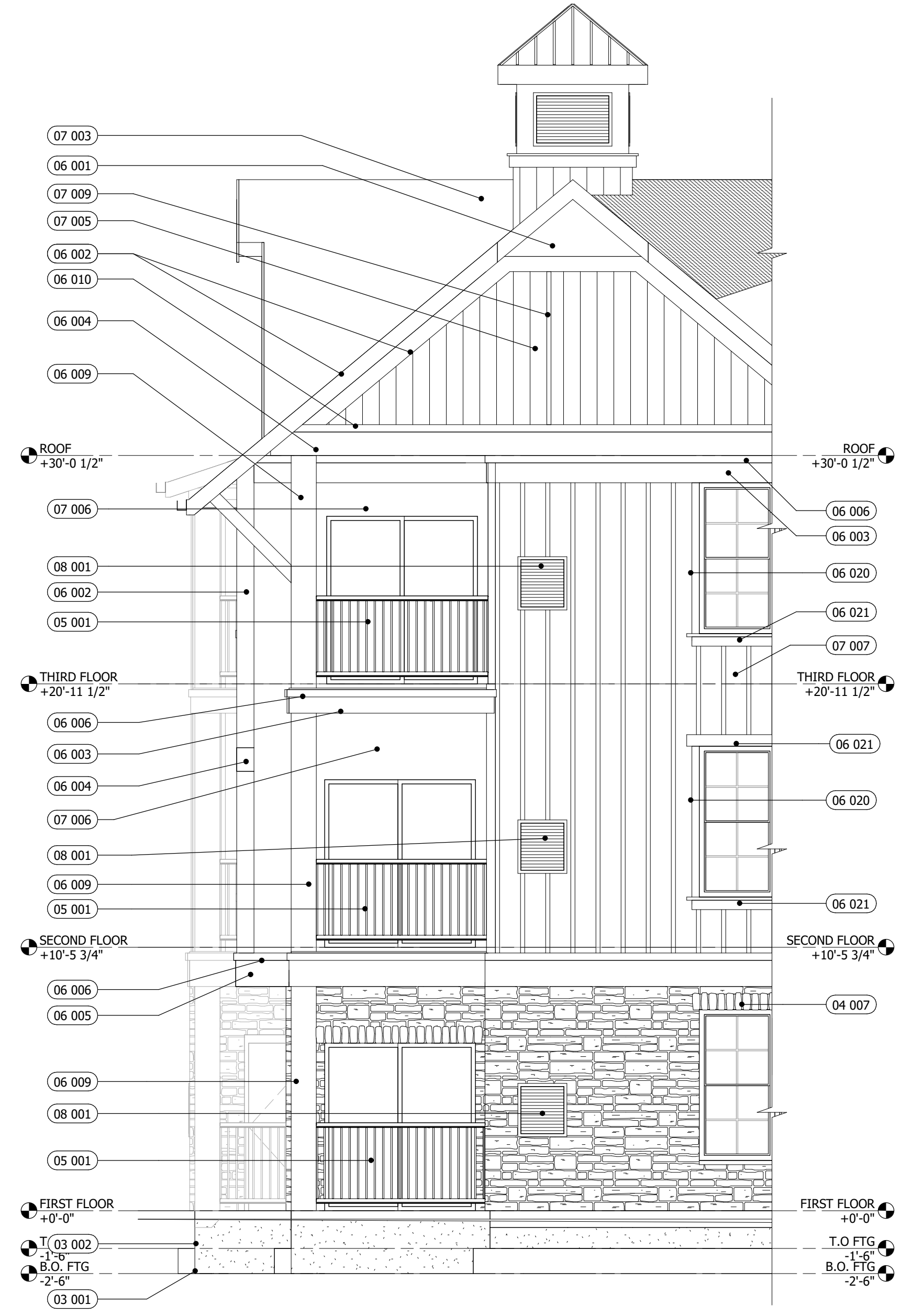
4 ENLARGED ELEVATION 4
SCALE: 1/4" = 1'-0"



3 ENLARGED ELEVATION 3
SCALE: 1/4" = 1'-0"



2 ENLARGED ELEVATION 2
SCALE: 1/4" = 1'-0"



1 ENLARGED ELEVATION 1
SCALE: 1/4" = 1'-0"

DANIEL MCCAULEY
 Professional Architect
 NJ License Number: [REDACTED]
THE MARTIN ARCHITECTURAL GROUP, P.C.
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ISSUED FOR CONSTRUCTION
 THROUGH REV. X
 MM-DD-YYYY

ENLARGED ELEVATIONS
RAVEN'S NEST - APARTMENTS
 Building # [REDACTED]
 Galloway Township, NJ 08205

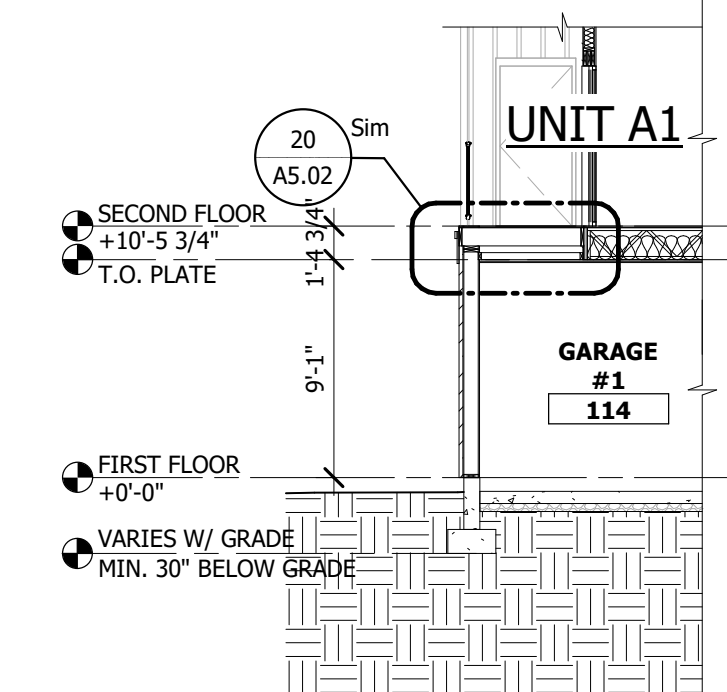
SCALE: [REDACTED]
 DATE: 10/13/17

Building # [REDACTED]
A3.02
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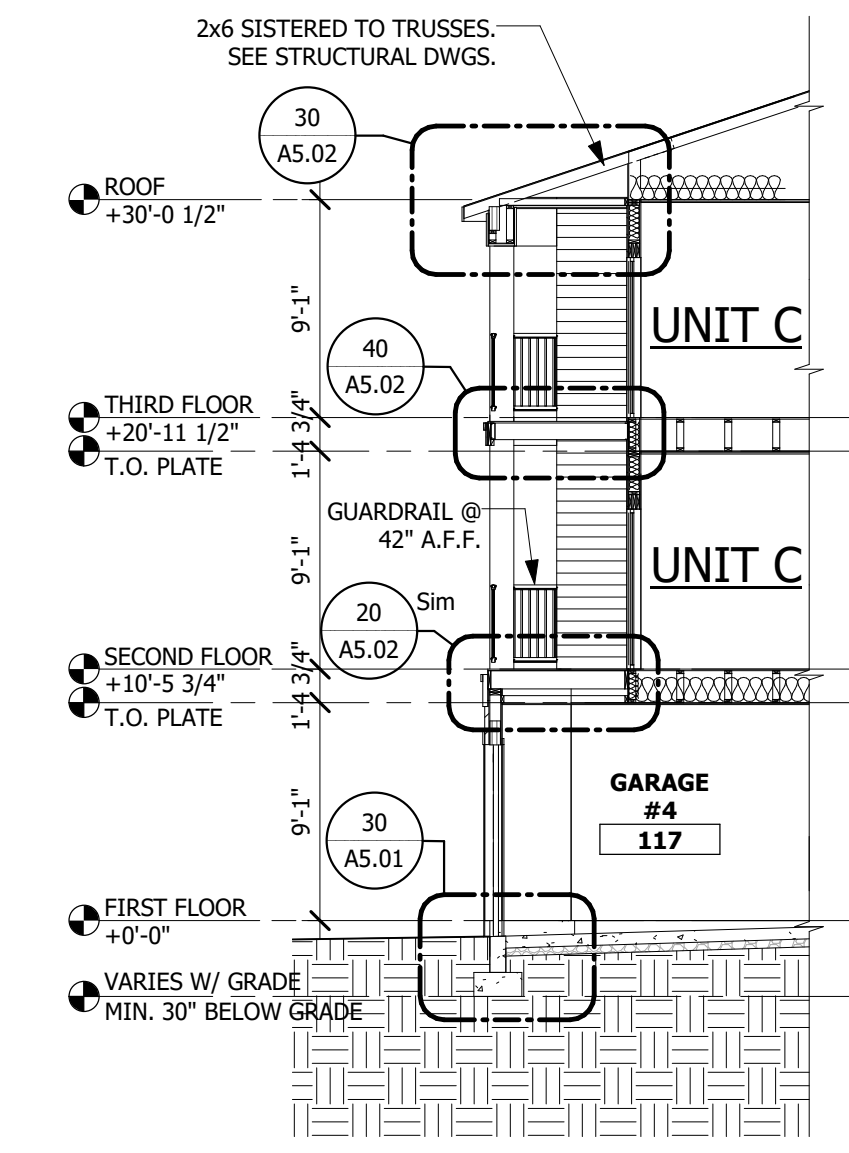
NO.	REVISION	DATE

ISSUED FOR CONSTRUCTION THROUGH REV. X MM-DD-YYYY

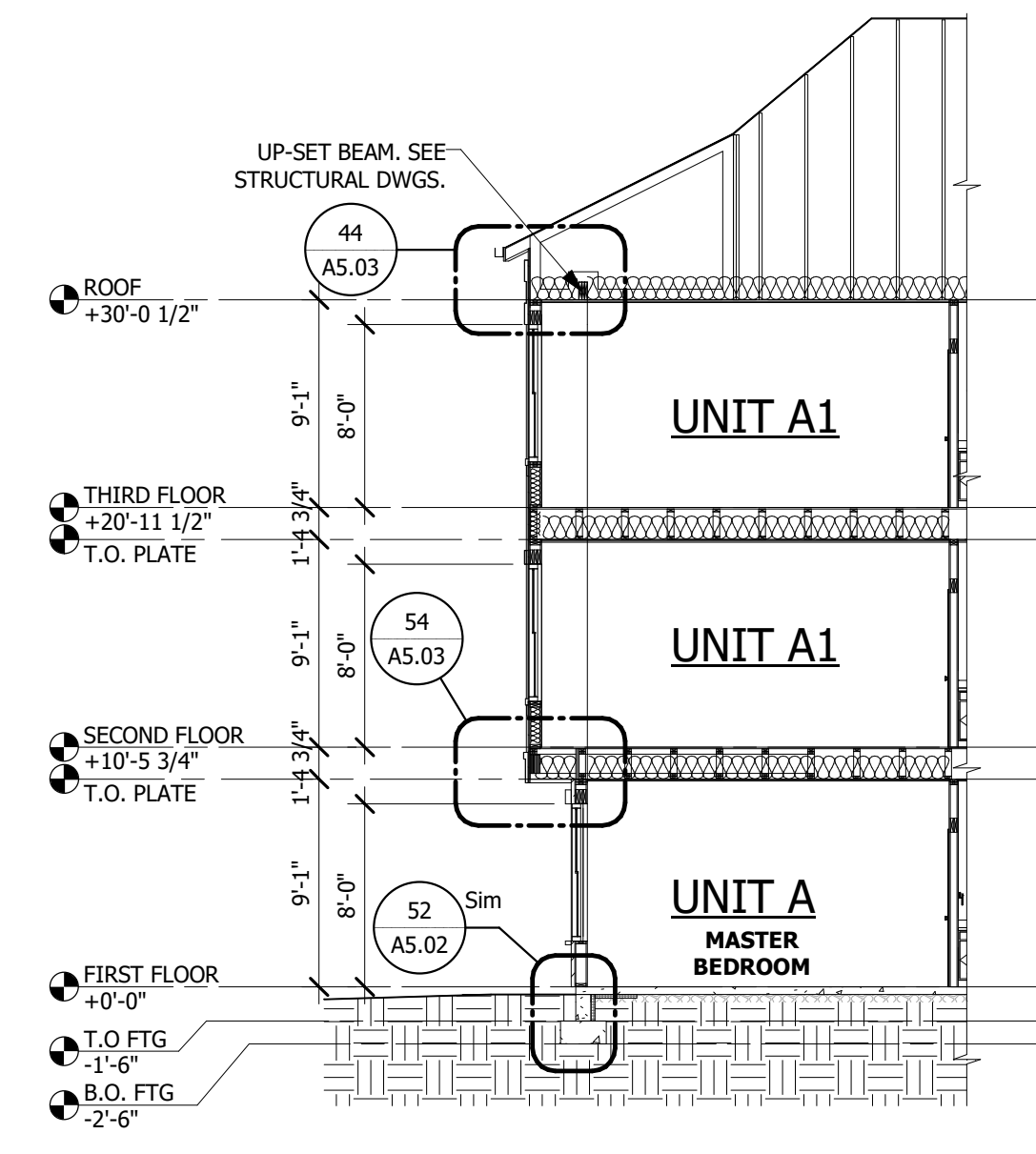
- GENERAL NOTES**
- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE
 - ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
 - ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
 - ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOULD BE PRESSURE TREATED
 - REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
 - WHERE PRESSURE TREATED LUMBER IS USED ALL FASTENERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
 - AT RATED SEPARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
 - WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK
 - ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS



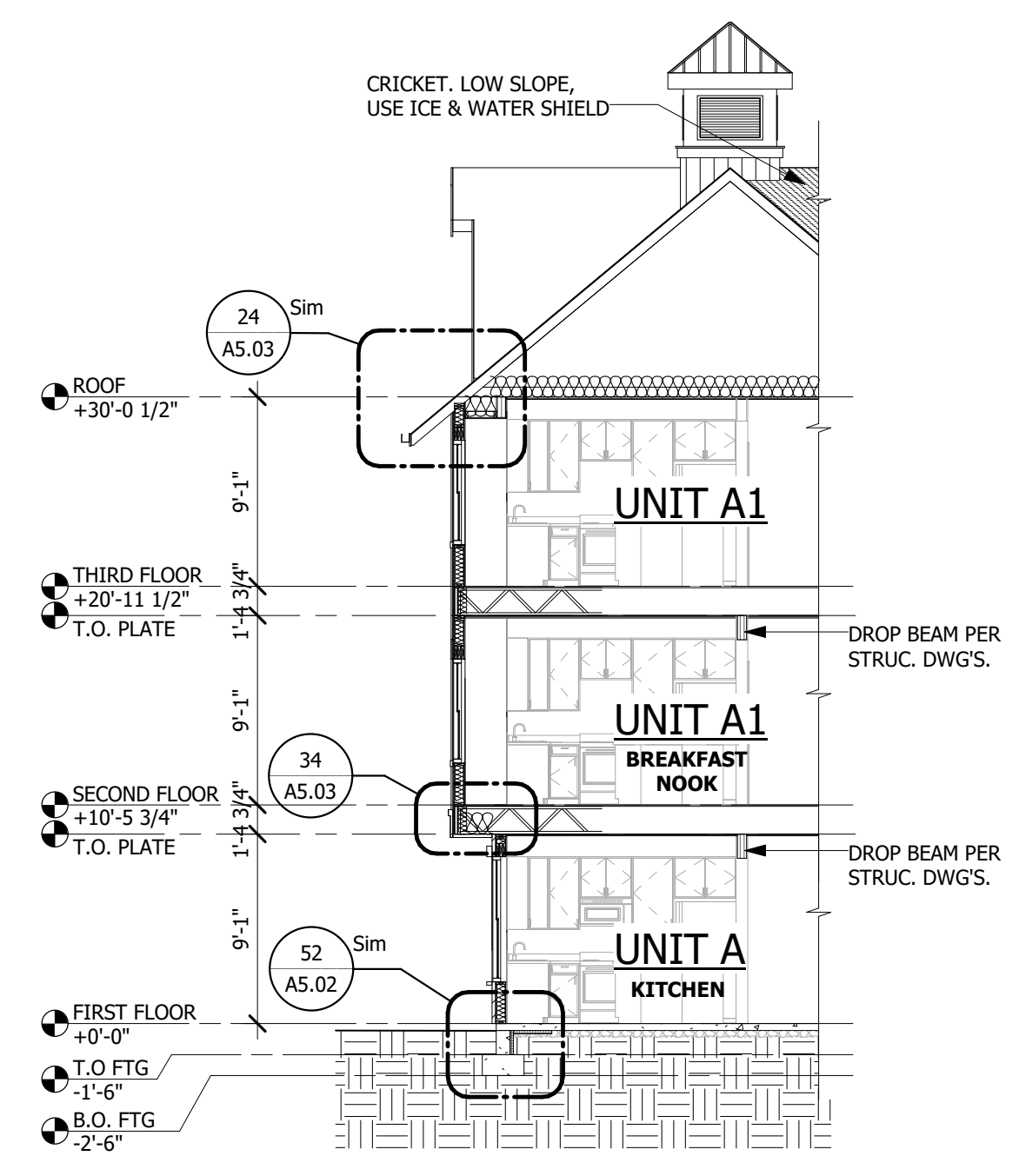
6 Partial Section @ Garage & Deck @ Building Corners
 SCALE: 1/8" = 1'-0"



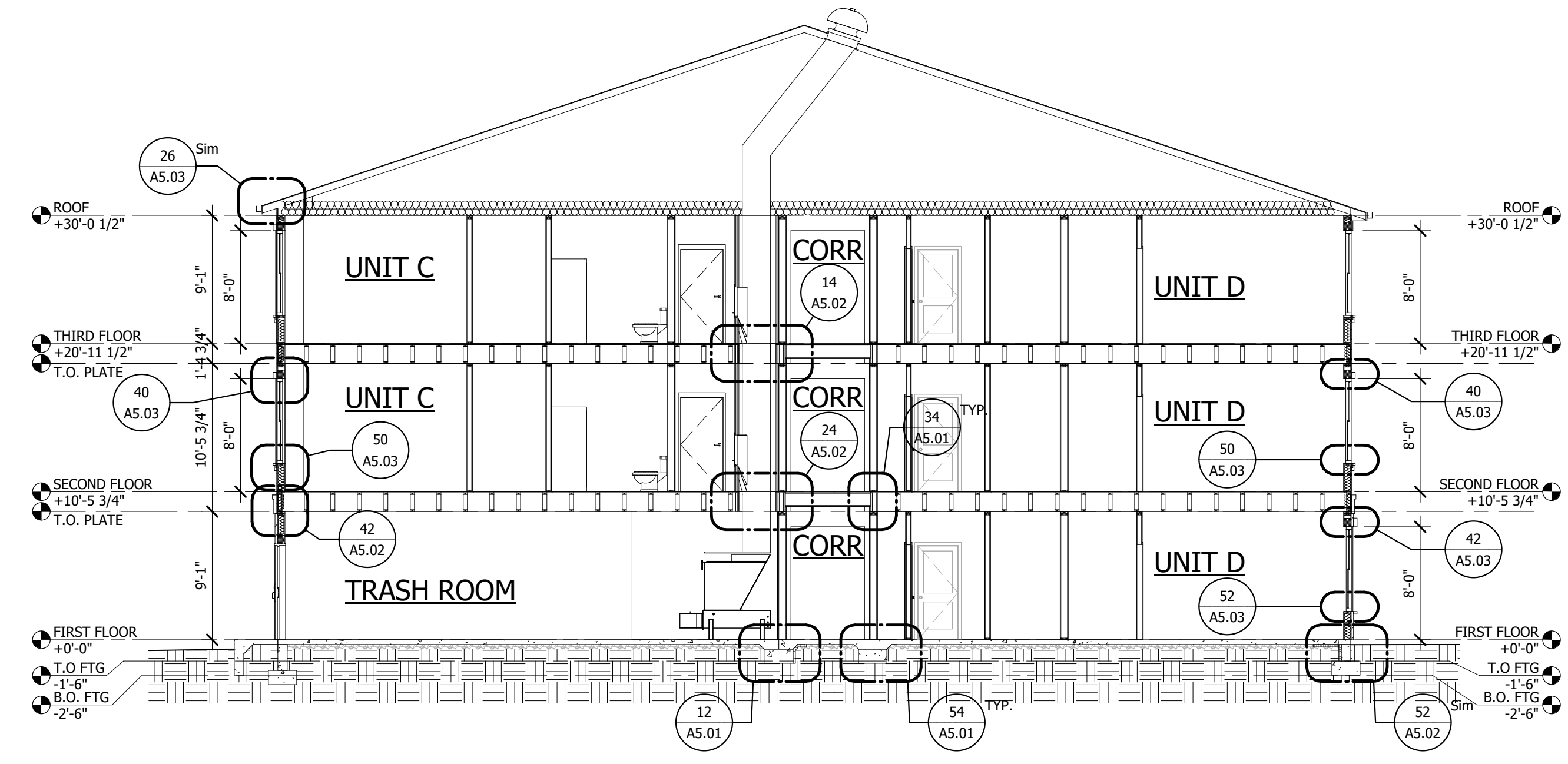
5 Partial Section @ Garage & Balcony
 SCALE: 1/8" = 1'-0"



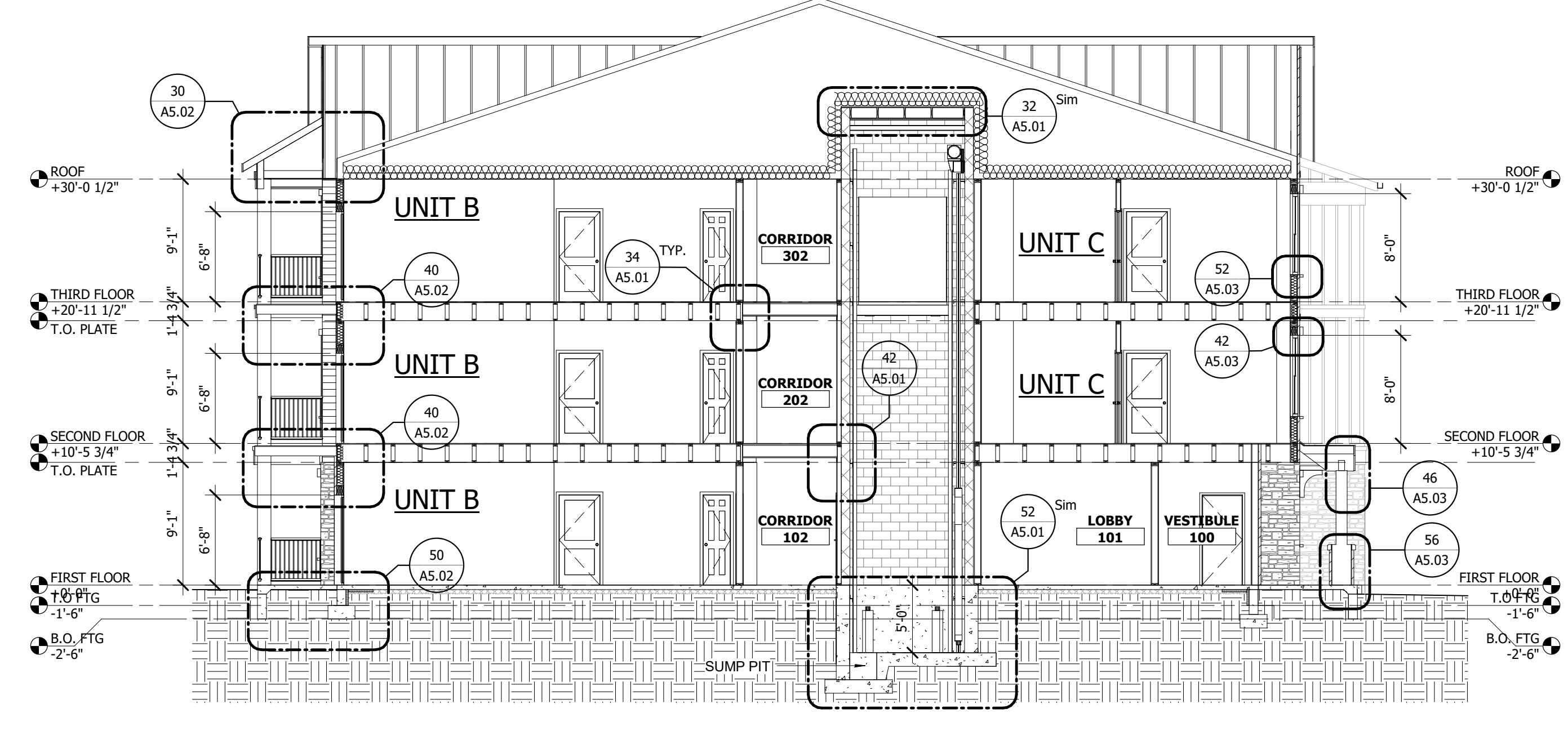
4 Partial Section @ Bedroom Bump Out
 SCALE: 1/8" = 1'-0"



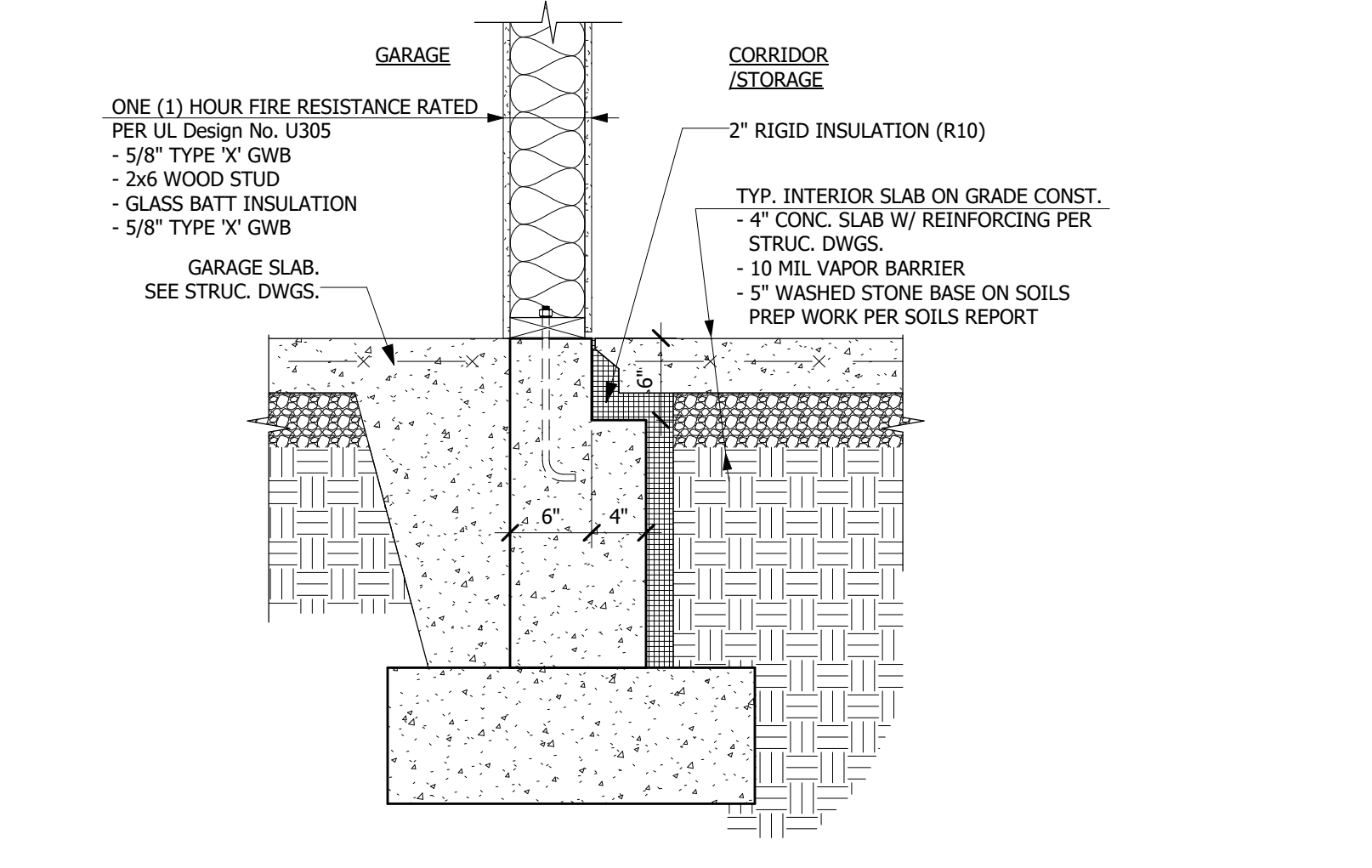
3 Partial Section @ Dining Rm Bump Out
 SCALE: 1/8" = 1'-0"



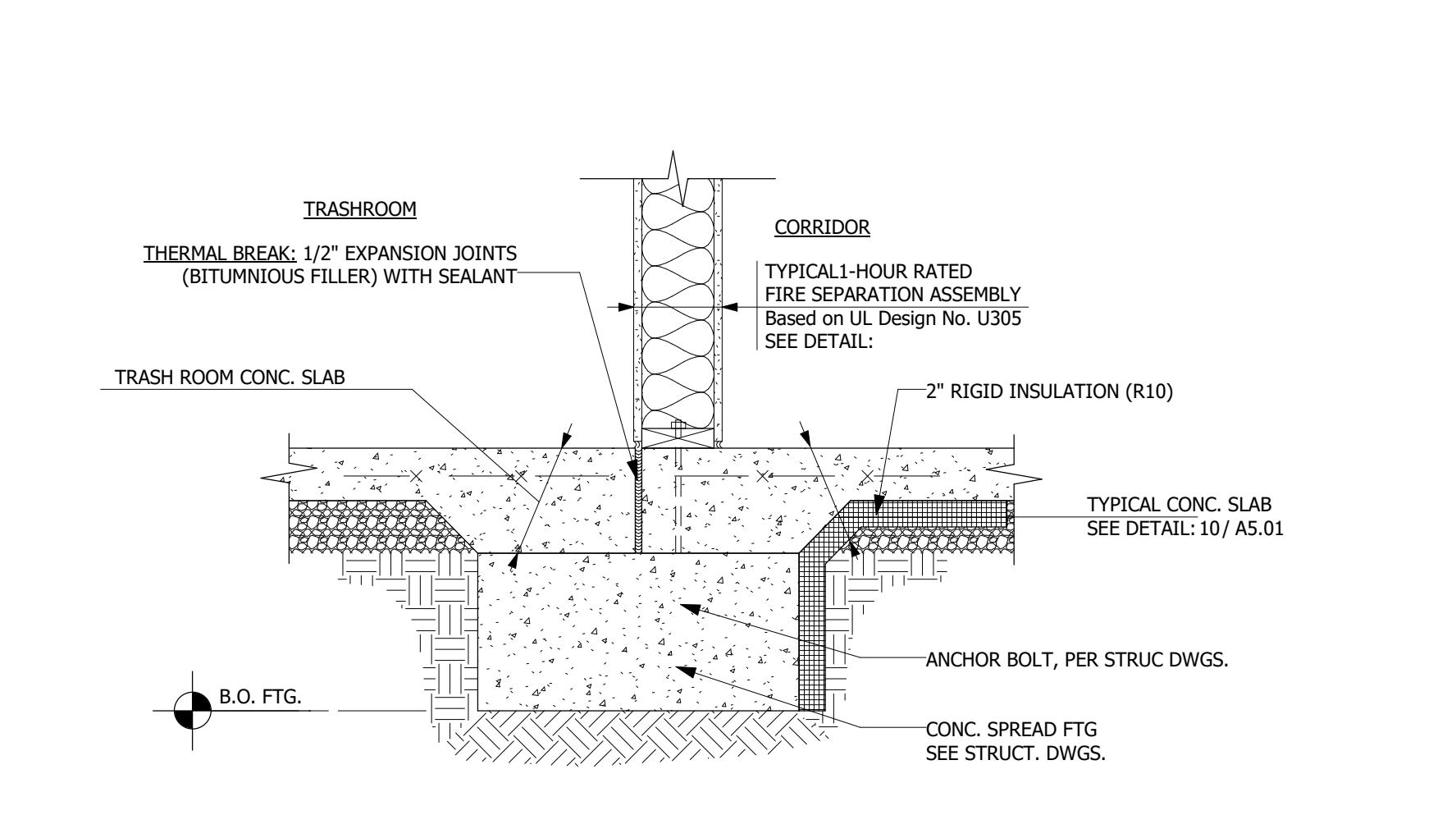
2 Building Section
 SCALE: 1/8" = 1'-0"



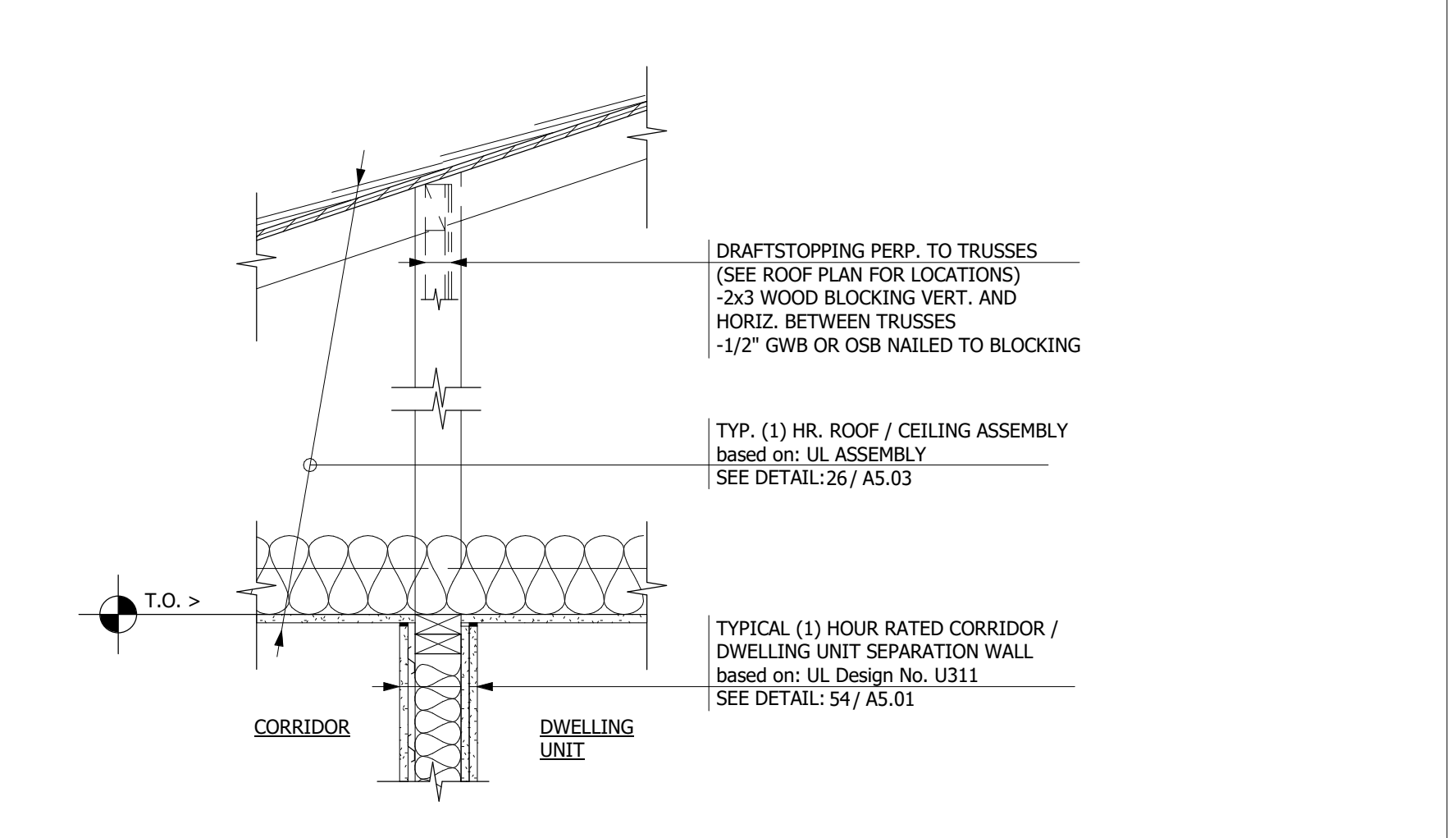
1 Building Section Thru Elevator
 SCALE: 1/8" = 1'-0"



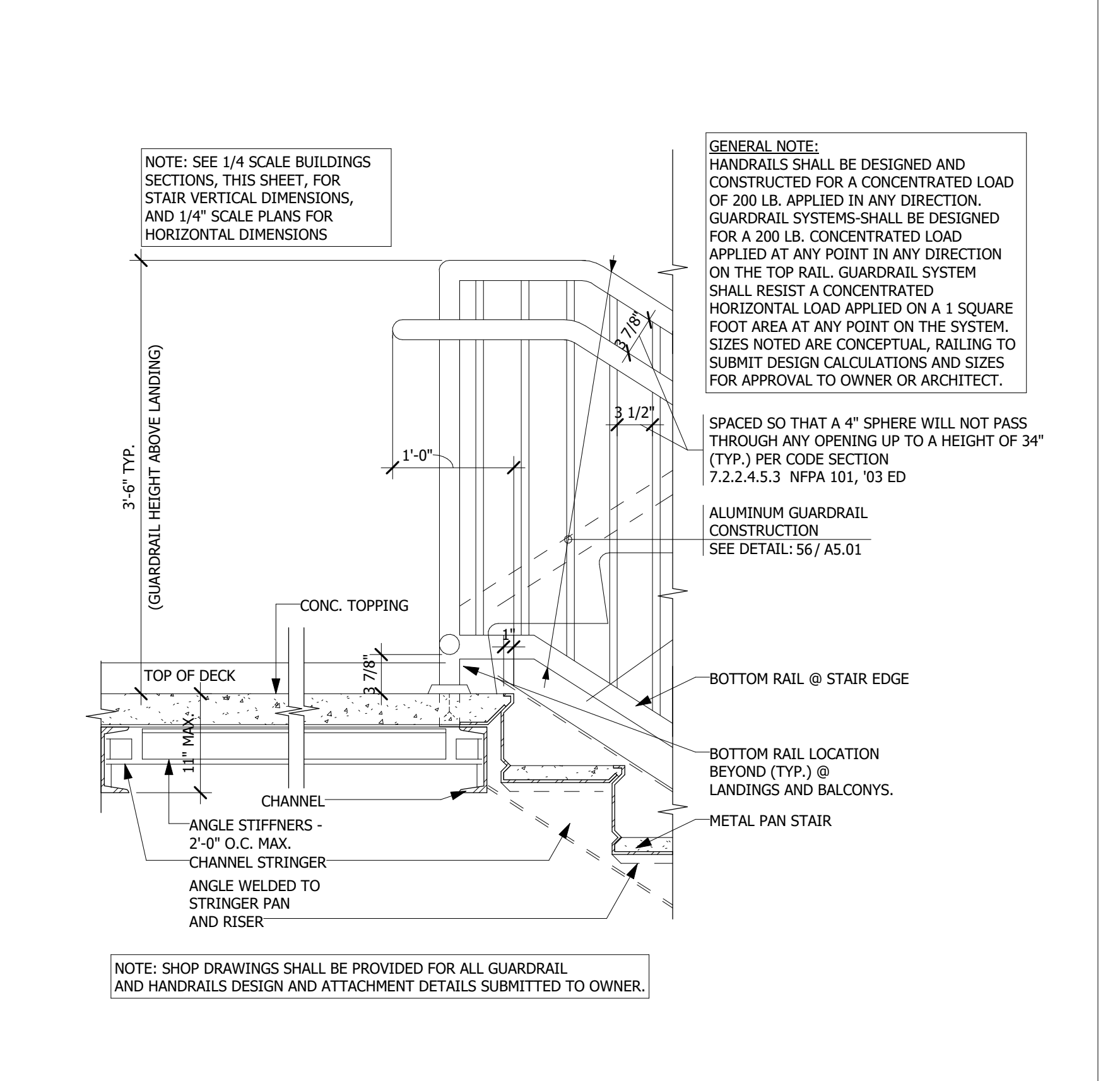
10 FOUNDATION @ GARAGE & CORRIDOR
SCALE: 1" = 1'-0"



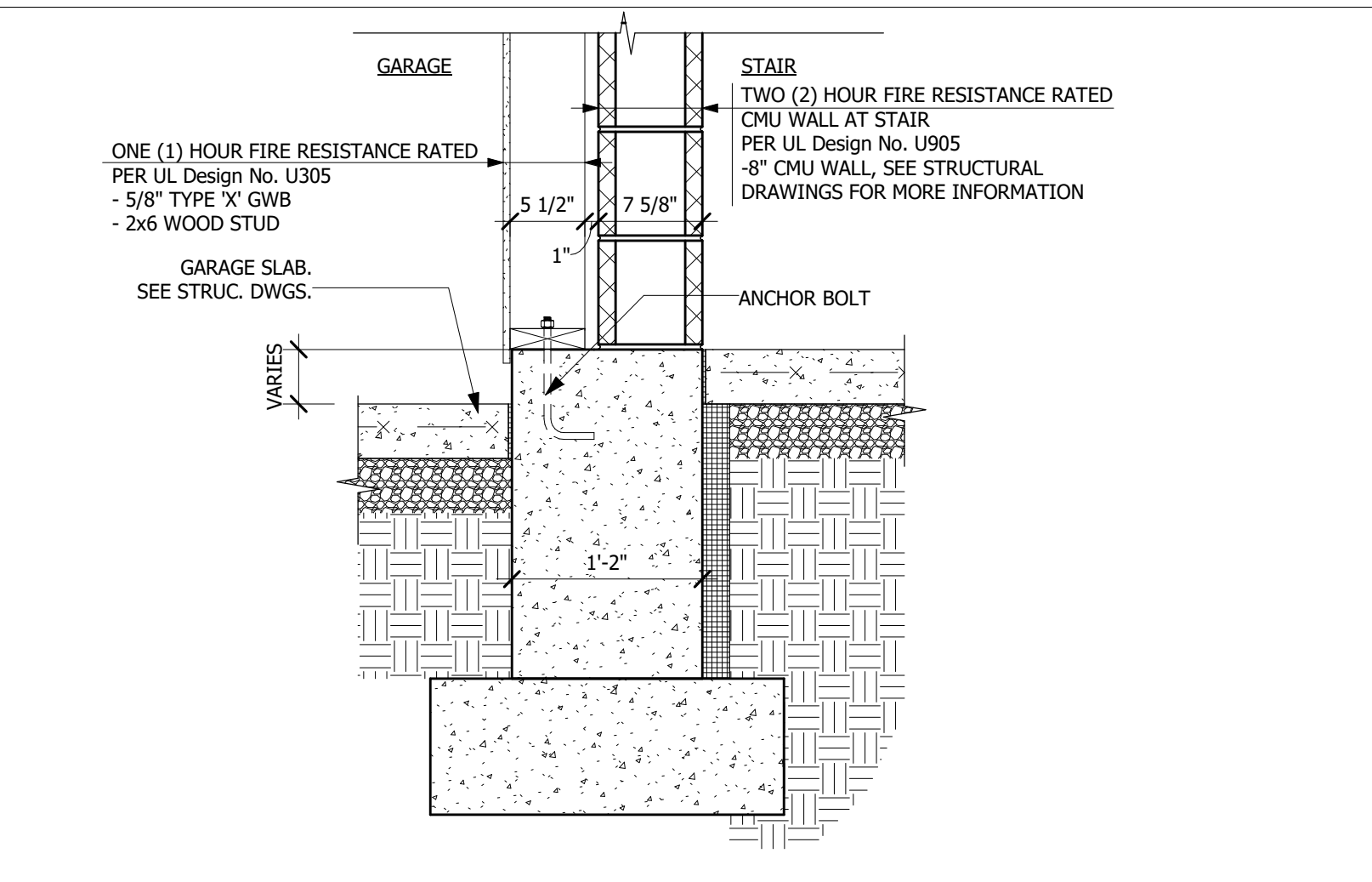
12 FOUNDATION @ TRASH ROOM & CORRIDOR
SCALE: 1" = 1'-0"



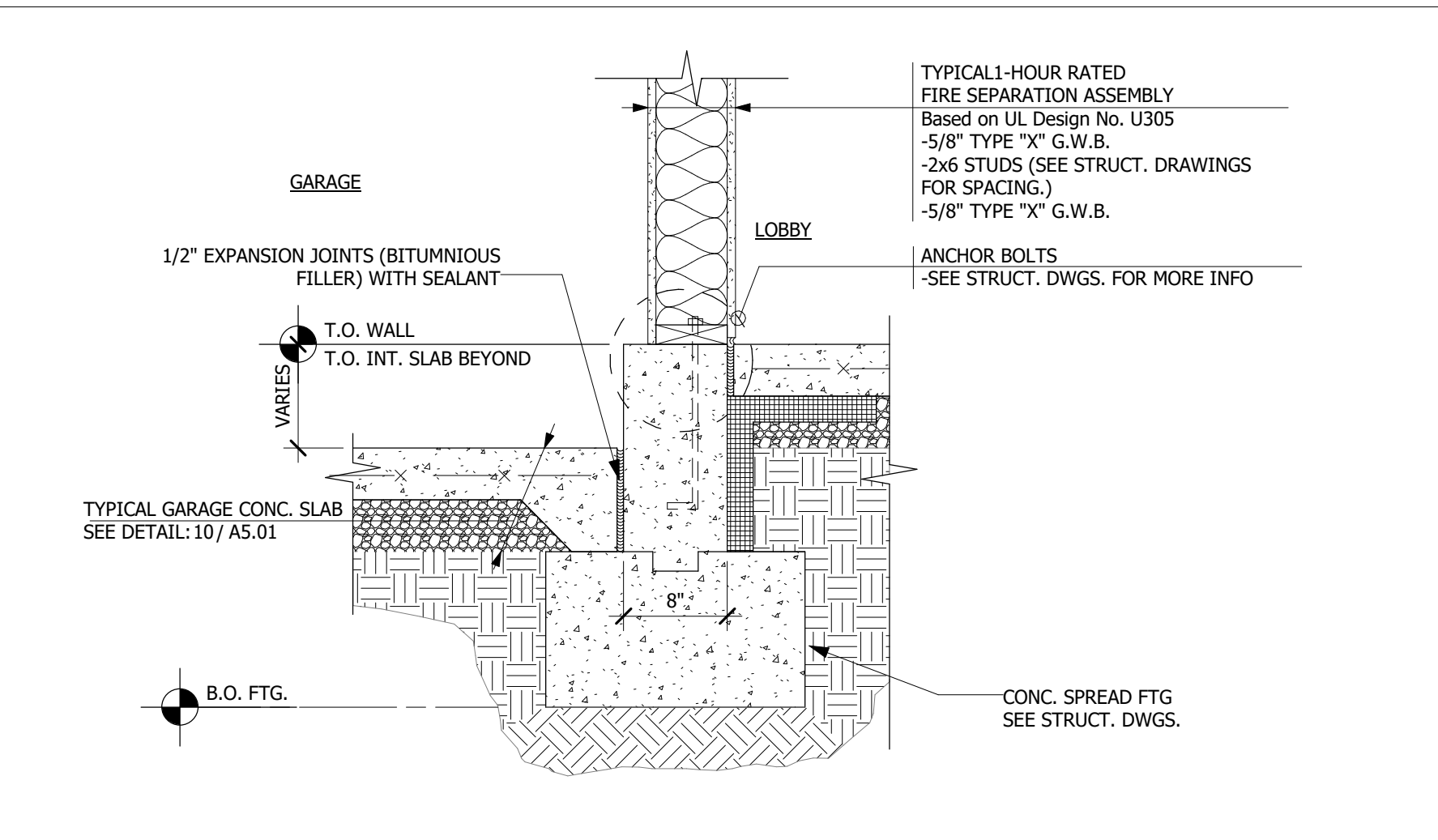
14 ROOF/CLG. @ CORRIDOR BEARING WALL
SCALE: 1" = 1'-0"



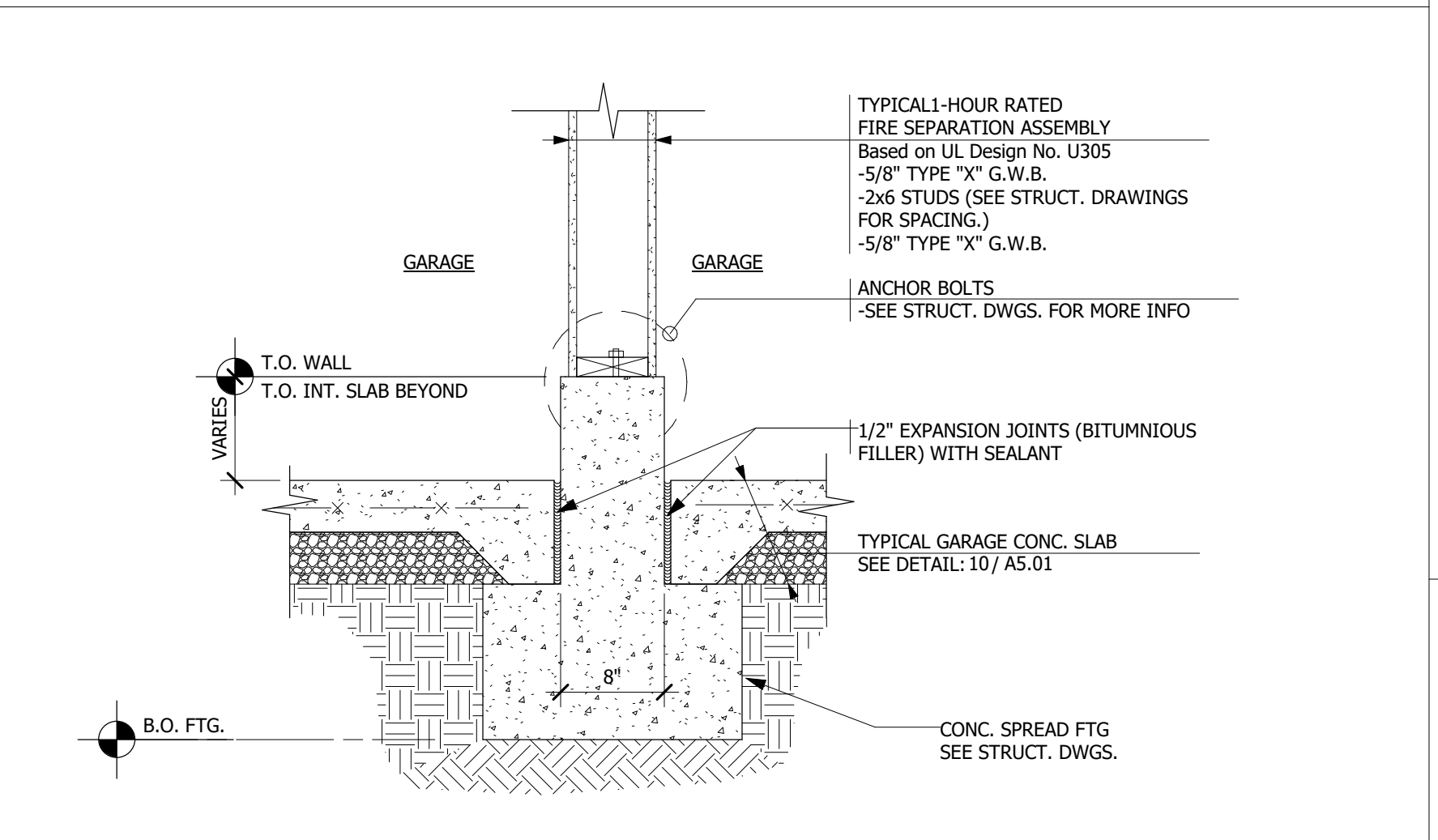
26 STAIRWAY CONST. @ SECOND FLOOR
SCALE: 1" = 1'-0"



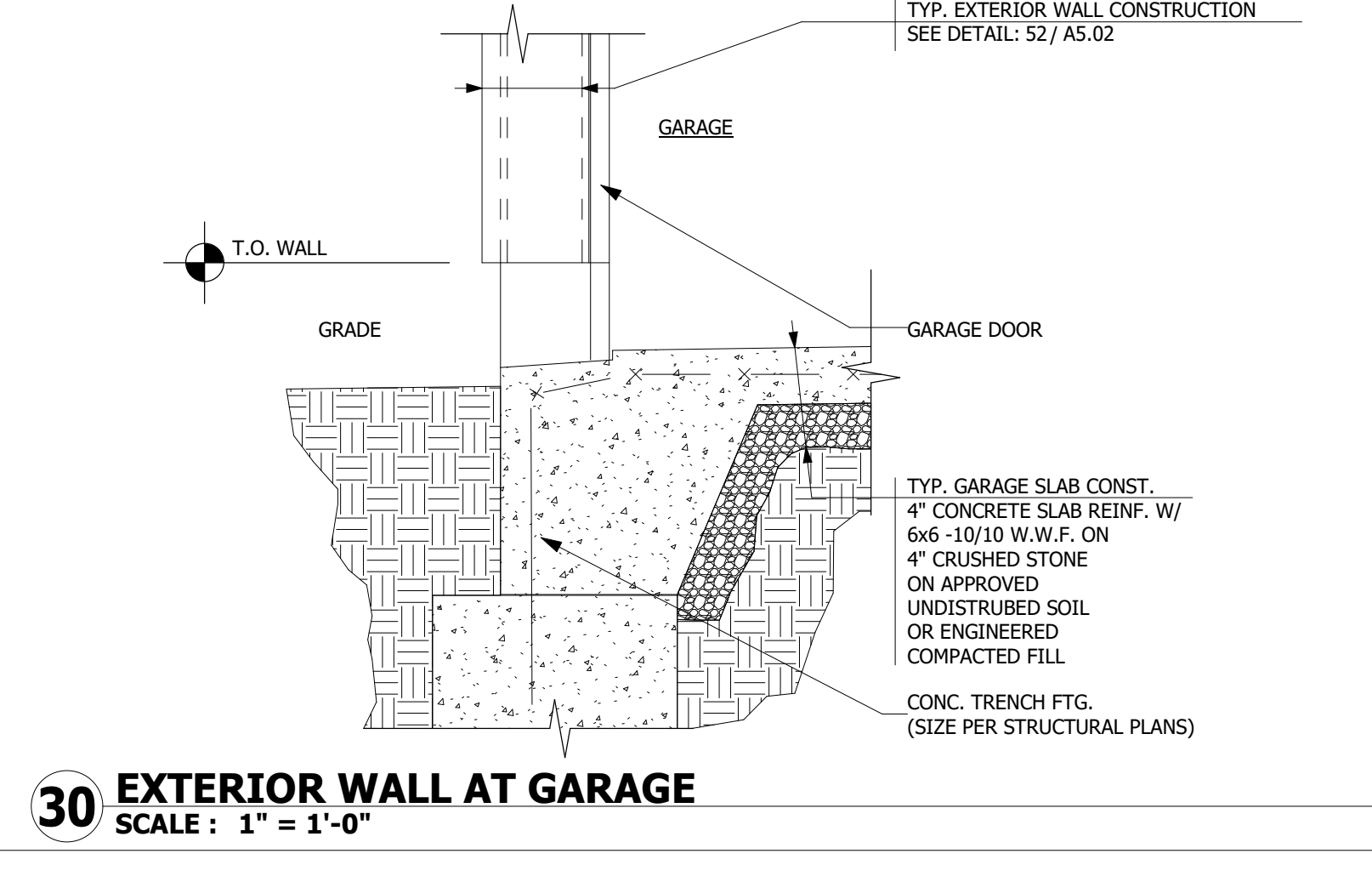
20 FOUNDATION @ GARAGE & STAIR
SCALE: 1" = 1'-0"



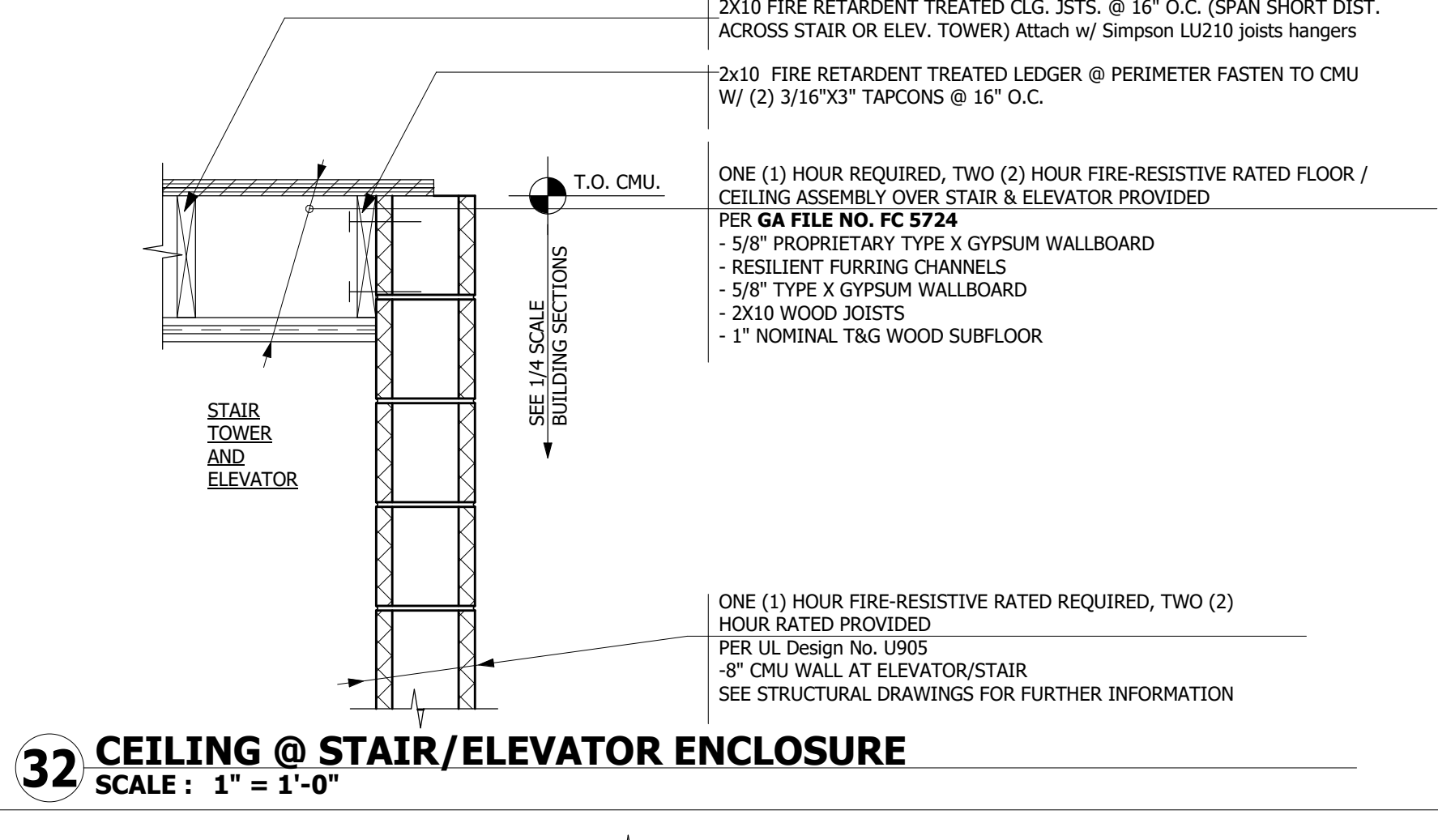
22 FOUNDATION @ LOBBY & GARAGE
SCALE: 1" = 1'-0"



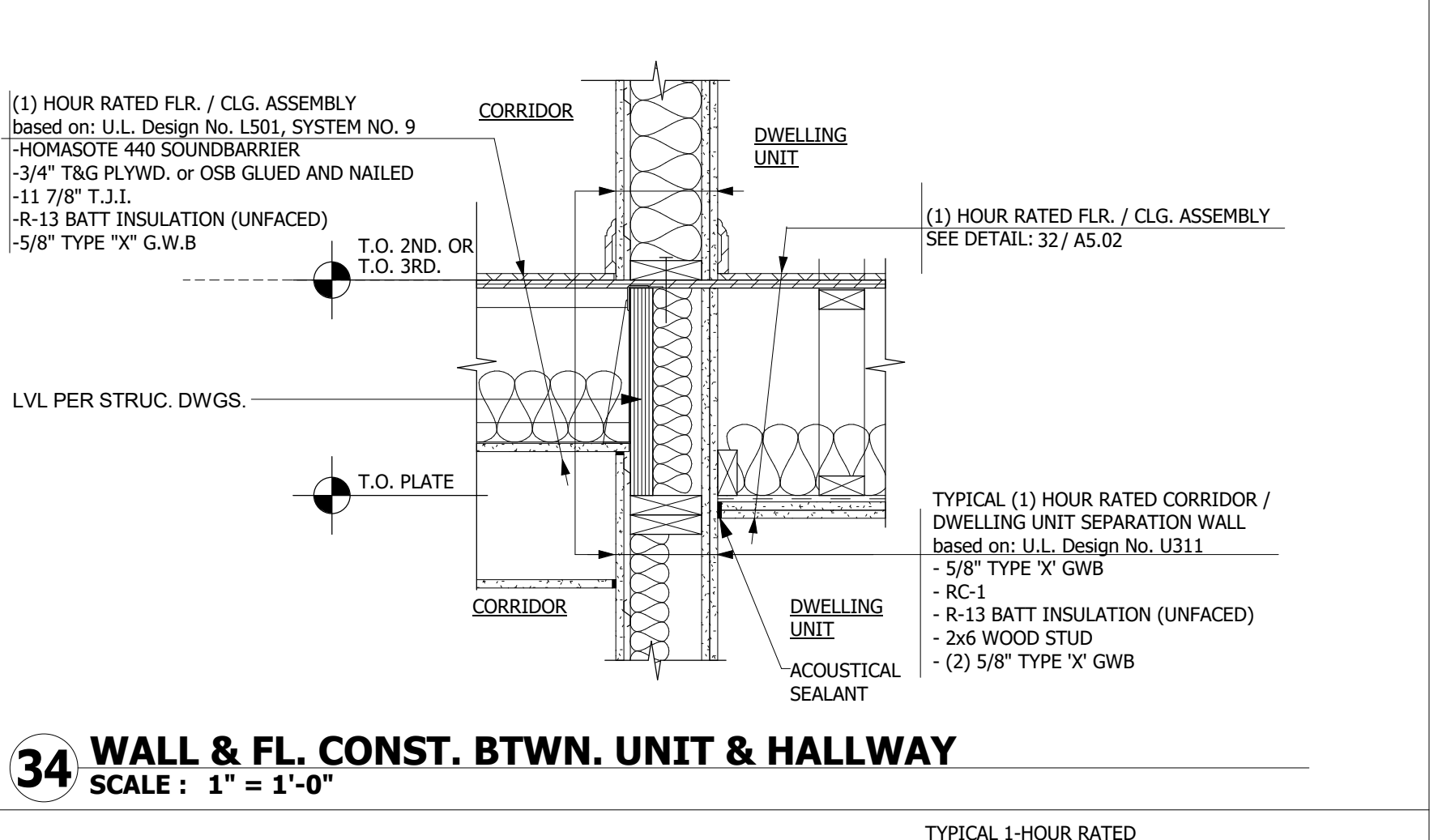
24 UNIT SEP. WALL ASSEMBLY @ GARAGE
SCALE: 1" = 1'-0"



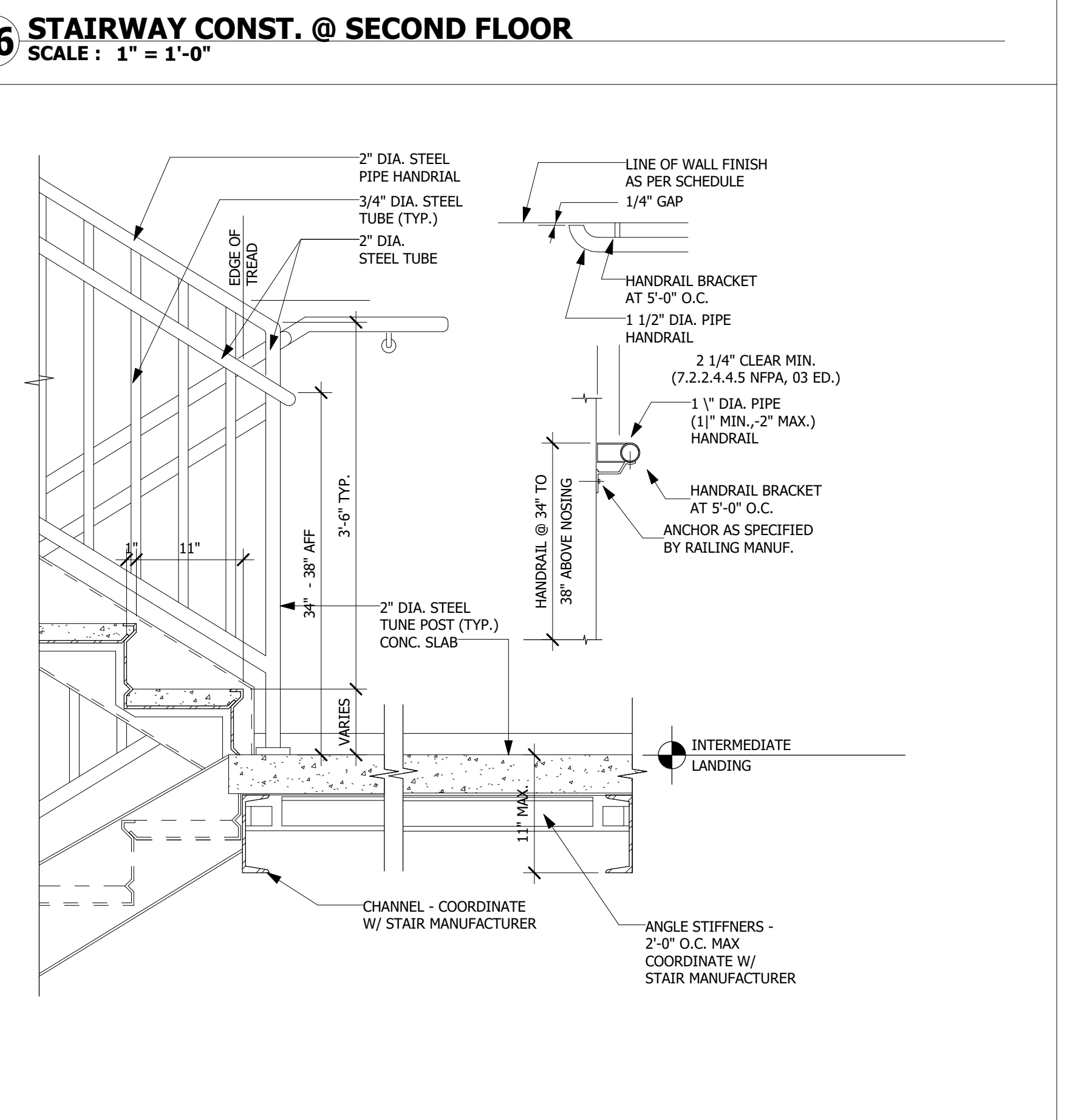
30 EXTERIOR WALL AT GARAGE
SCALE: 1" = 1'-0"



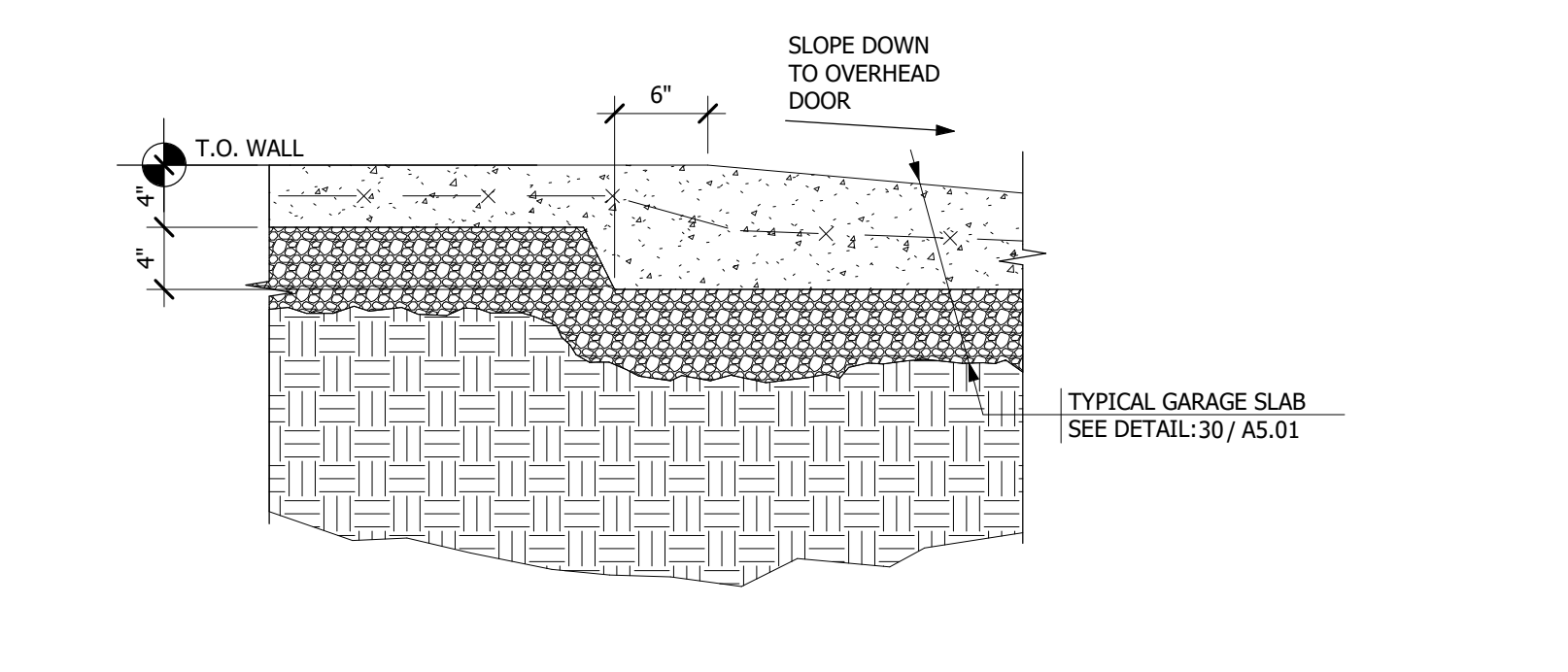
32 CEILING @ STAIR/ELEVATOR ENCLOSURE
SCALE: 1" = 1'-0"



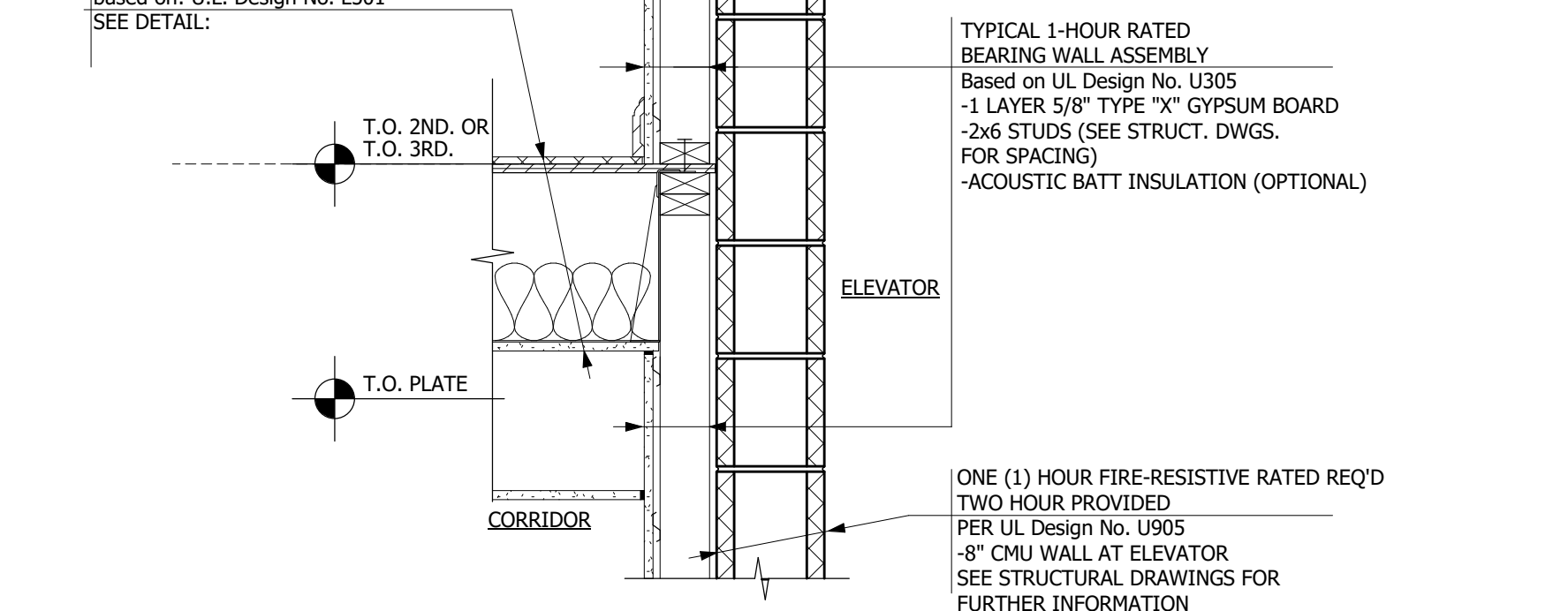
34 WALL & FL. CONST. BTWN. UNIT & HALLWAY
SCALE: 1" = 1'-0"



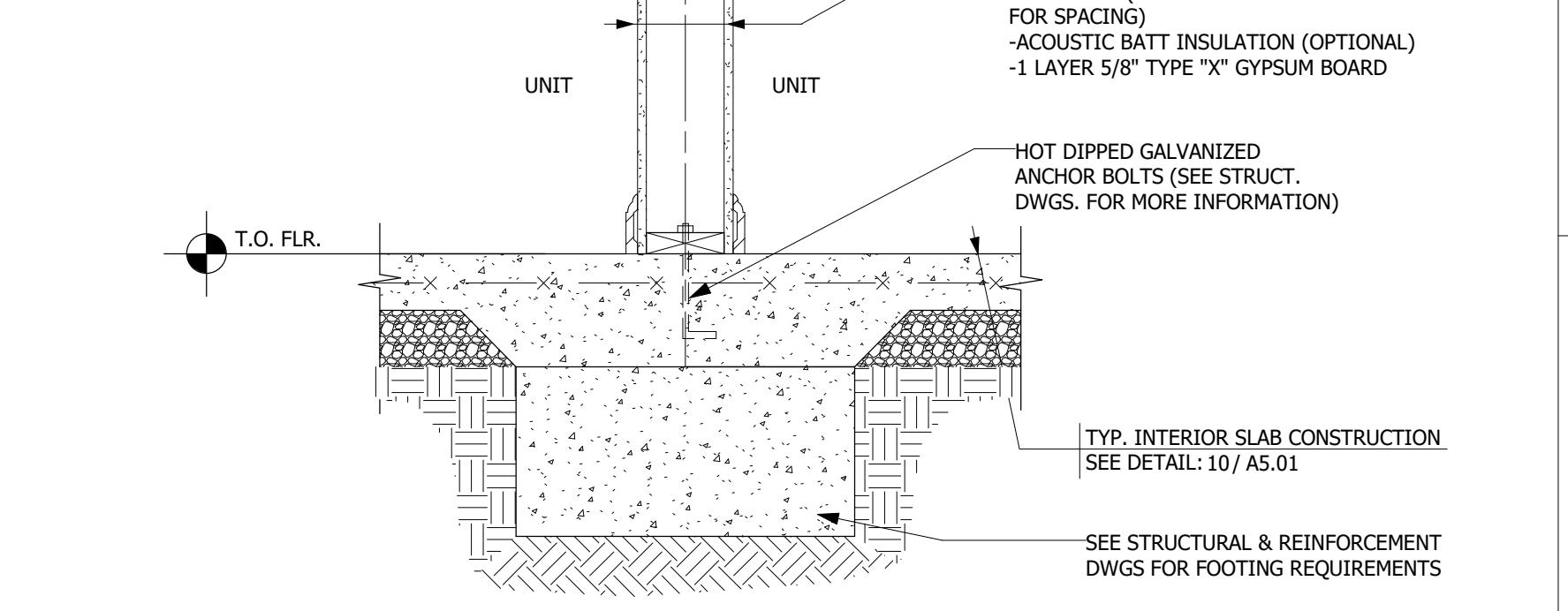
36 STAIRWAY CONST. @ INTERMEDIATE LANDING
SCALE: 1" = 1'-0"



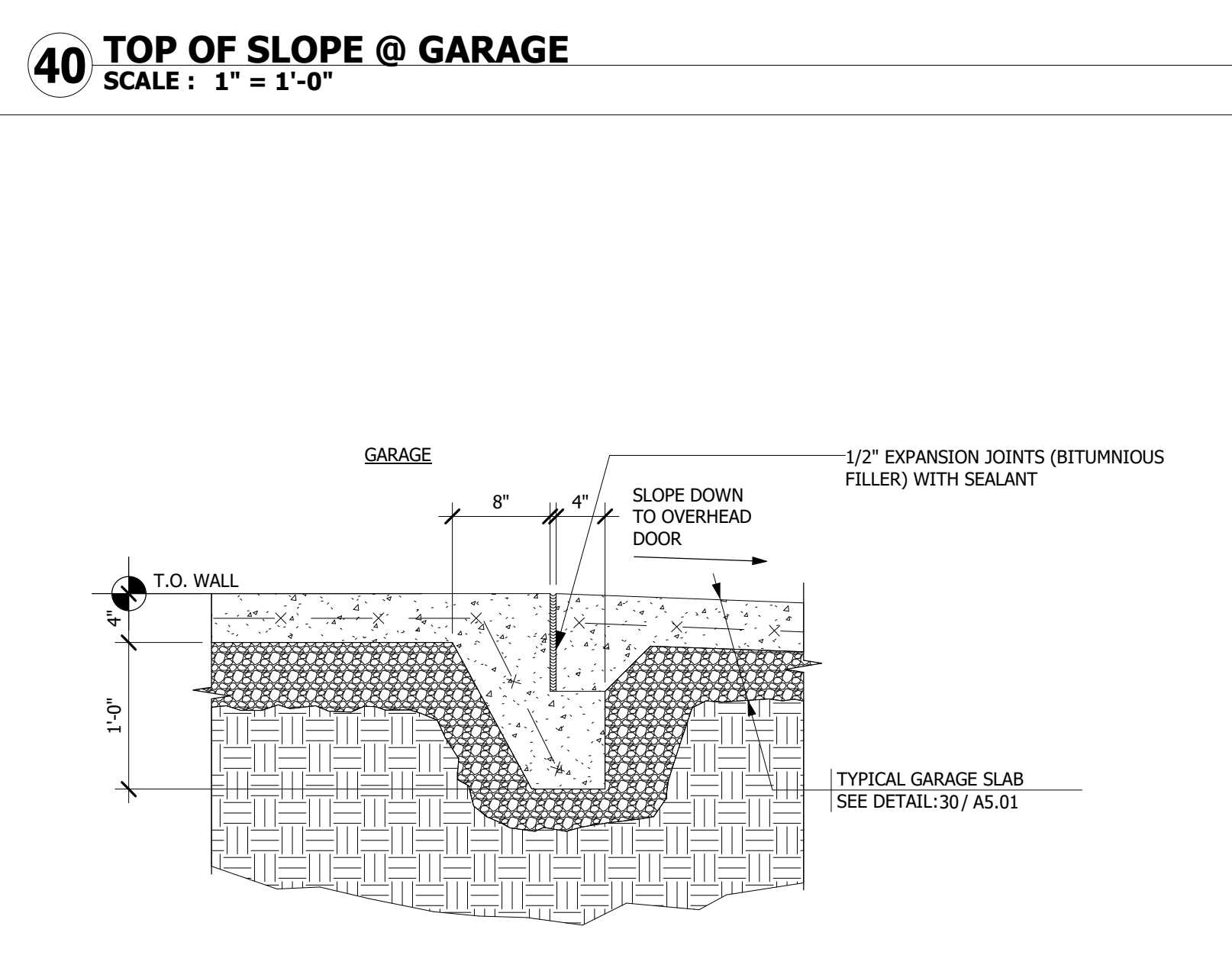
40 TOP OF SLOPE @ GARAGE
SCALE: 1" = 1'-0"



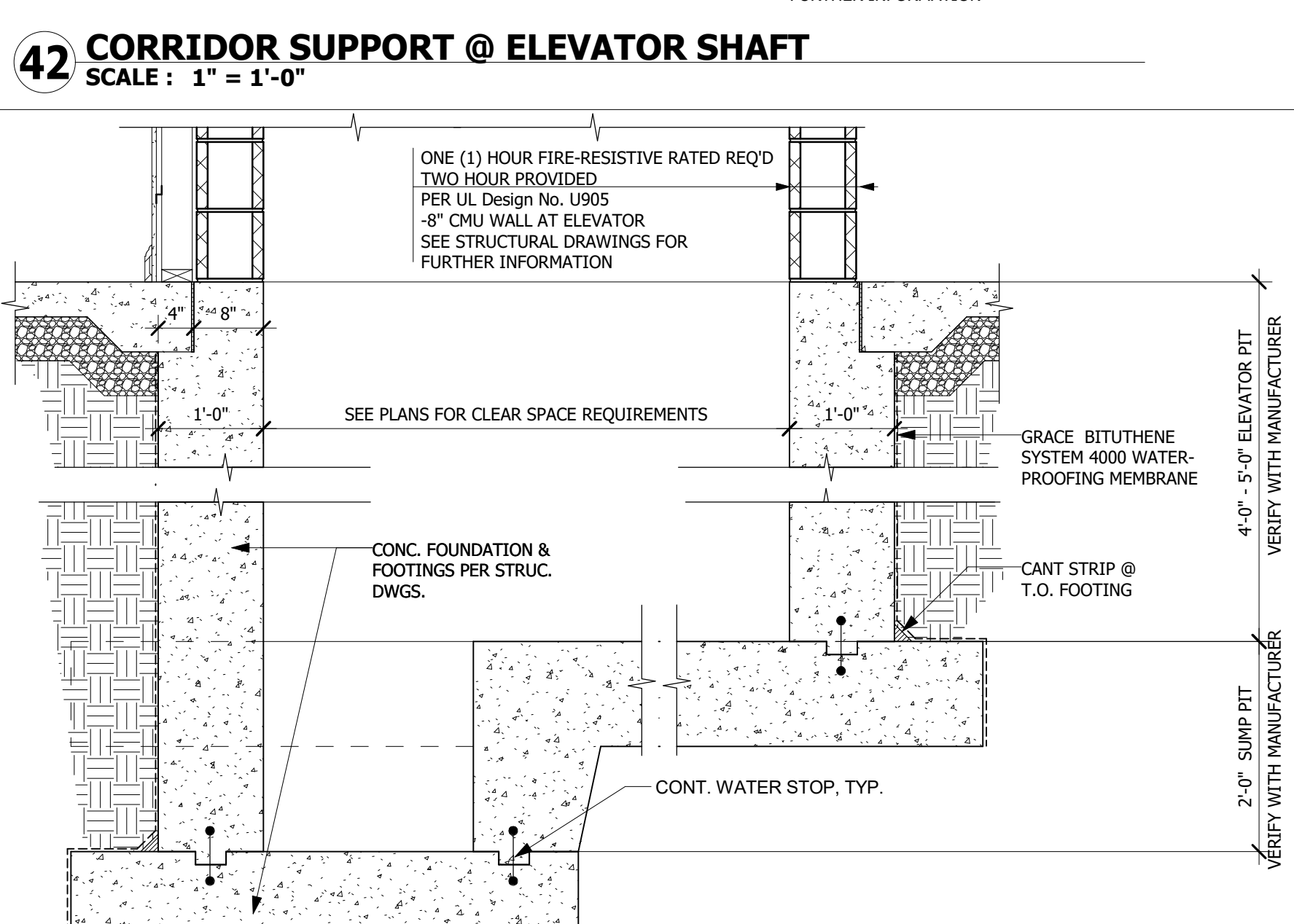
42 CORRIDOR SUPPORT @ ELEVATOR SHAFT
SCALE: 1" = 1'-0"



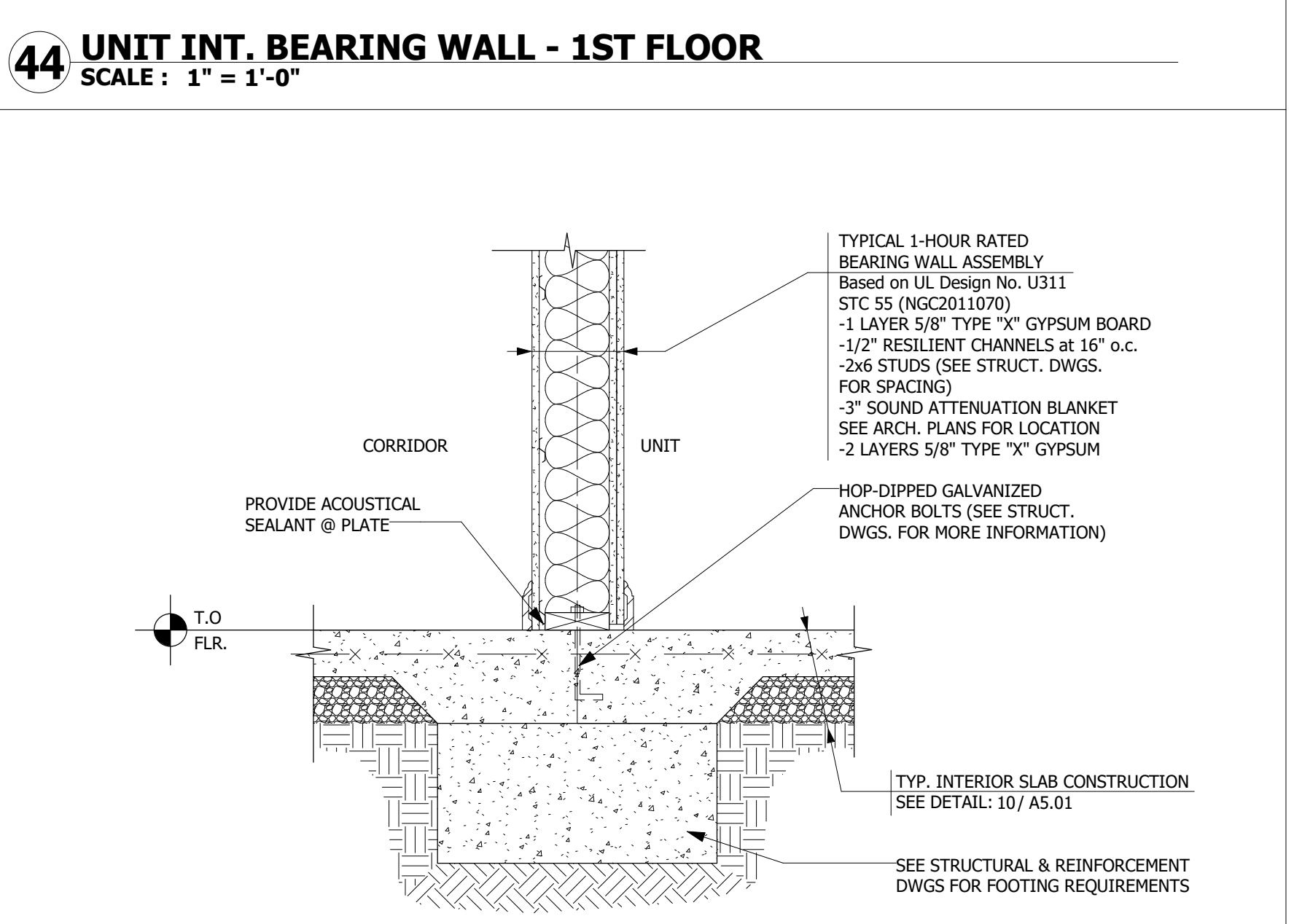
44 UNIT INT. BEARING WALL - 1ST FLOOR
SCALE: 1" = 1'-0"



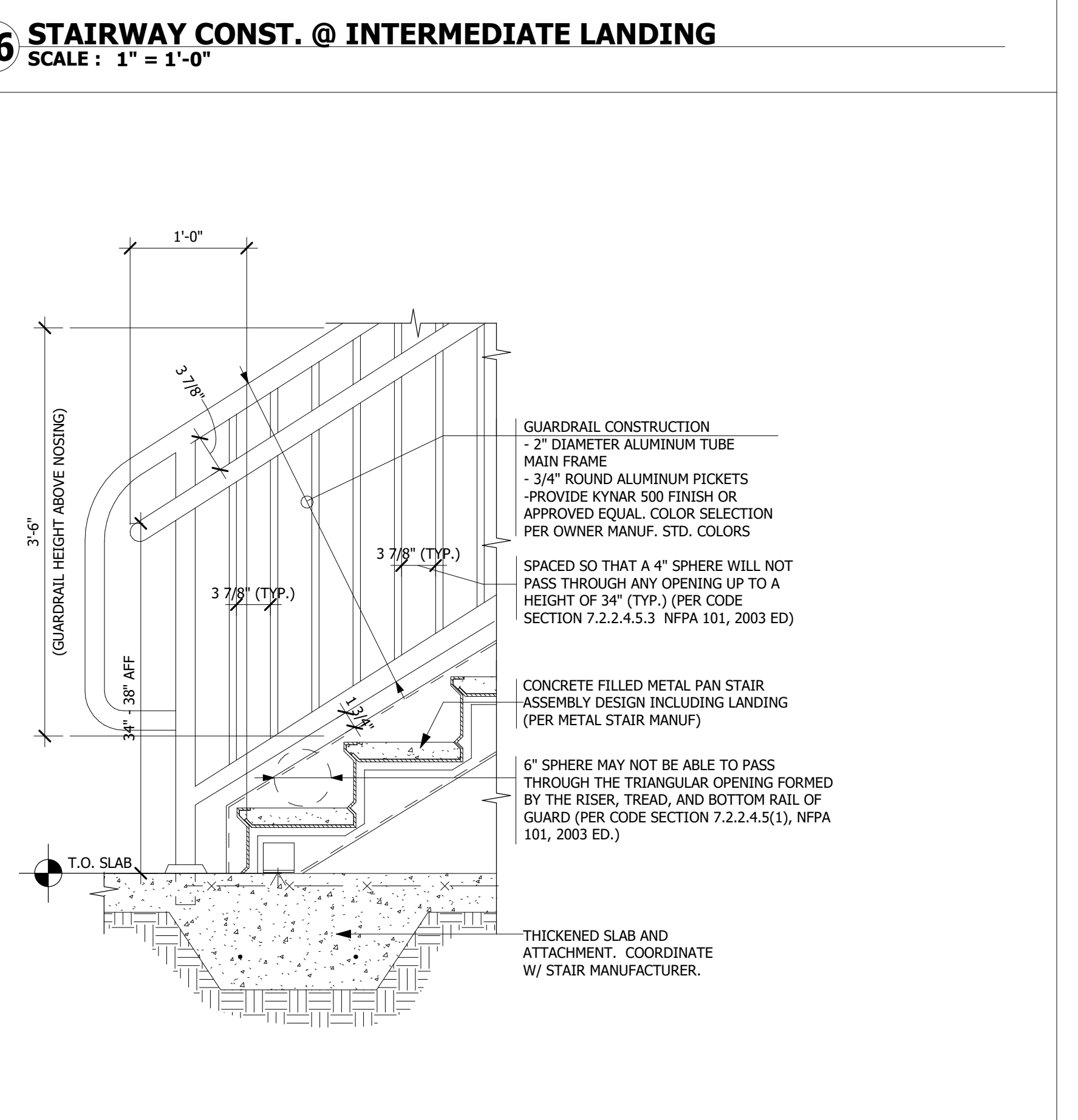
50 ALTERNATIVE TOP OF SLOPE @ GARAGE
SCALE: 1" = 1'-0"



52 ELEVATOR PIT SECTION
SCALE: 3/4" = 1'-0"



54 UNIT/CORRIDOR WALL - 1ST FLOOR
SCALE: 1" = 1'-0"



56 STAIRWAY CONST. @ FIRST FLOOR
SCALE: 1" = 1'-0"

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Professional Certification:
I hereby certify that the documents were prepared by me or under my direct supervision and that I am a duly licensed professional architect under the laws of the state of Maryland.
Professional Architect:
License Number:
Expiration Date:
DANIEL MCCAULEY
14394
7/24/2019

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ARCHITECTS AND LAND PLANNERS
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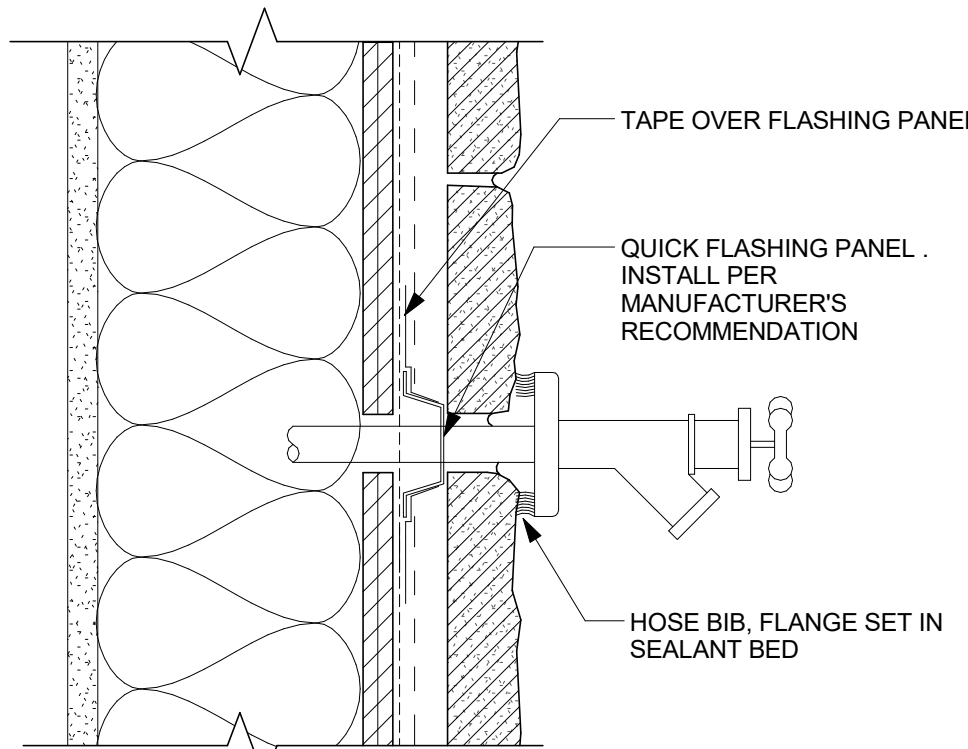
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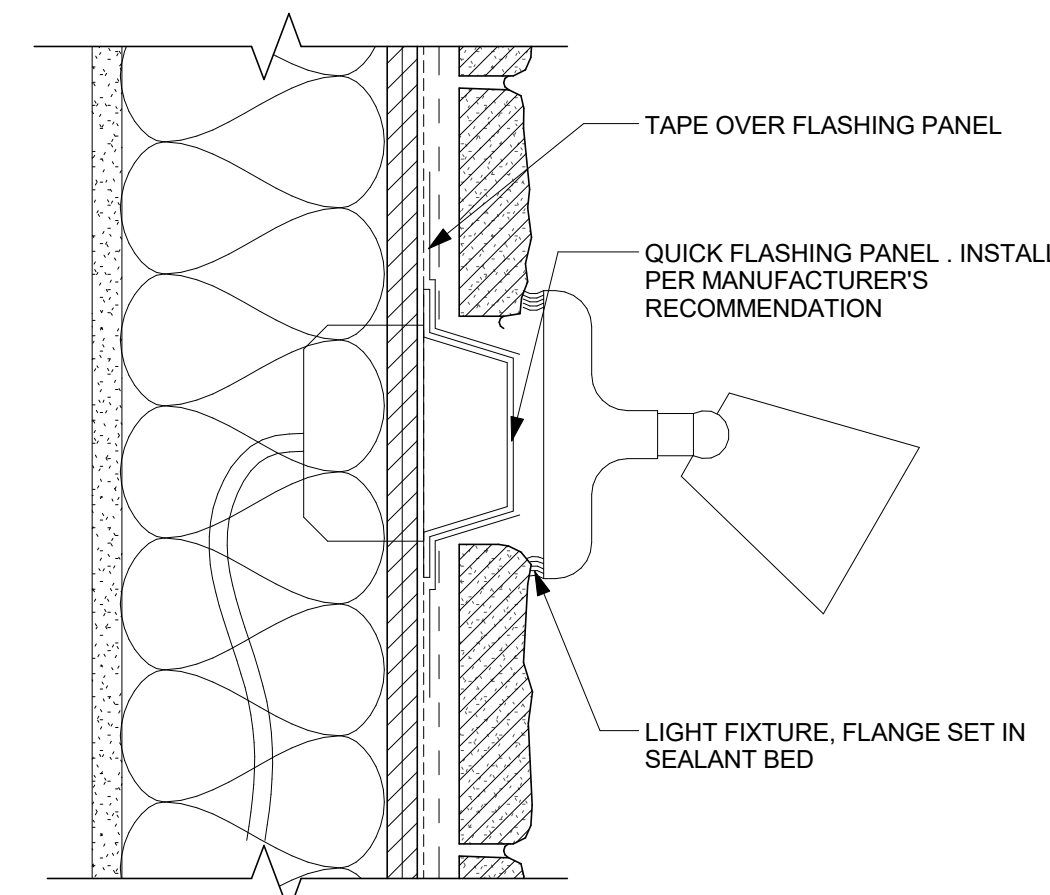
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DETAILS
RAVEN'S NEST - APARTMENTS
Building #
Gateway Township, NJ 08205
SCALE: AS NOTED
DATE: 12/31/2017
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A5.01
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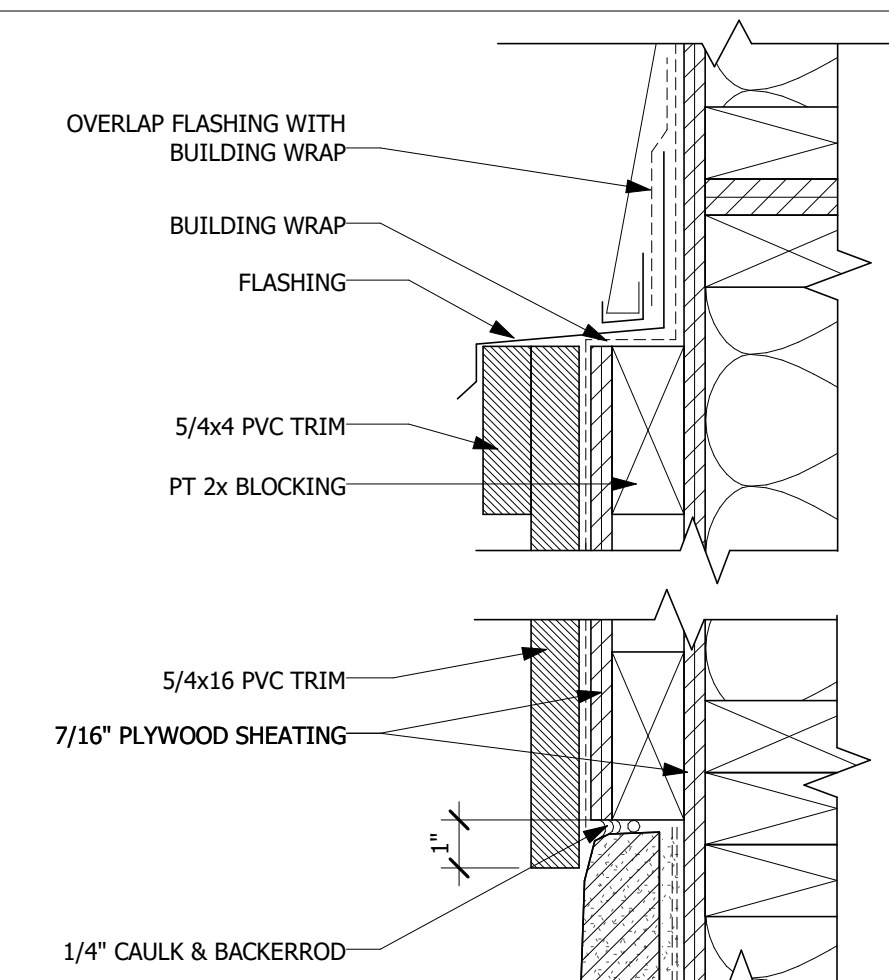
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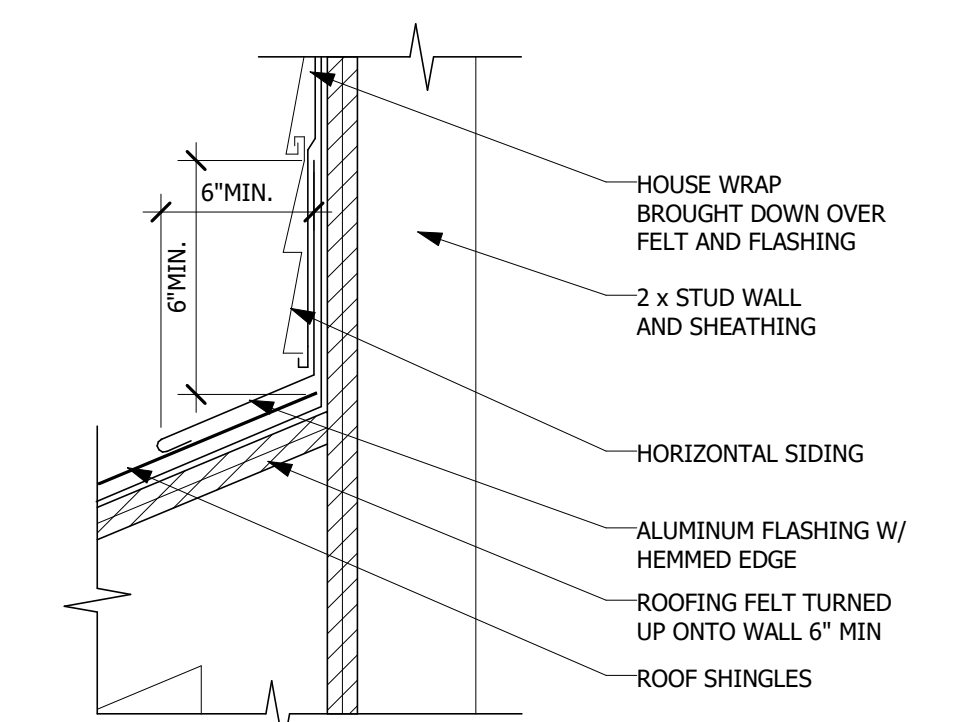
10 HOSE BIB @ STONE
SCALE: 3" = 1'-0"



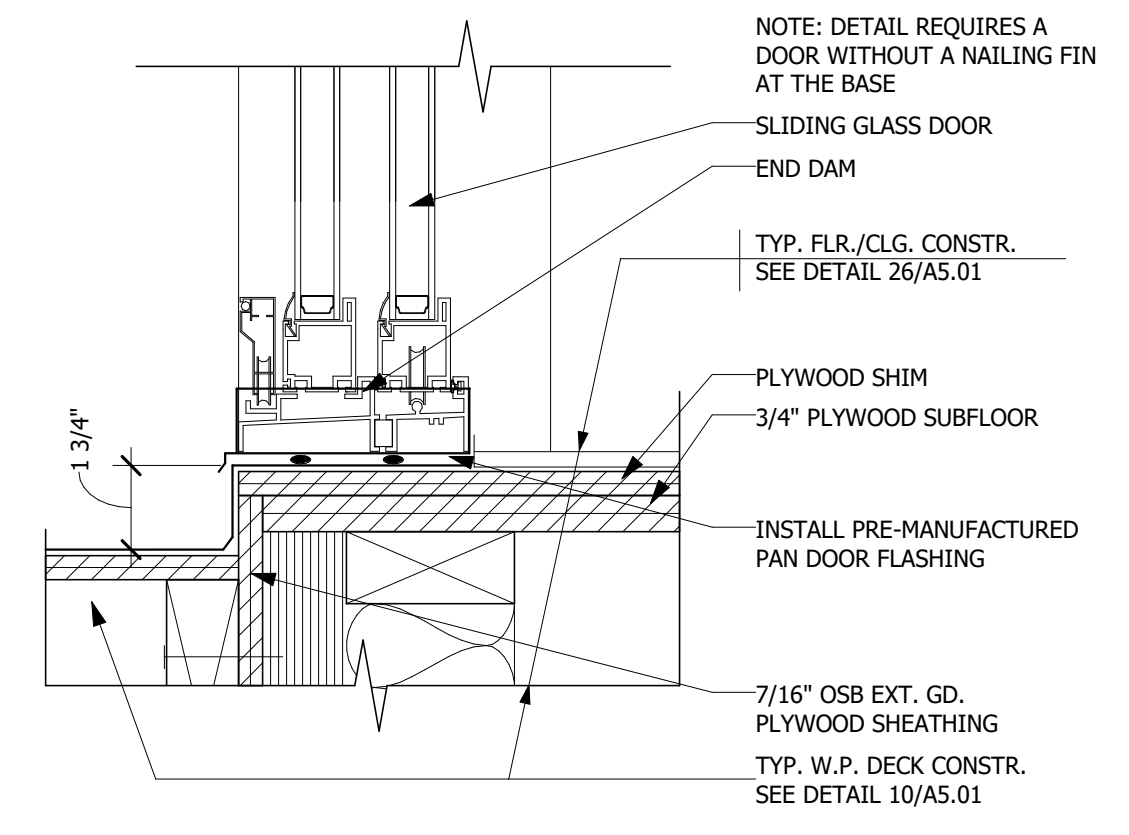
12 EXTERIOR LIGHT @ STONE
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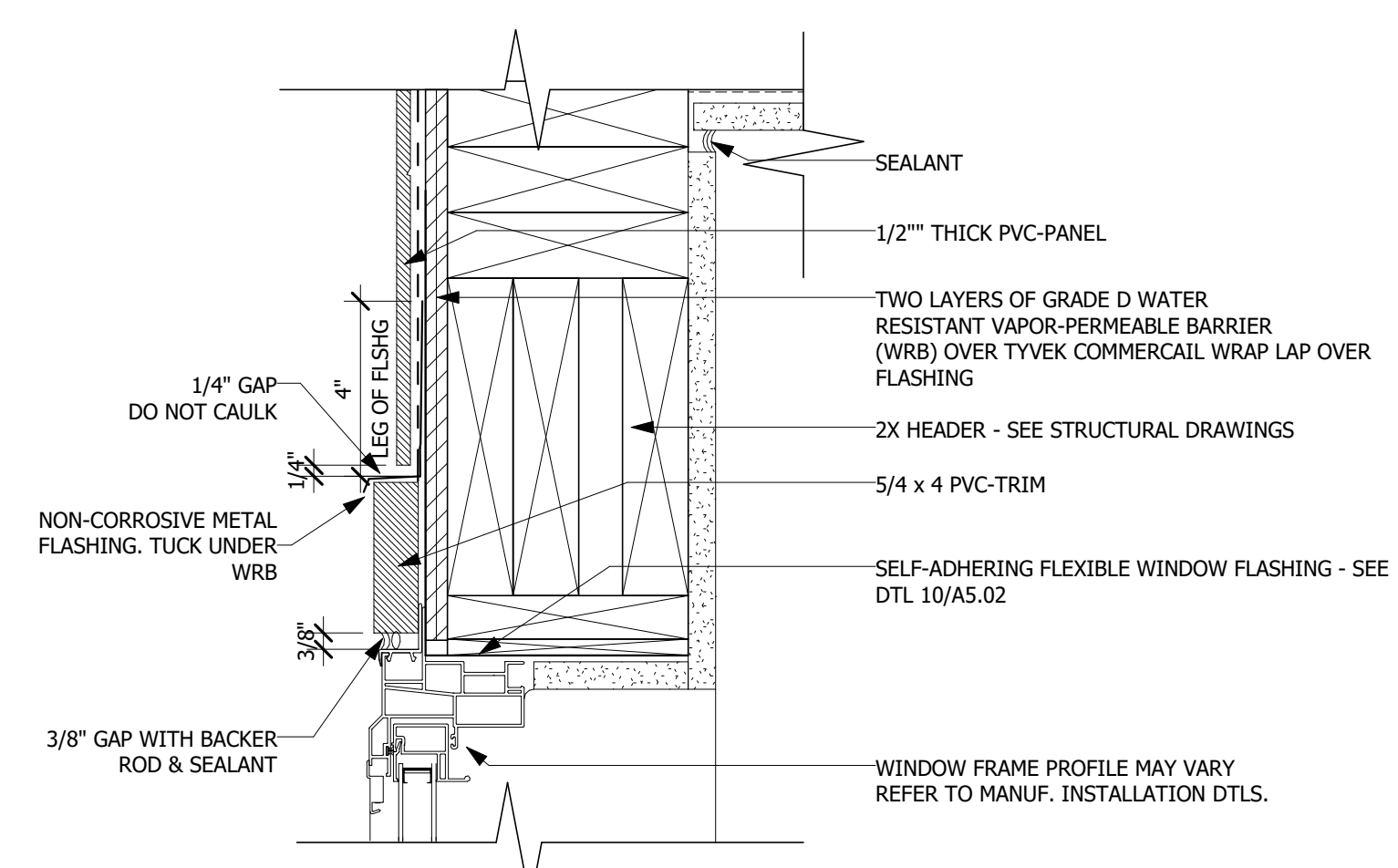
14 STONE TERMINATION DETAIL
SCALE: 3" = 1'-0"



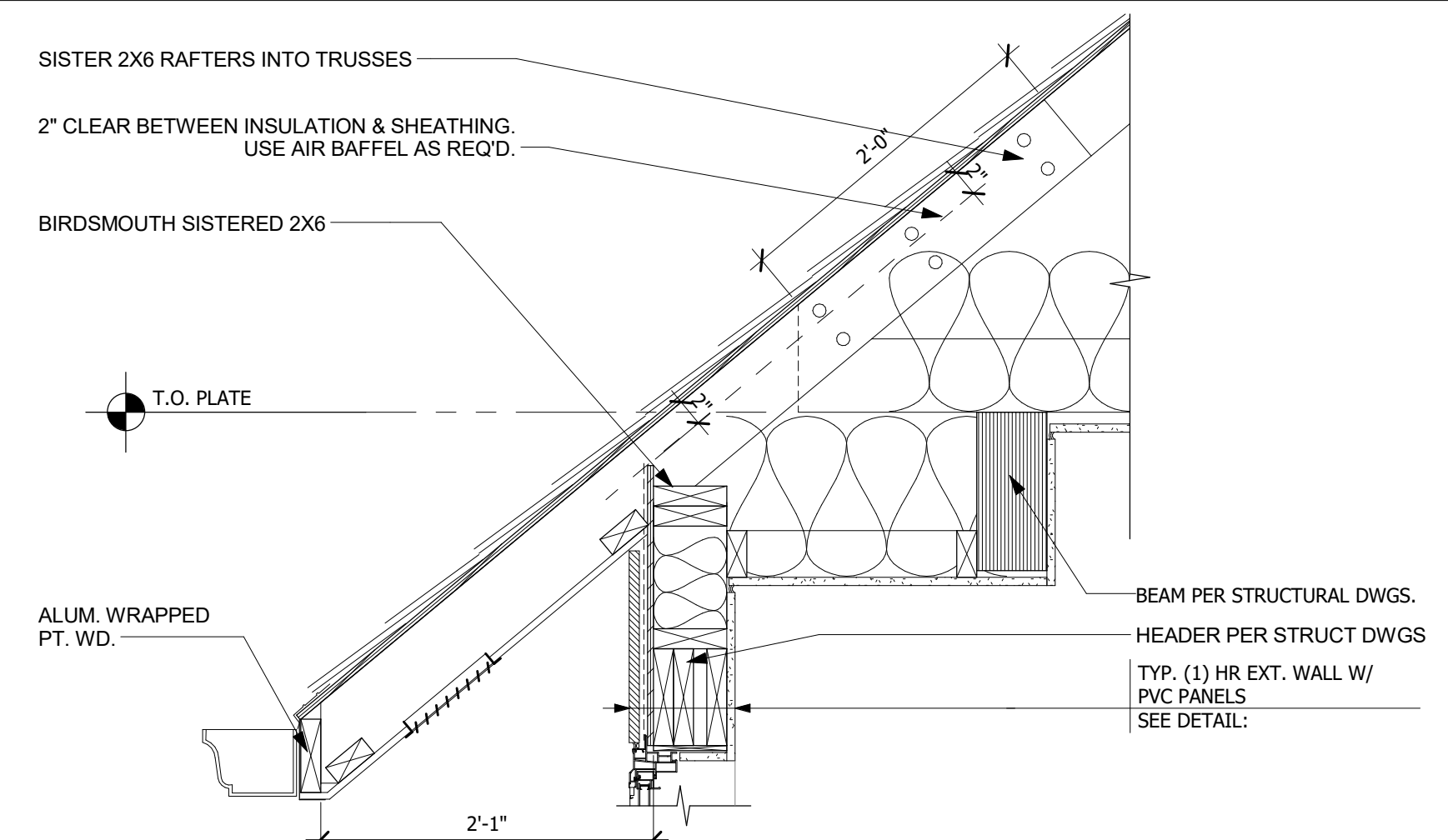
16 FLASHING @ PITCHED ROOF TO WALL
SCALE: 3" = 1'-0"



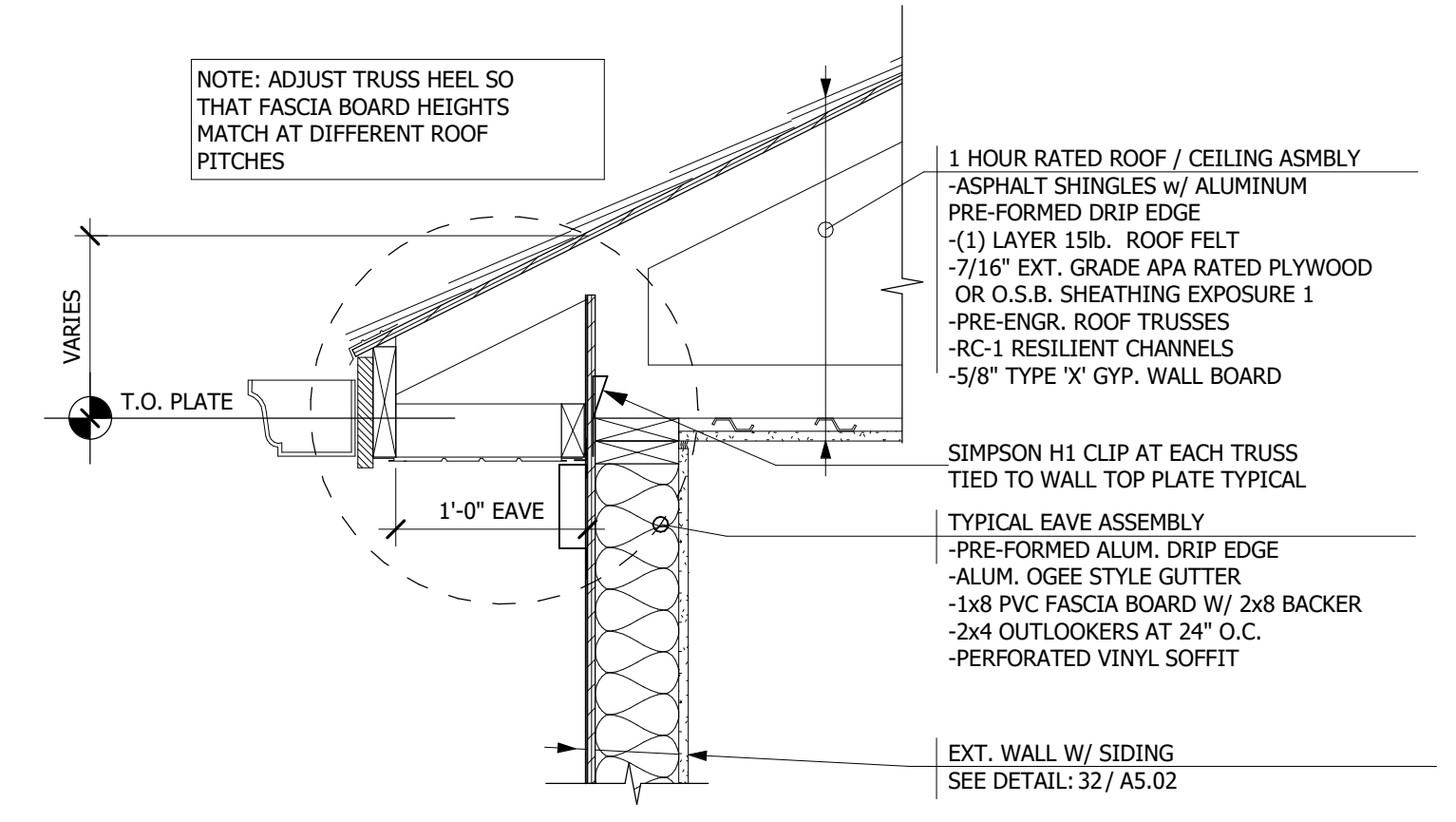
20 DTL-19
SCALE: 3" = 1'-0"



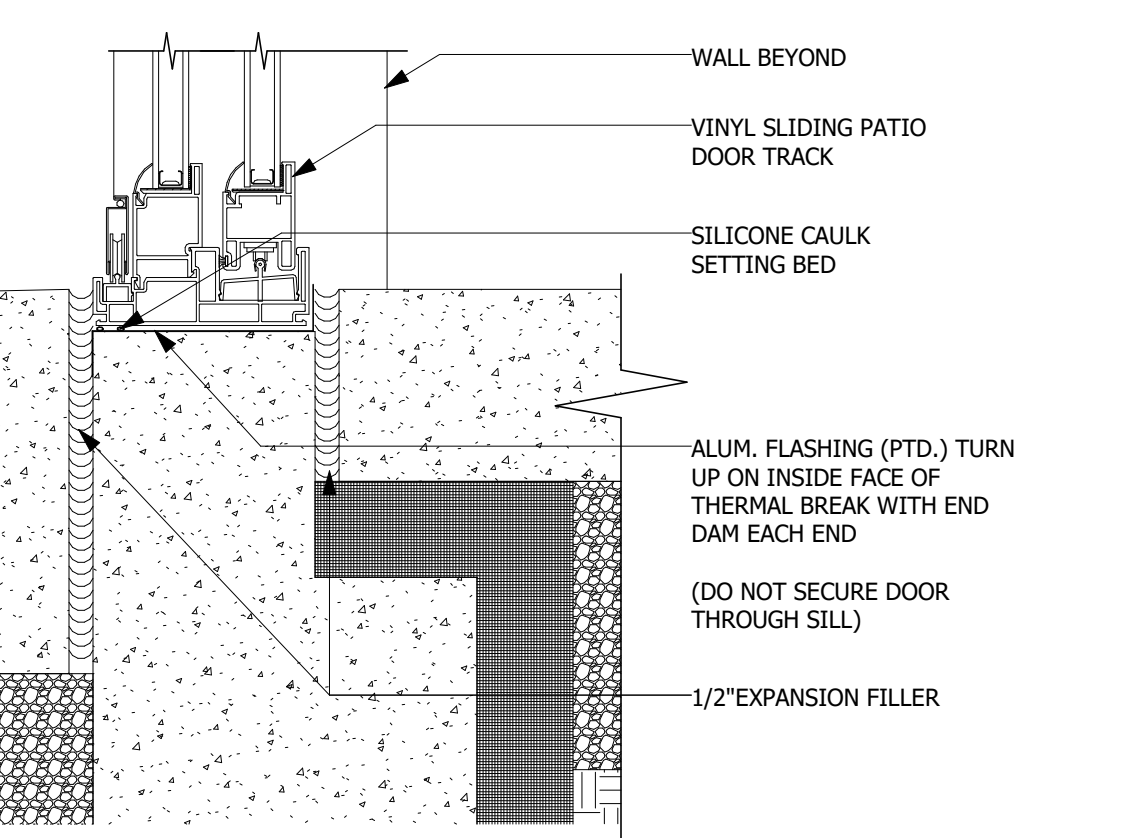
22 WINDOW HEADER @ PVC PANELS
SCALE: 3" = 1'-0"



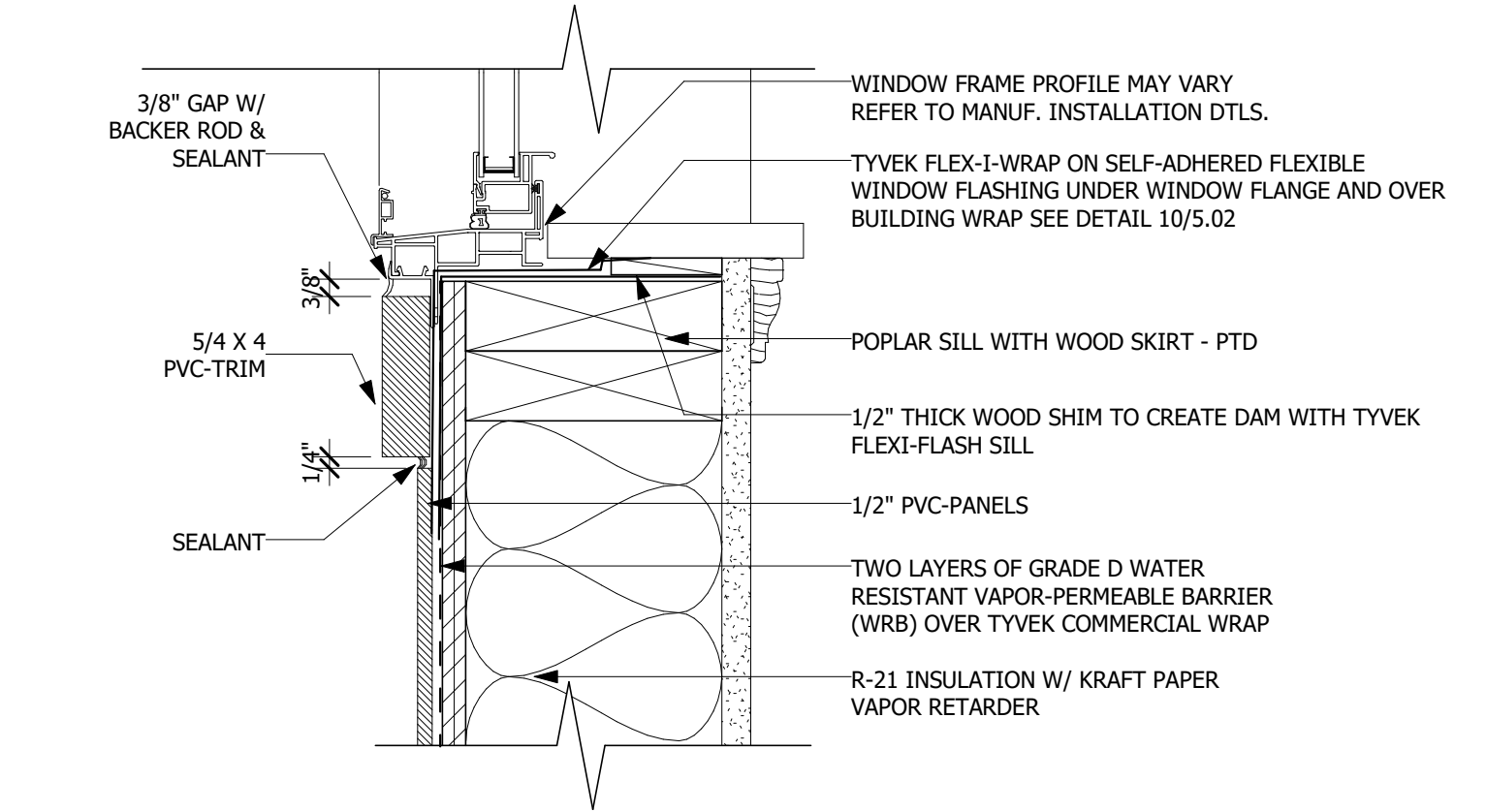
24 ROOF @ NOOK OVERHANG
SCALE: 1" = 1'-0"



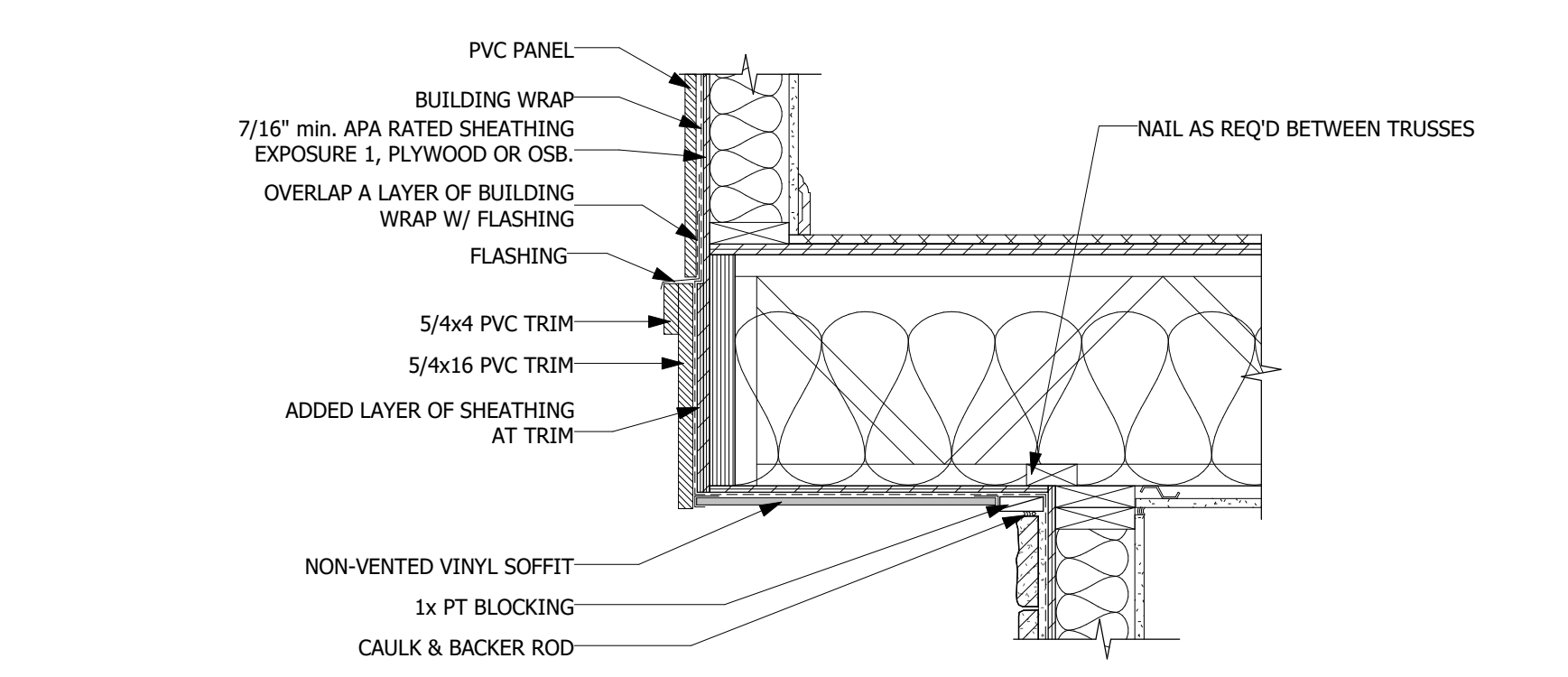
26 TYPICAL ROOF EAVE
SCALE: 1" = 1'-0"



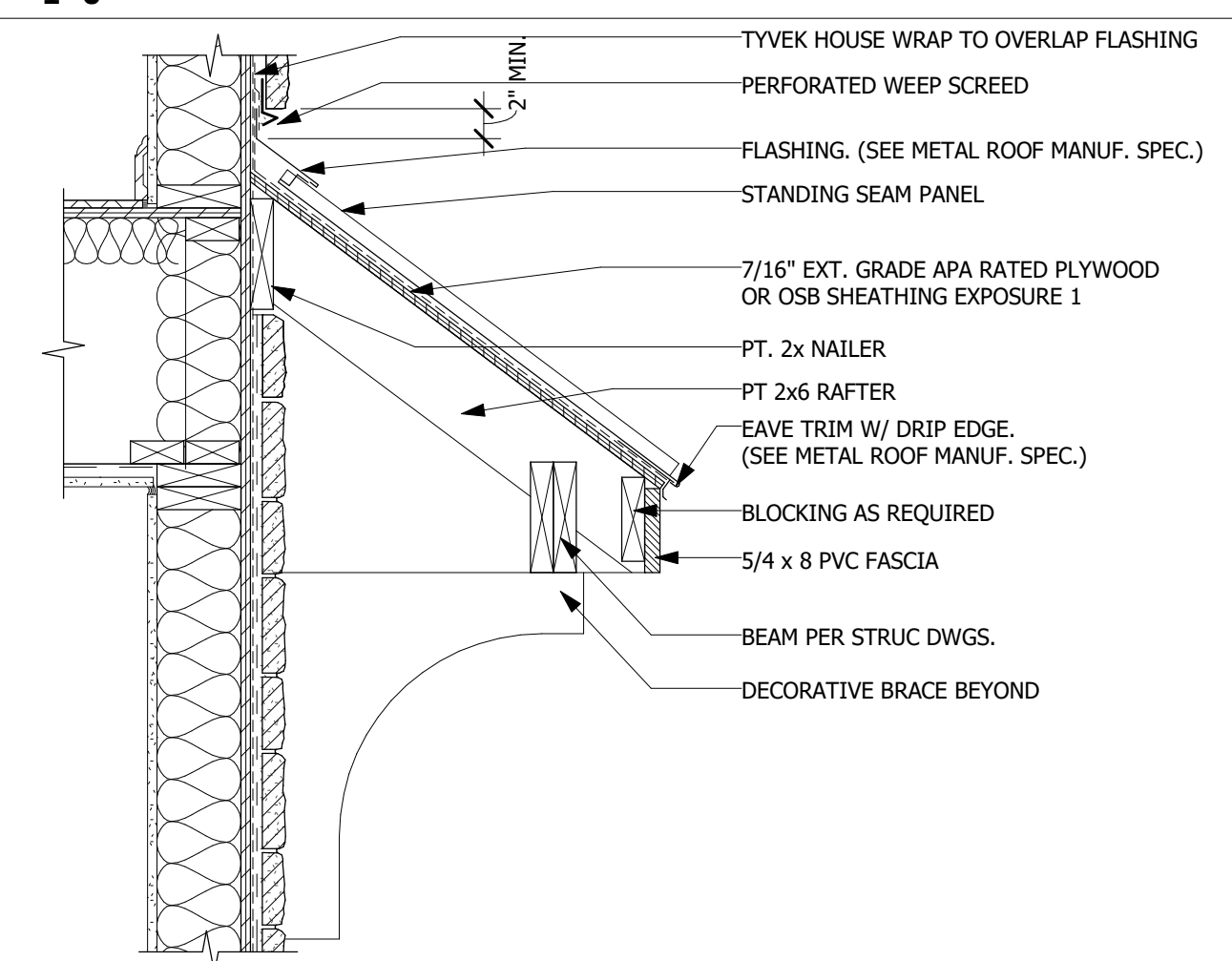
30 SLIDING DOOR TRACK AT CONC. SLAB
SCALE: 3" = 1'-0"



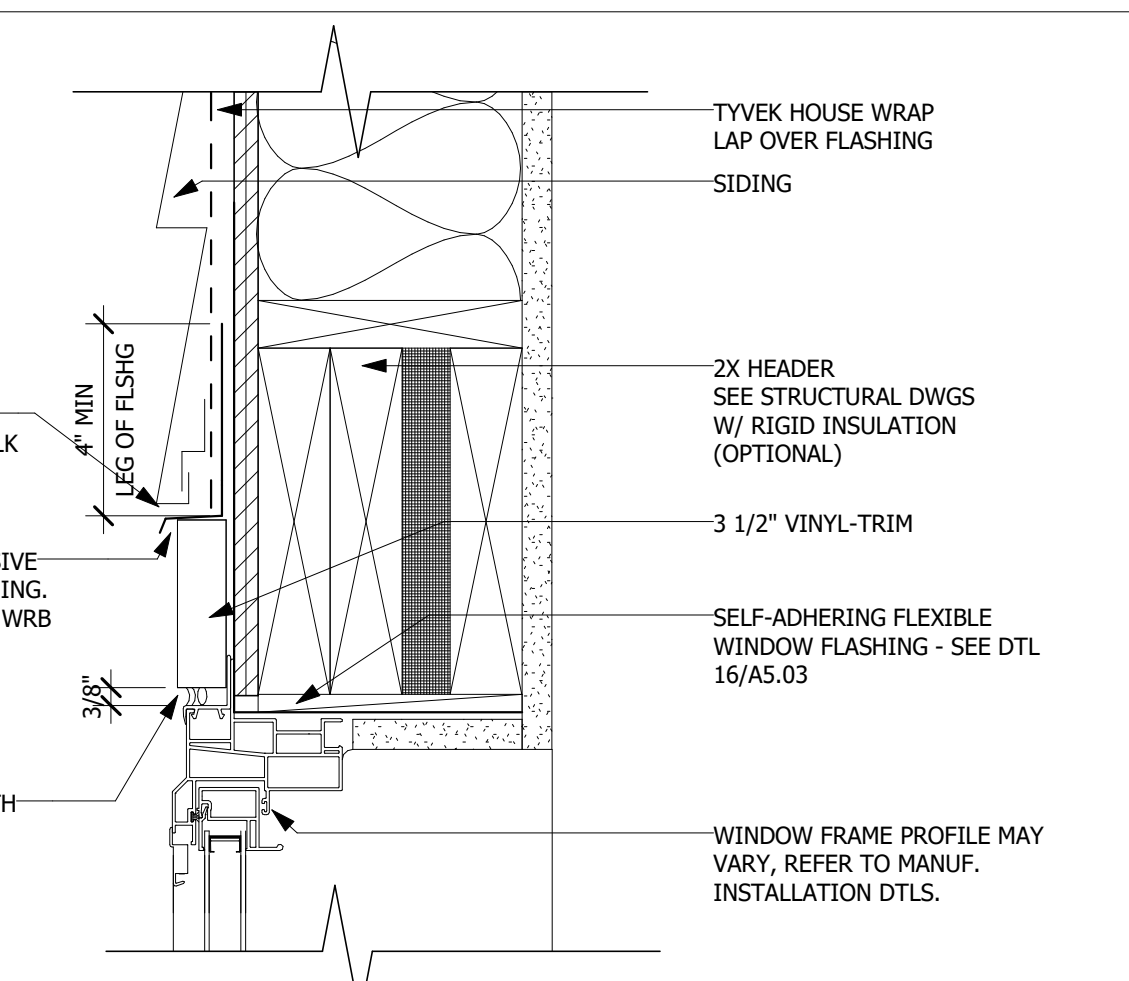
32 WINDOW SILL DETAIL @ PVC PANELS
SCALE: 3" = 1'-0"



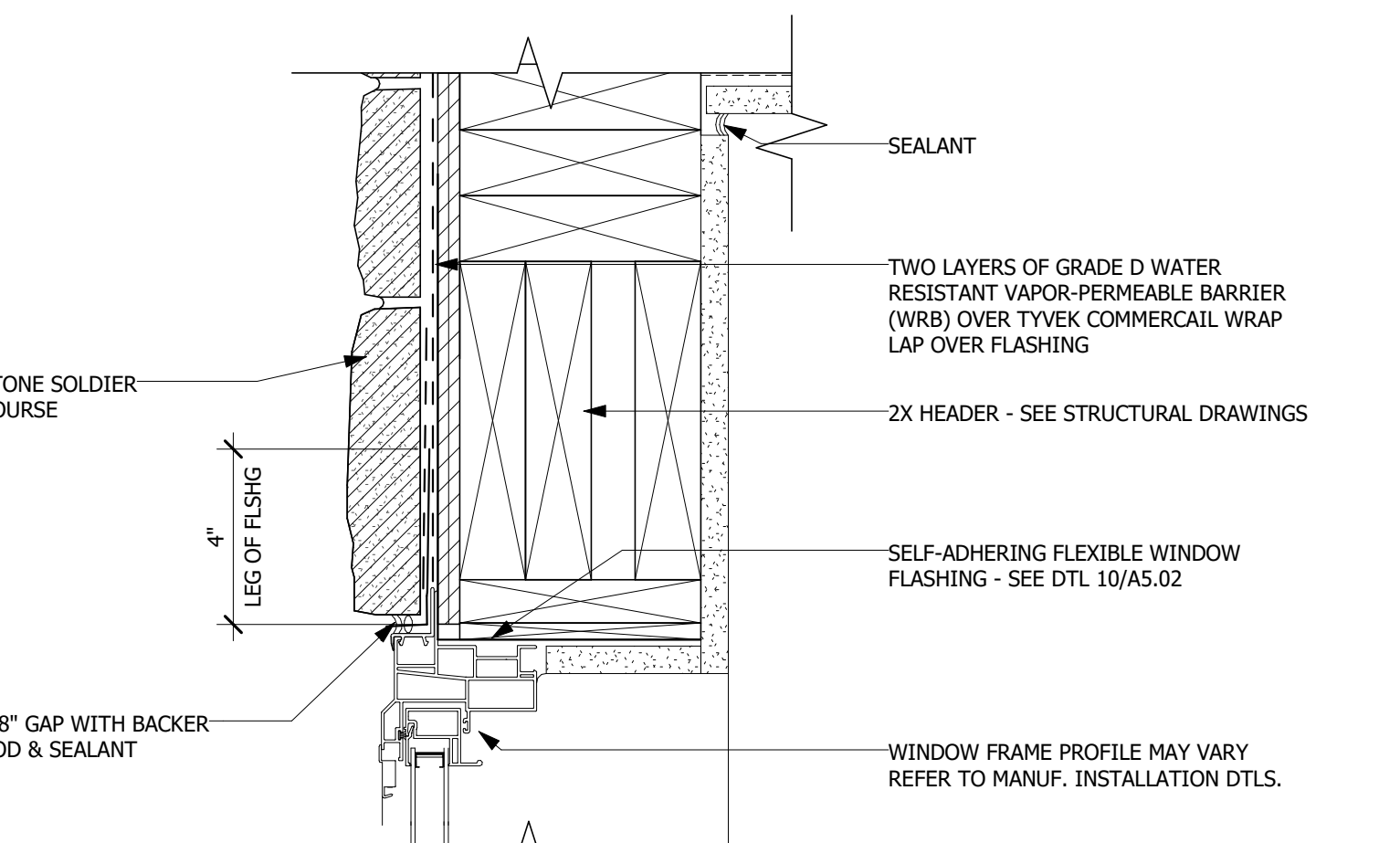
34 FLOOR @ NOOK OVERHANG
SCALE: 1" = 1'-0"



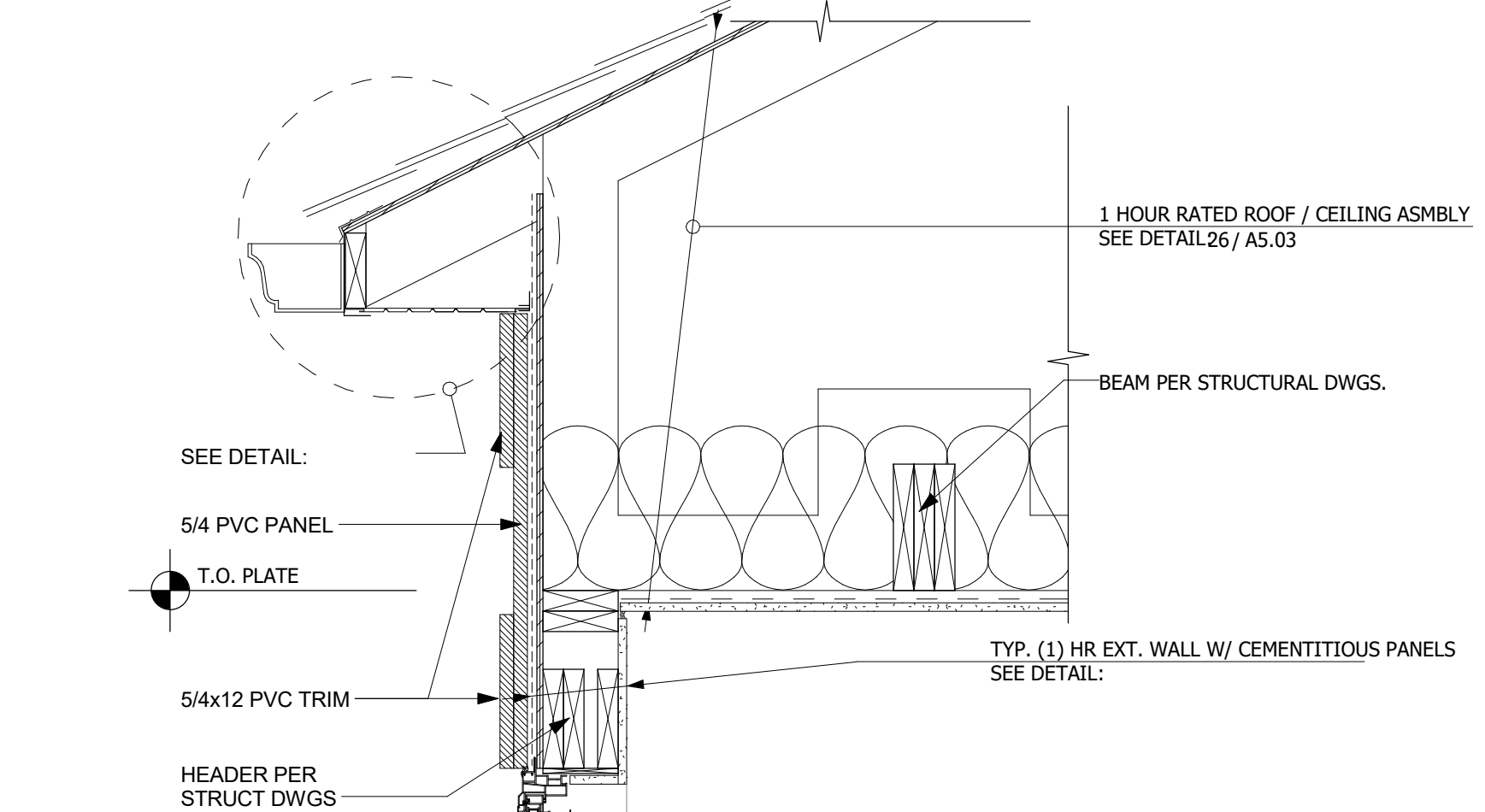
36 ENTRANCE PENT ROOF
SCALE: 1" = 1'-0"



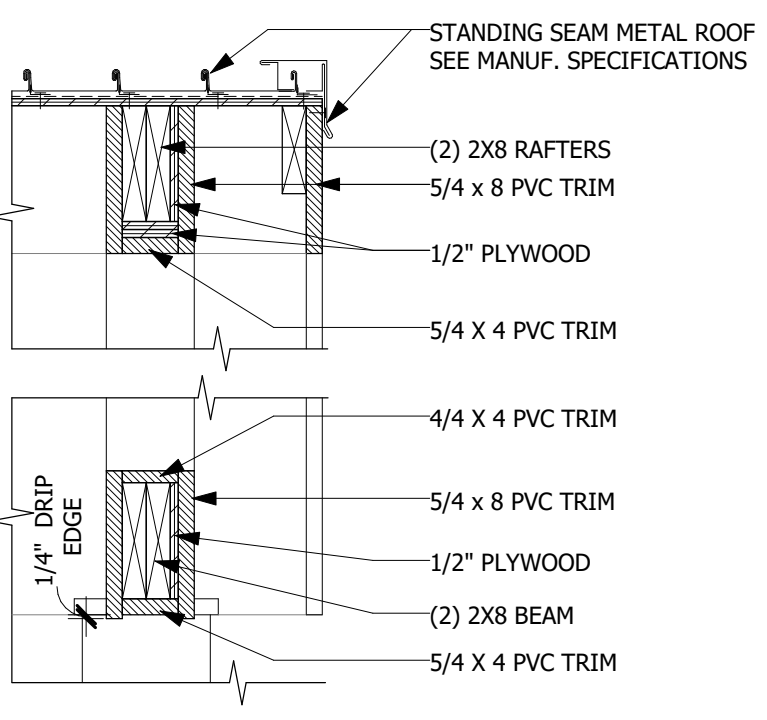
40 WINDOW HEADER @ VINYL SIDING
SCALE: 3" = 1'-0"



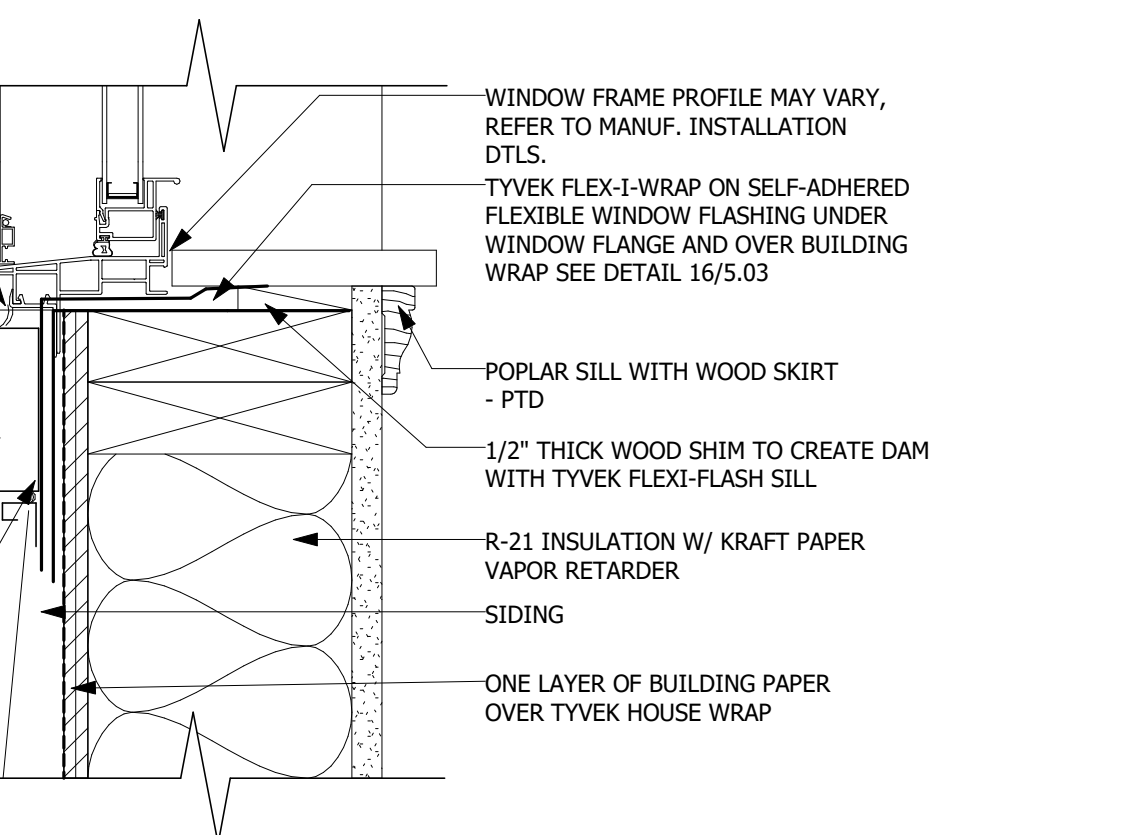
42 WINDOW HEADER @ CULTURED STONE
SCALE: 3" = 1'-0"



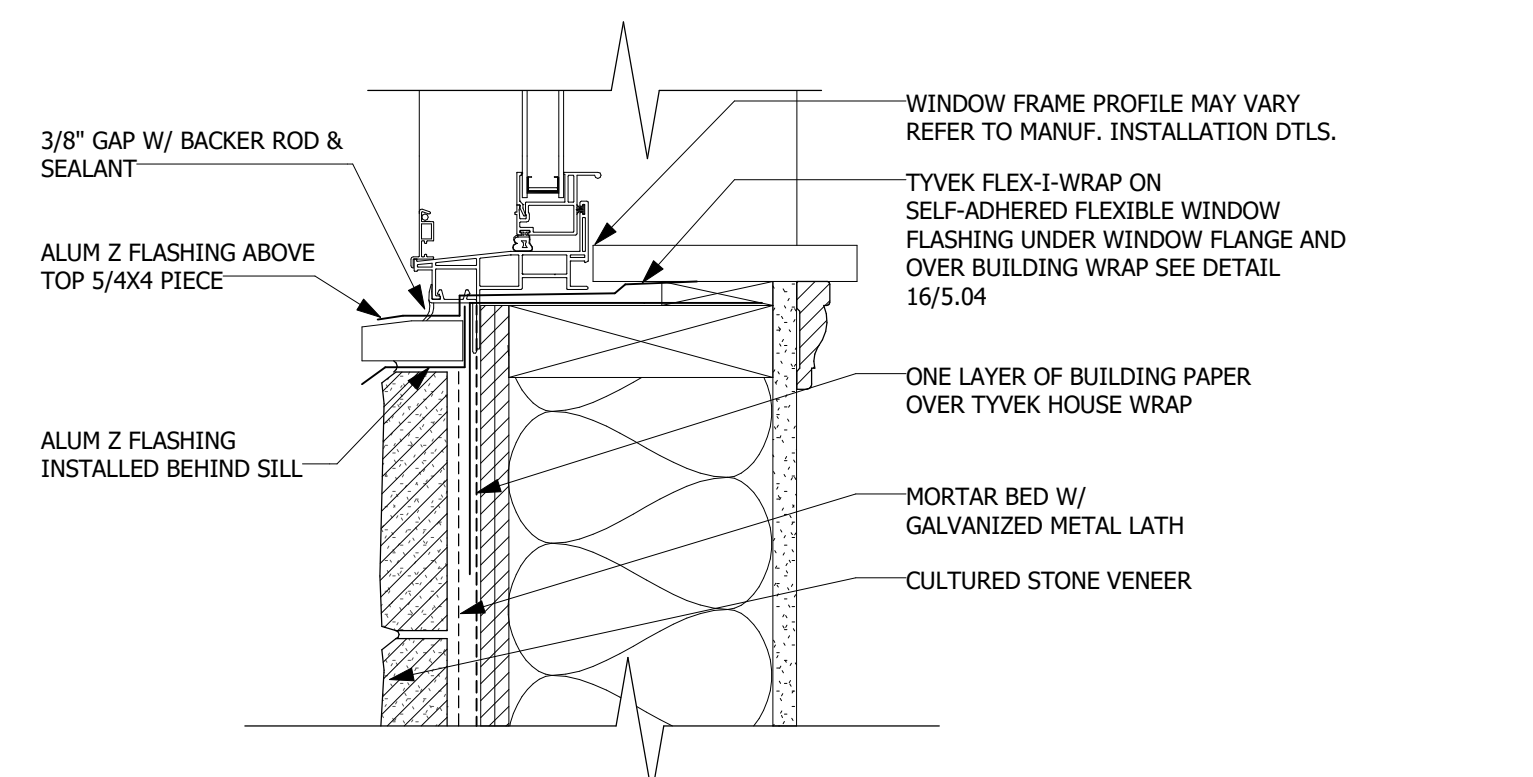
44 ROOF @ BEDROOM OVERHANG
SCALE: 1" = 1'-0"



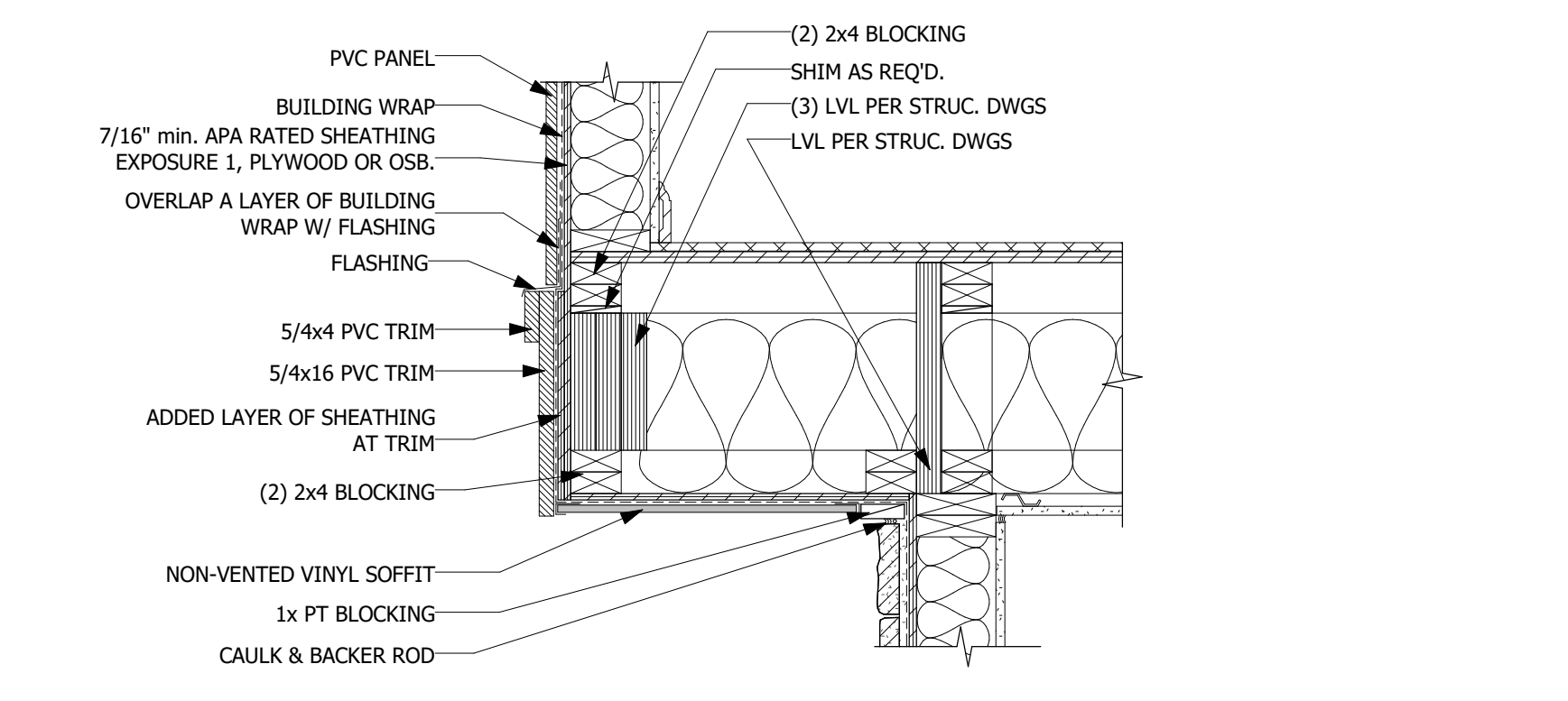
46 ENTRANCE ROOF
SCALE: 1" = 1'-0"



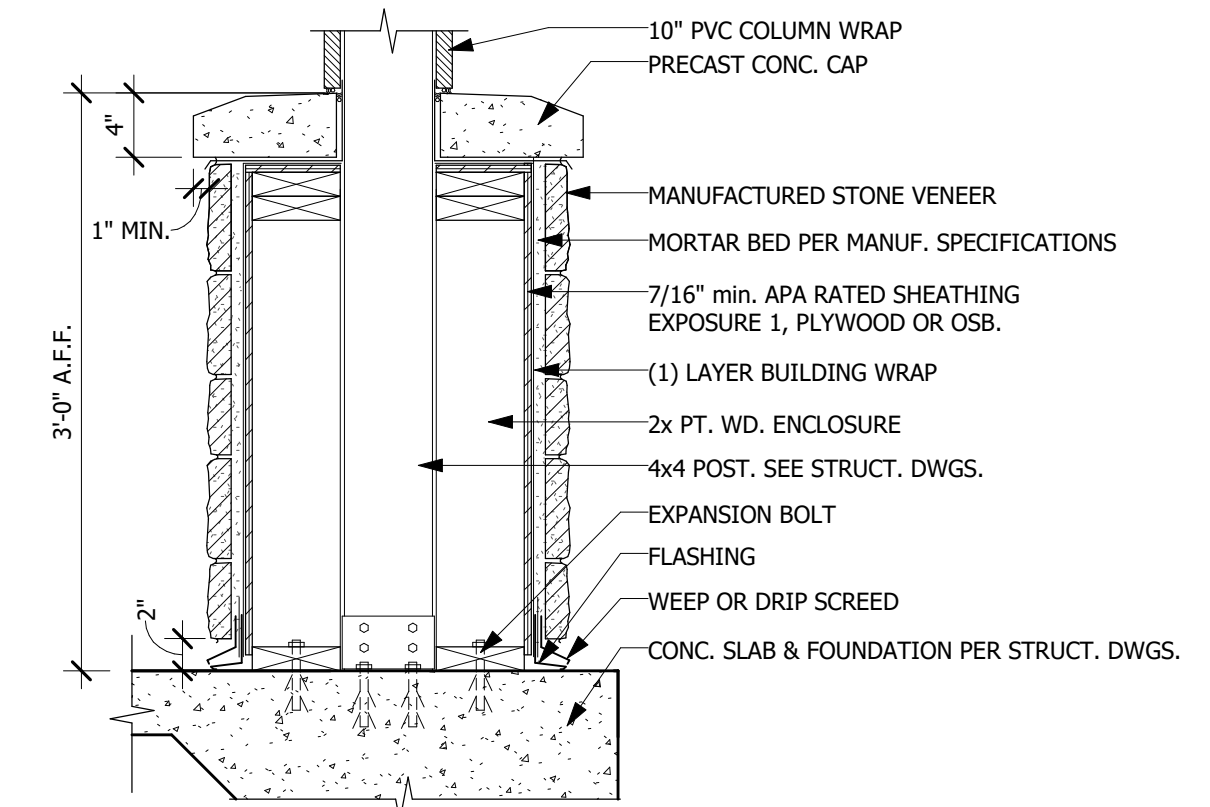
50 WINDOW SILL @ VINYL SIDING
SCALE: 3" = 1'-0"



52 WINDOW SILL @ CULTURED STONE
SCALE: 1" = 1'-0"



54 FLOOR @ BEDROOM FLOOR OVERHANG
SCALE: 1" = 1'-0"



56 ENTRANCE COLUMN BASE
SCALE: 1" = 1'-0"

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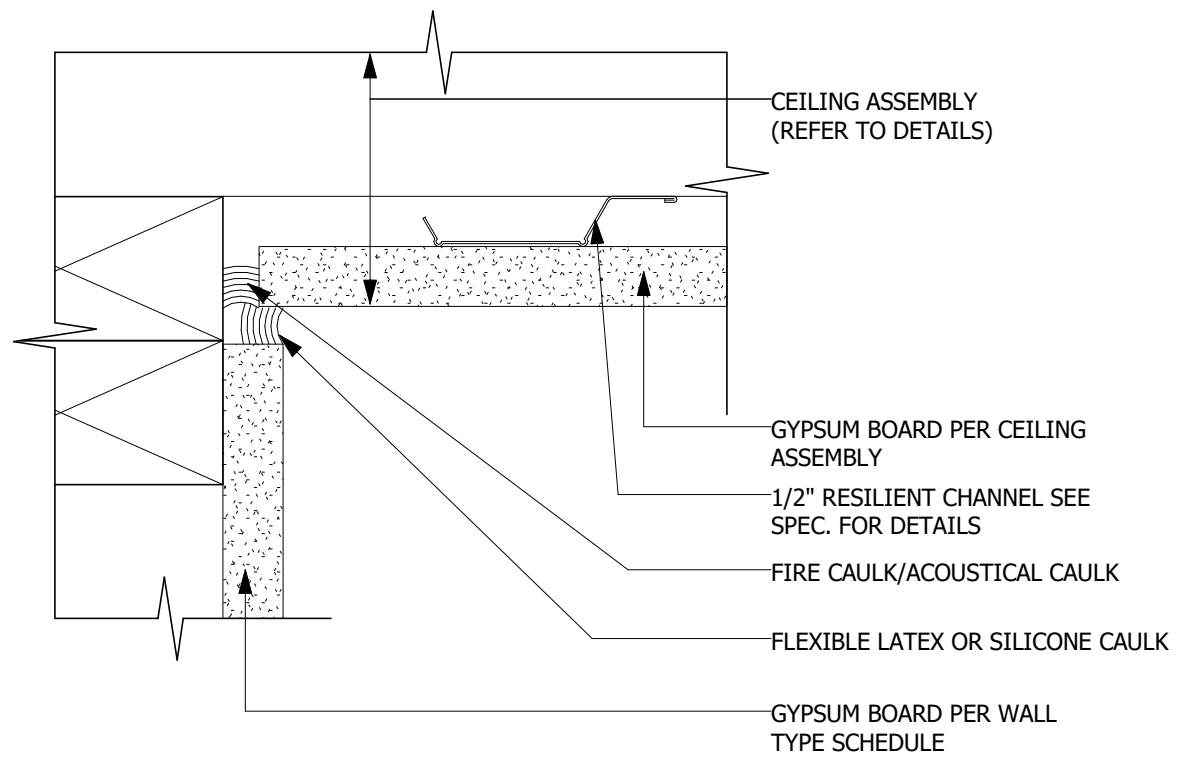
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Building #
Galloway Township, NJ 08205

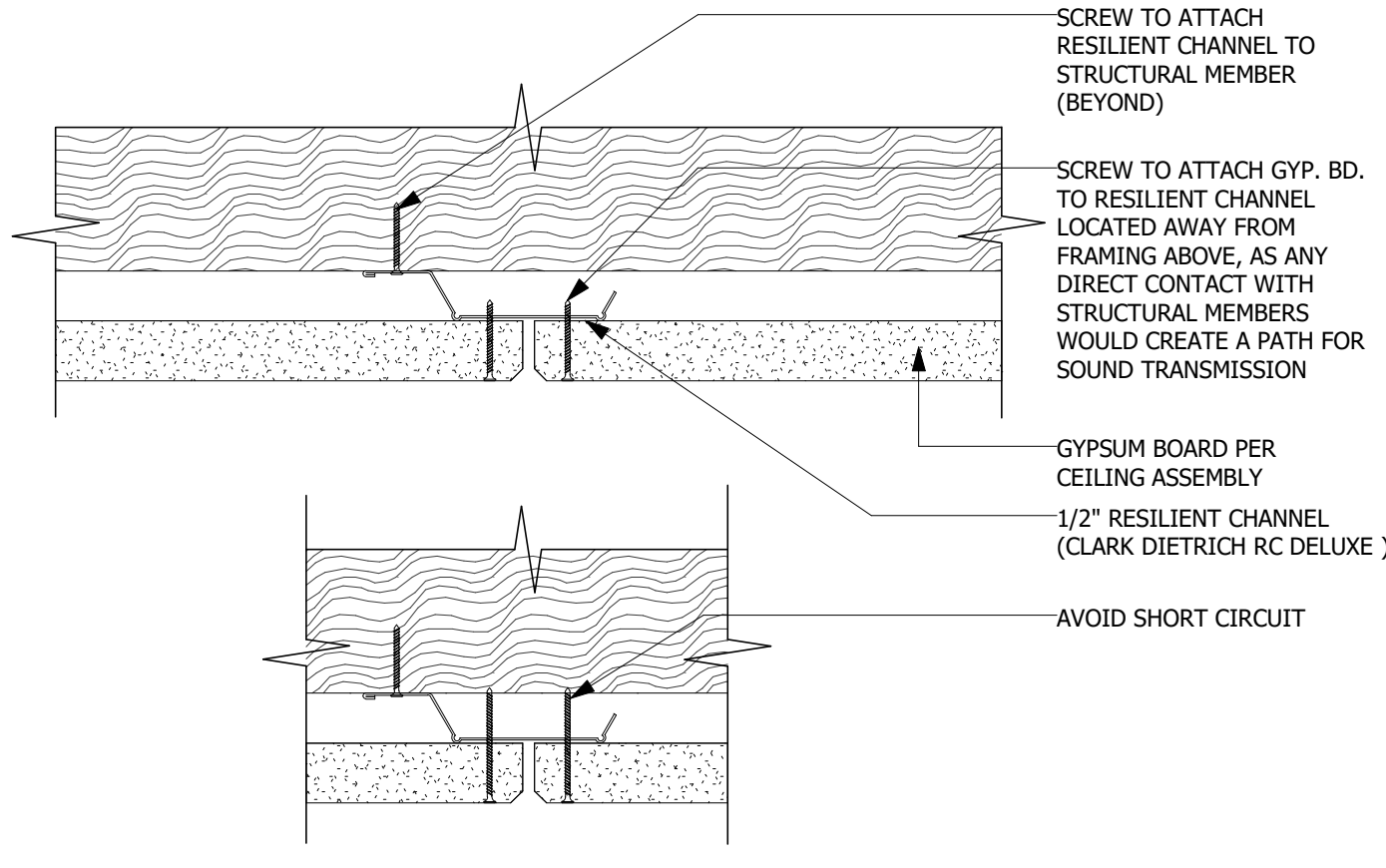
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DATE: 12/31/2017

Building #
A5.03
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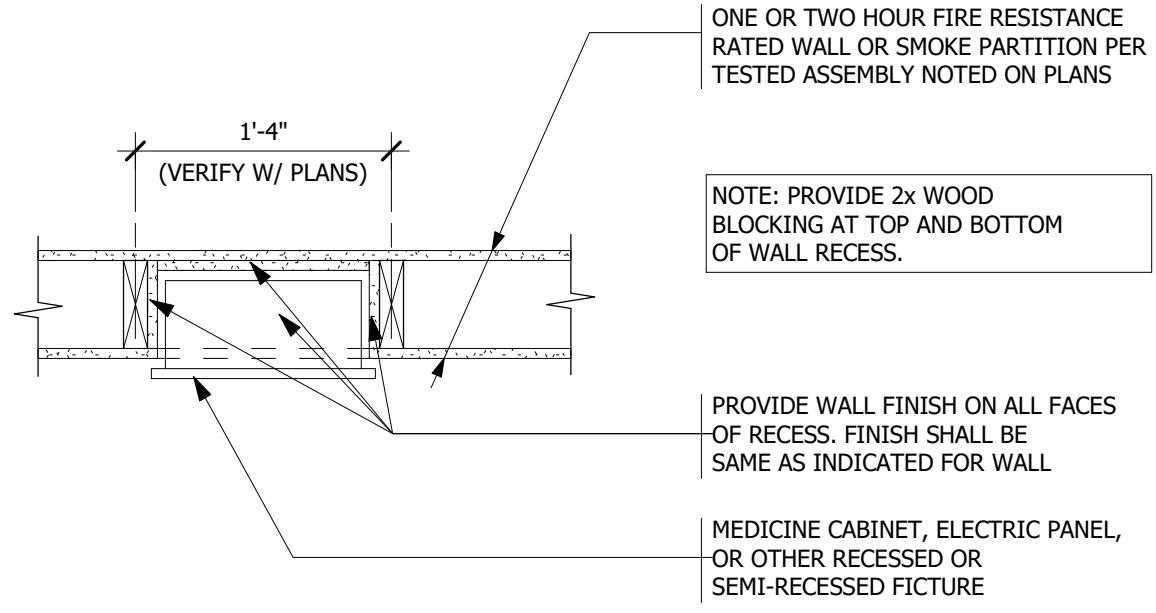
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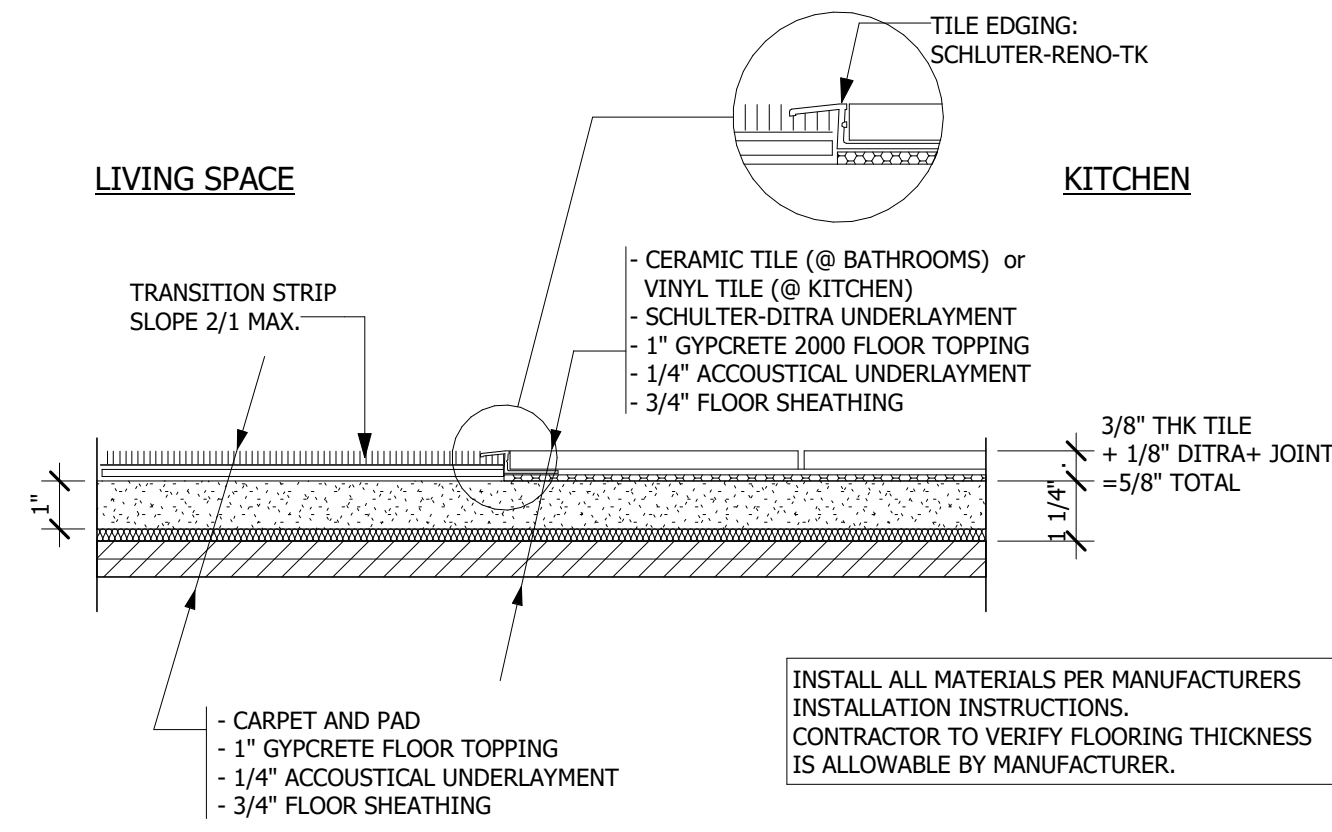
10 DTL-50
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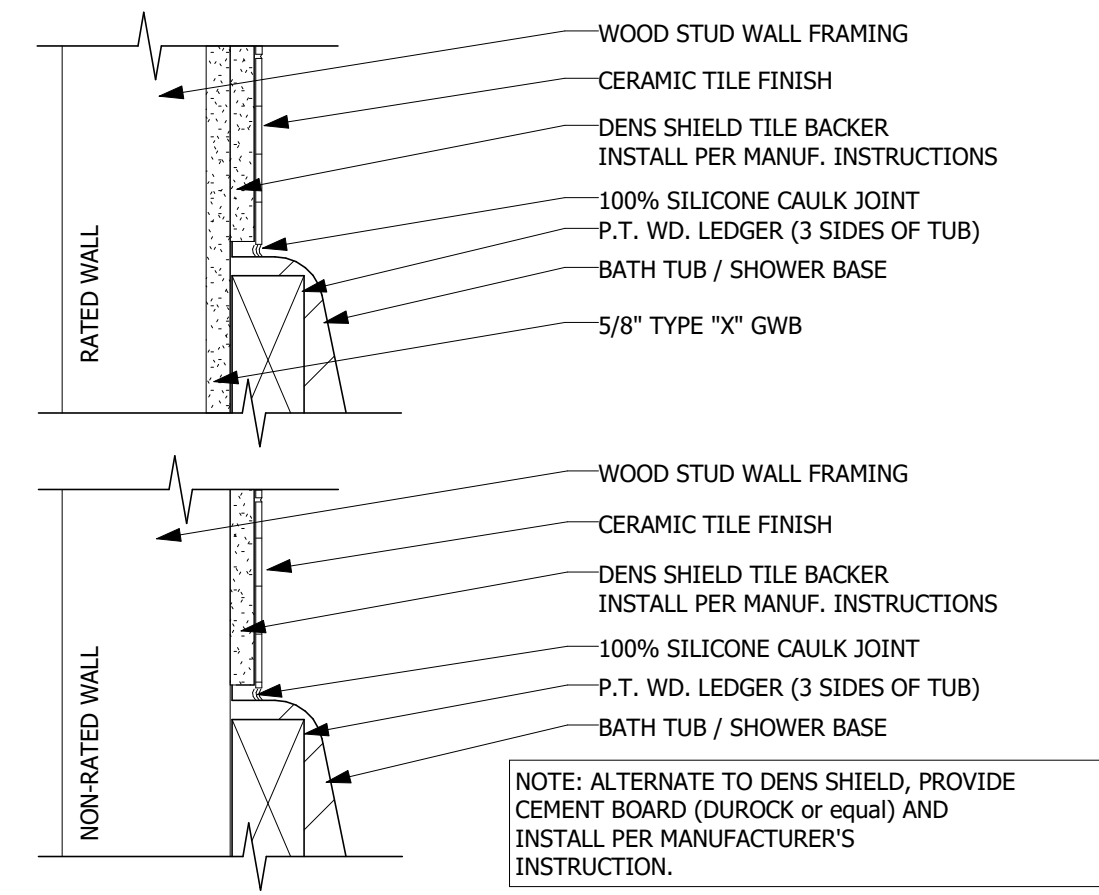
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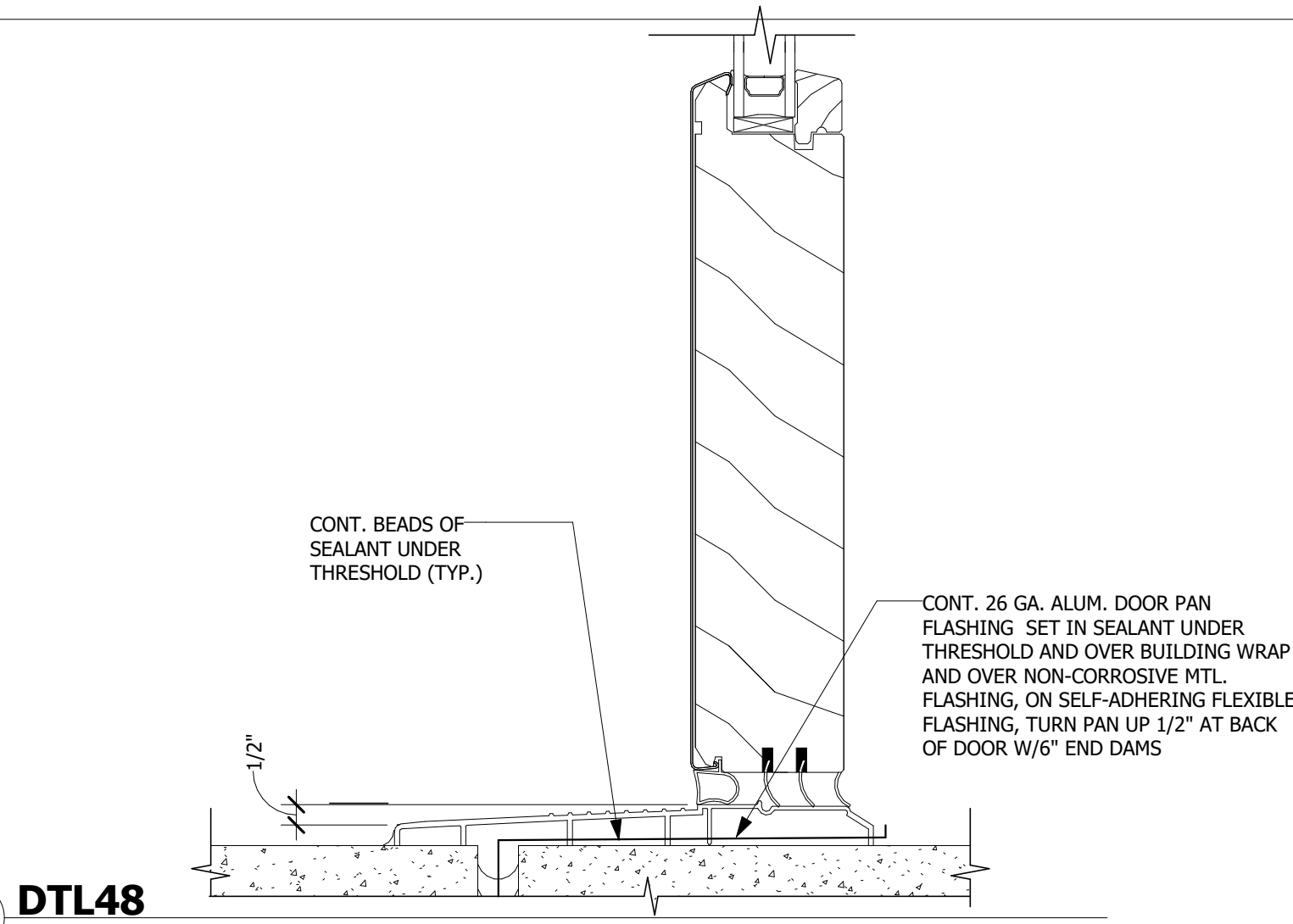
30 RECESSED CABINET OR PANEL @ RATED WALL
SCALE: 1" = 1'-0"



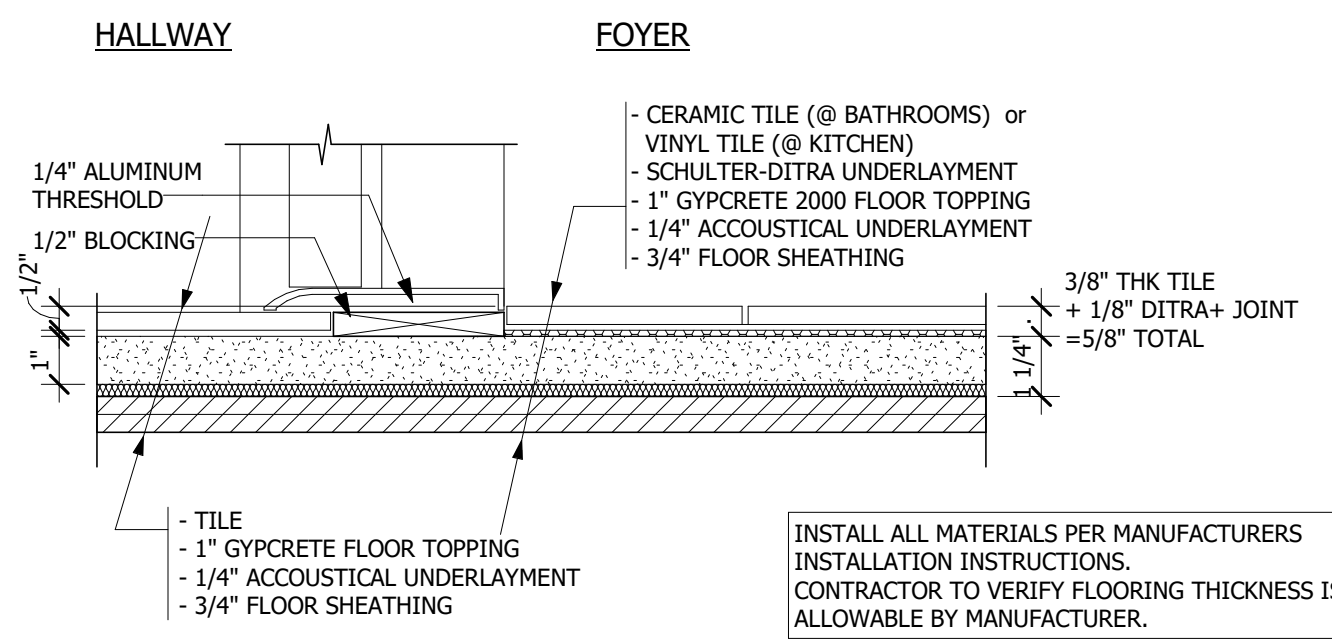
34 BATHTUB @ WALL CONNECTION
SCALE: 3" = 1'-0"



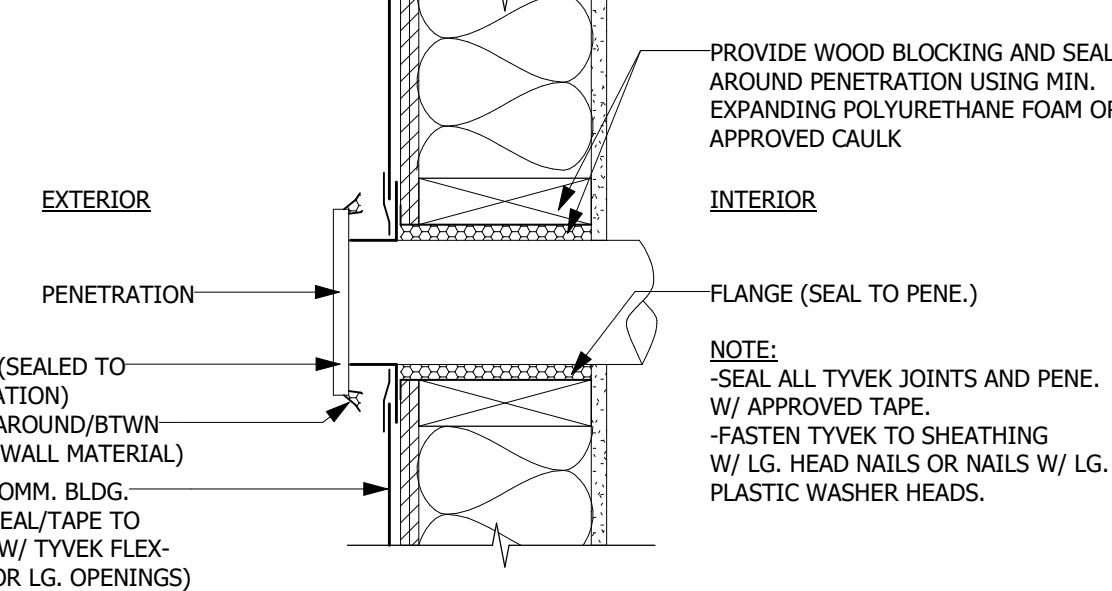
34 BATHTUB @ WALL CONNECTION
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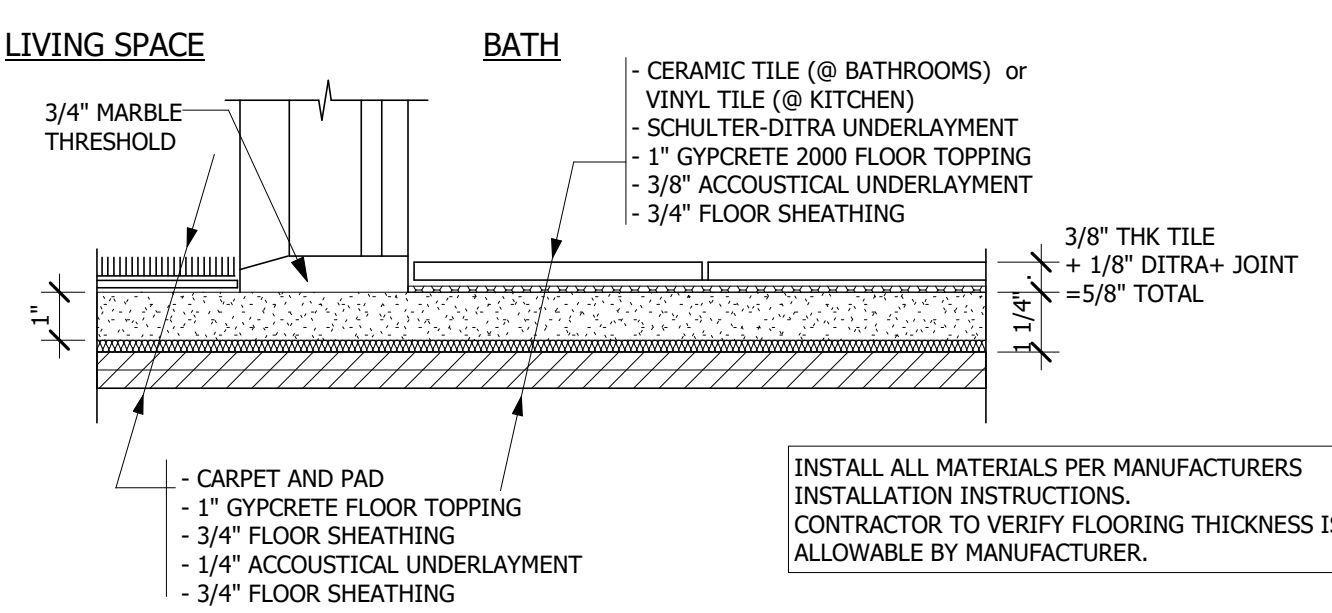
40 DTL48
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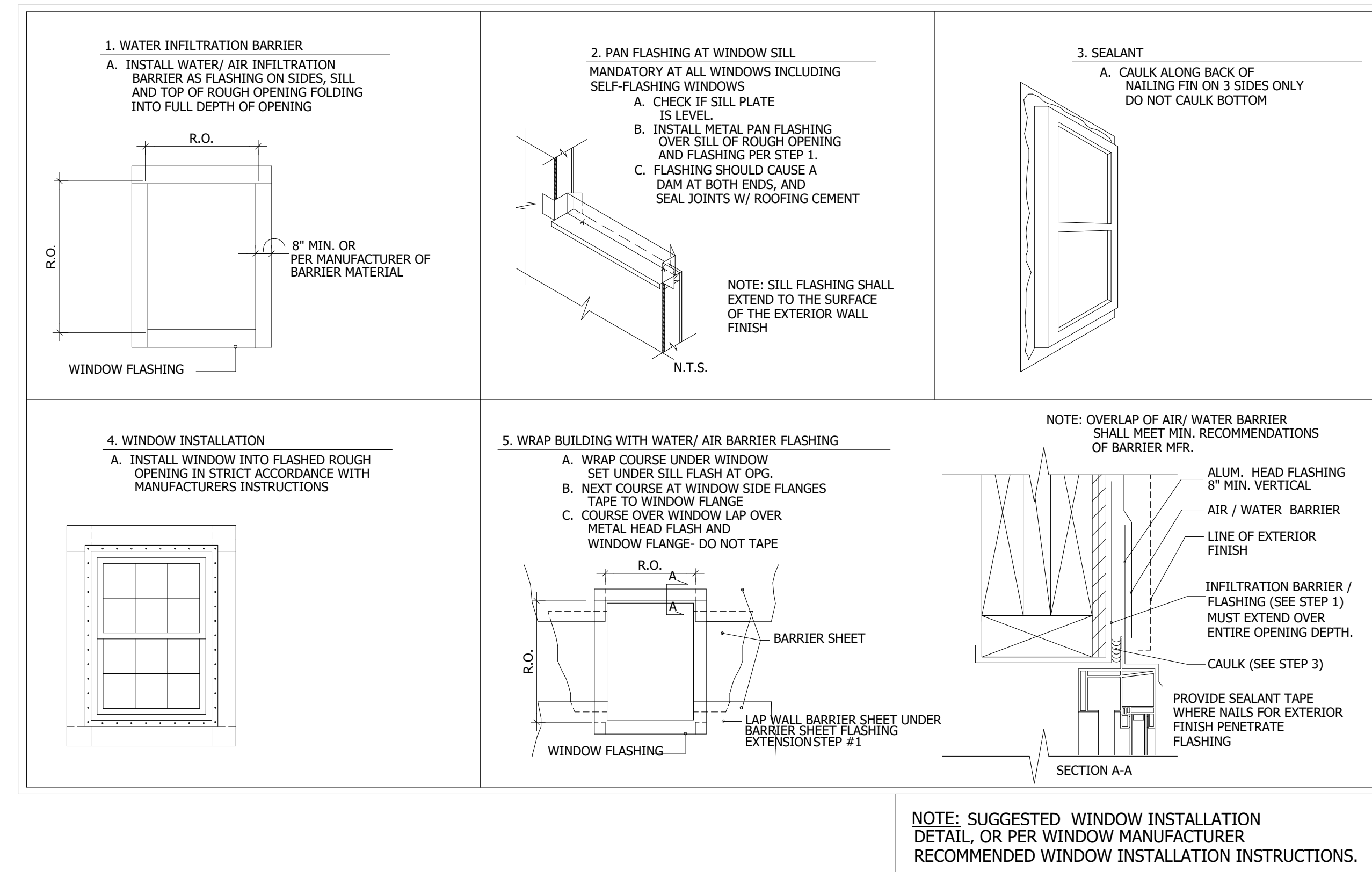
52 DTL-FLR TRANSITIONS
SCALE: 3" = 1'-0"



50 DTL-62
SCALE: 1" = 1'-0"



54 WINDOW OPENING WRAP DETAIL
SCALE: 1" = 1'-0"



NOTE: SUGGESTED WINDOW INSTALLATION DETAIL OR PER WINDOW MANUFACTURER RECOMMENDED WINDOW INSTALLATION INSTRUCTIONS.

NO.	REVISION	DATE

ISSUED FOR CONSTRUCTION THROUGH REV. X MM-DD-YYYY

DETAILS
RAVEN'S NEST - APARTMENTS
Building #
Galloway Township, NJ 08205

SCALE: AS NOTED
DATE: 12/31/2017

Building #

NO.	REVISION	DATE

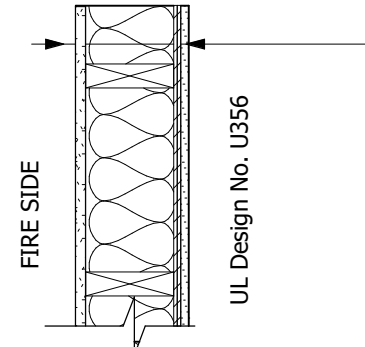
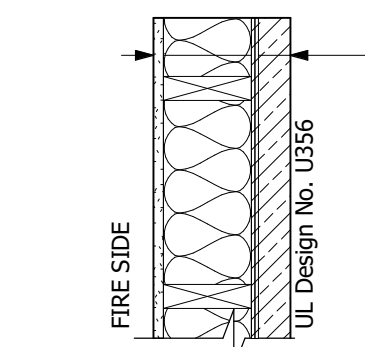
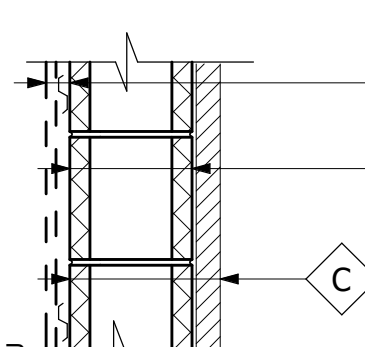
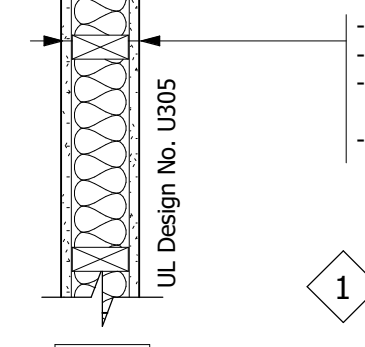
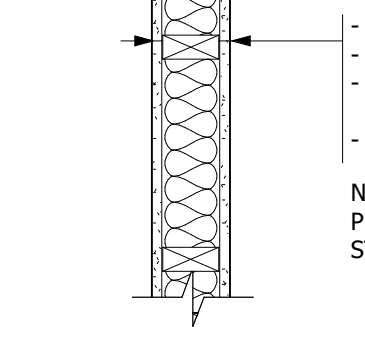
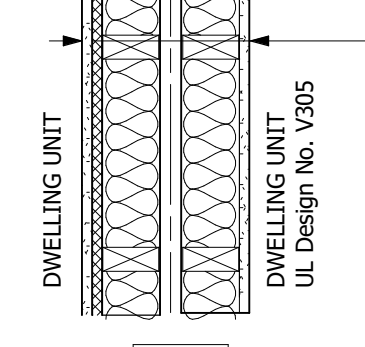
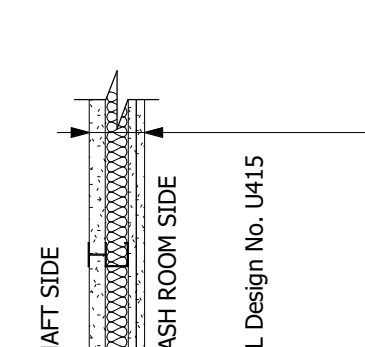
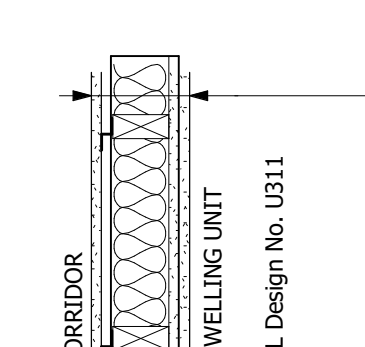
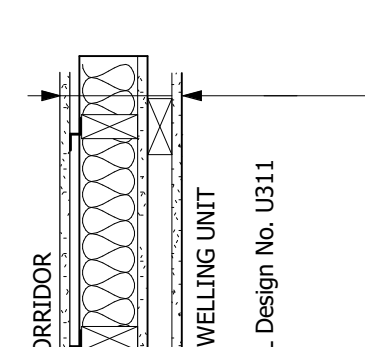
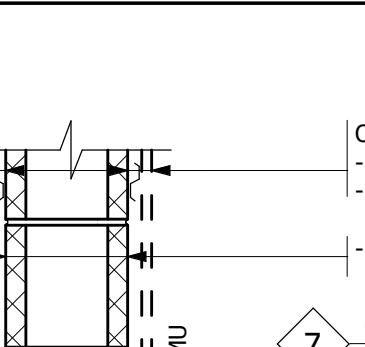
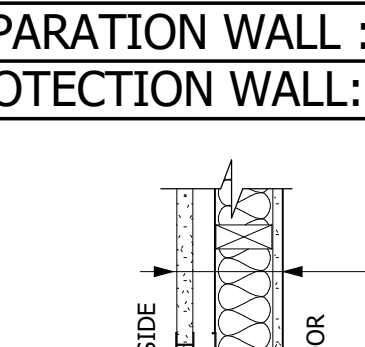
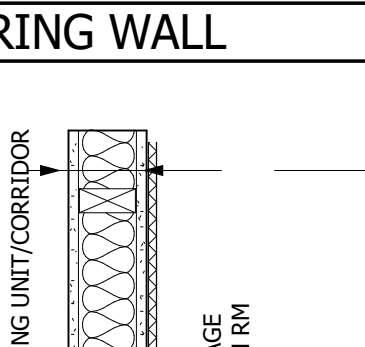
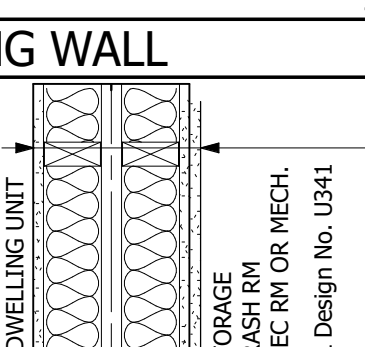
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THROUGH REV. X
MM-DD-YYYY

FIRE RATED ASSEMBLIES
RAVEN'S NEST - APARTMENTS
Building #
Gateway Township, NJ 08205

SCALE: AS NOTED
DATE: 12/31/2017

Building #
A5.10
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NOT FOR CONSTRUCTION

EXTERIOR PARTITION TYPES	
BEARING WALL	(1) HOUR FIRE RATED
BEARING WALL	(1) HOUR FIRE RATED
BEARING WALL	(2) HOUR RATED PROVIDED
 <p>UL Design No. U936</p>	ONE-HOUR RATED EXTERIOR WALL CONSTRUCTION WITH HARDIE-PANEL - VINYL SIDING EXTERIOR - (1) LAYER BUILDING WRAP - 7/16" min. APA RATED SHEATHING EXPOSURE 1, PLYWOOD OR OSB - 2x6 WOOD STUDS PER PLAN, SPACED 16" O.C. - R-21 BATT INSULATION - 5/8" TYPE "X" GYPSUM SEE DETAIL: XX A TYP. 1-HR RATED (ONE SIDE) EXT. WALL W/ VINYL OVER WOOD STUD A1 ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/AS.07 - SUBSTITUTE M.R.G.W.B AT WET WALLS TYP. 1-HR RATED (ONE SIDE) EXT. WALL W/ VINYL SIDING OVER WOOD STUD A2 VINYL VERTICAL SIDING. SEE ELEVATIONS TYP. 1-HR RATED (ONE SIDE) EXT. WALL W/ PVC PANEL OVER WOOD STUD A3 HARDIE PANEL. SEE ELEVATIONS TYP. 1-HR RATED (ONE SIDE) EXT. WALL W/ VINYL SIDING OVER WOOD STUD TYP. 1-HR RATED (ONE SIDE) EXT. WALL W/ VINYL SIDING VERTICAL BOARD & BATTEN. SEE ELEVATIONS
 <p>UL Design No. U936</p>	ONE-HOUR RATED EXTERIOR WALL CONSTRUCTION WITH MANUFACTURED STONE - 5/8" TYPE "X" GYPSUM - R-21 BATT INSULATION W/ KRAFT PAPER - 2x6 STUDS PER PLAN, SPACED 16" O.C. - 7/16" min. APA RATED SHEATHING EXPOSURE 1, PLYWOOD OR OSB - (2) LAYERS OF BUILDING WRAP OR BUILDING FELT - 2" STONE VENER SEE DETAIL: XX B TYP. 1-HR RATED (ONE SIDE) EXT. WALL W/ MANUFACTURED STONE OVER WOOD STUD B1 ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/AS.07 - SUBSTITUTE M.R.G.W.B AT WET WALLS TYP. 1-HR RATED (ONE SIDE) EXT. WALL W/ MANUFACTURED STONE OVER WOOD STUD G.W.B ONE SIDE ONLY B2 TYP. 1-HR RATED (ONE SIDE) EXT. WALL W/ MANUFACTURED STONE OVER WOOD STUD 2X8 WALL AT ELECTRIC AND GAS METERS ONLY
 <p>UL Design No. U905 @ 8" CMU</p>	OPTIONAL INTERIOR FINISH - 5/8" GYPSUM WALL BOARD - RESILIENT CHANNELS @ 12" O.C - 2 HOUR RATED 8" CMU WALL CONS. SEE STRUCTURAL DWG C ONE-HOUR RATED EXTERIOR WALL CONSTRUCTION WITH MANUFACTURED STONE - 2" STONE VENER SYSTEM ON CMU ONE-HOUR RATED EXTERIOR WALL CONSTRUCTION WITH MANUFACTURED STONE - CEMENTITIOUS SIDING ON CMU
INTERIOR PARTITION TYPES	
BEARING WALL	(1) HOUR FIRE RATED
NON-BEARING WALL	NON-FIRE RATED
BEARING WALL	(1) HOUR FIRE RATED
 <p>UL Design No. U936</p> <p>STC: 56</p>	5/8" TYPE "X" GYPSUM WALL BOARD 2x4 OR 2x6 STUDS PER PLANS, SPACED 16" O.C. MAX BATT INSULATION OR SOUND ATTENUATION BLANKETS R13 @ 2x4 WALL, R19 @ 2x6 WALL 5/8" TYPE "X" GYPSUM WALL BOARD 1 TYPICAL INTERIOR PARTITION WALL (1) HOUR RATED 1A TYPICAL INTERIOR PARTITION WALL (1) HOUR RATED ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/AS.07 1B TYPICAL INTERIOR PARTITION WALL (1) HOUR RATED SUBSTITUTE M.R.G.W.B AT WET WALLS 1C TYPICAL INTERIOR PARTITION WALL (1) HOUR RATED OMIT SOUND ATTENUATION BATT 1D TYPICAL INTERIOR PARTITION WALL (1) HOUR RATED G.W.B ONE SIDE ONLY 1E G.W.B ONE SIDE ONLY (1) HOUR RATED SUBSTITUTE M.R.G.W.B AT WET WALLS
 <p>UL Design No. U936</p>	5/8" G.W.B 2x4 OR 2x6 STUDS PER PLANS BATT INSULATION OR SOUND ATTENUATION BLANKETS R13 @ 2x4 WALL, R19 @ 2x6 WALL 5/8" G.W.B NOTE: PROVIDE 5/8" TYPE "X" STANDARD ALL WALLS 2 TYPICAL INTERIOR PARTITION WALL - NON RATED 2A TYPICAL INTERIOR PARTITION WALL - NON RATED ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/AS.07 2B TYPICAL INTERIOR PARTITION WALL - NON RATED SUBSTITUTE M.R.G.W.B AT WET WALLS 2C TYPICAL INTERIOR PARTITION WALL - NON RATED OMIT SOUND ATTENUATION BATT 2D TYPICAL INTERIOR PARTITION WALL - NON RATED G.W.B ONE SIDE ONLY 2E G.W.B ONE SIDE ONLY SUBSTITUTE M.R.G.W.B AT WET WALLS
 <p>UL Design No. U936</p> <p>STC: 60</p>	5/8" TYPE "X" GYPSUM WALL BOARD 1/2" HOMASOTE 440 SOUND BOARD 2x6 STUDS PER PLANS, SPACED 24" MAX R-19 BATT INSULATION OR SOUND ATTENUATION BLANKETS 1" AIR SPACE 2x6 STUDS PER PLANS R-19 BATT INSULATION OR SOUND ATTENUATION BLANKETS 5/8" TYPE "X" GYPSUM WALL BOARD SEE DETAIL: 58/AS.04 SEE DETAIL: 50/AS.04 FOR OUTLET BOX & FIREBLOCKING REQUIREMENTS 3 TYPICAL UNIT SEPARATION WALL (1) HOUR RATED 3A TYPICAL UNIT SEPARATION WALL (1) HOUR RATED ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/AS.07 3B TYPICAL UNIT SEPARATION WALL (1) HOUR RATED SUBSTITUTE M.R.G.W.B AT WET WALLS 3C NOT USED 3D TYPICAL UNIT SEPARATION WALL (1) HOUR RATED G.W.B ONE SIDE ONLY CRITICAL NOTE: THESE ARE SHEAR WALLS. WALL TAG AND HATCH IS LOCATED ON THE SIDE OF WALL WITH HOMASOTE.
BEARING WALL	(1) HOUR FIRE RATED
BEARING WALL	(1) HOUR FIRE RATED
BEARING WALL	(1) HOUR FIRE RATED
 <p>UL Design No. U415</p> <p>STC: 45</p> <p>SOUND TEST NGC2010108</p>	(2) HOUR RATED TRASH CHUTE SHAFT - IN ACCORDANCE W/ U.I. DESIGN NO. U415 (SYSTEM A) - (1) LAYERS OF 1" THK DENIGLASS ULTRA SHAFTGUARD - 2 1/2" C-H STUDS SPACED 16" OR 24" O.C. - 1 1/2" GLASS BATT INSULATION - (2) LAYERS 5/8" TYPE "X" GYPSUM WALL BOARD 4 TYPICAL SHAFT WALL
 <p>UL Design No. U811</p> <p>STC: 55</p> <p>SOUND TEST NGC2011070</p>	(1) HOUR RATED MECH./CORR. SEPARATION WALL - (1) LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD - RESILIENT CHANNELS (CORRIDOR SIDE) - 2x4 OR 2x6 STUDS PER PLANS, SPACED 16" OR 24" - R-13 BATT INSULATION - (2) LAYERS 5/8" TYPE "X" GYPSUM WALL BOARD SEE DETAIL: 36/AS.04 5 UNIT/CORRIDOR SEPARATION WALL 5A ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/AS.07 5B UNIT/CORRIDOR SEPARATION WALL SUBSTITUTE M.R.G.W.B AT WET WALLS 5C NOT USED 5D UNIT/CORRIDOR SEPARATION WALL G.W.B ONE SIDE ONLY
 <p>UL Design No. U811</p>	(1) HOUR RATED CORR. SEPARATION WALL - (1) LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD - RESILIENT CHANNELS (CORRIDOR SIDE) - 2x4 OR 2x6 STUDS PER PLANS, SPACED 16" OR 24" - R-13 BATT INSULATION - 5/8" TYPE "X" GYPSUM WALL BOARD 2x4 ON THE FLAT - 5/8" TYPE "X" GYPSUM WALL BOARD 6 UNIT/CORRIDOR SEPARATION WALL 6A ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/AS.07 6B UNIT/CORRIDOR SEPARATION WALL SUBSTITUTE M.R.G.W.B AT WET WALLS 6C NOT USED 6D UNIT/CORRIDOR SEPARATION WALL G.W.B ONE SIDE ONLY
BEARING WALL	(1) HOUR FIRE RATED
SEPARATION WALL : NON-BEARING	(1) HOUR FIRE RATED
BEARING WALL	(1) HOUR FIRE RATED
 <p>UL Design No. U905 @ 8" CMU</p> <p>STC: 55</p>	OPTIONAL INTERIOR FINISH - 5/8" GYPSUM WALL BOARD - RESILIENT CHANNELS @ 12" O.C - 2 HOUR RATED 8" CMU WALL CONS. SEE STRUCTURAL DWG 7 (2) HOUR RATED CMU W/ NO FINISH 7A (2) HOUR RATED CMU FINISH ON ONE SIDE OF CMU WALL SUBSTITUTE M.R.G.W.B AT WET WALLS 7B (2) HOUR RATED CMU FINISH ON BOTH SIDES OF CMU WALL SUBSTITUTE M.R.G.W.B AT WET WALLS 7C (2) HOUR RATED CONCRETE W/ NO FINISH 7D (2) HOUR RATED CONCRETE FINISH ON ONE SIDE OF CONCRETE WALL SUBSTITUTE M.R.G.W.B AT WET WALLS 7E (2) HOUR RATED CONCRETE FINISH ON BOTH SIDE OF CONCRETE WALL SUBSTITUTE M.R.G.W.B AT WET WALLS 7F (2) HOUR RATED CMU OR CONCRETE FINISH ON ONE SIDE OF WALL SUBSTITUTE RESILIENT CHANNEL WITH 5/8" G.W.B
 <p>UL Design No. U905</p> <p>STC: 55</p>	TYP. (1) HR. RATED CHASE PARTITION BASED ON IBC FIRE RESISTIVE CALCULATIONS, SECTION 722.6 - (1) LAYERS OF 1" THK DENIGLASS ULTRA SHAFTGUARD - 2 1/2" C-H SHAPED STEEL STUDS - 2x4 OR 2x6 STUDS PER PLANS, 16" OR 24" MAX - BATT INSULATION OR SOUND ATTENUATION BLANKETS R13 @ 2x4 WALL, R19 @ 2x6 WALL - R-1 RESILIENT CHANNEL - (1) LAYER 5/8" TYPE "X" G.W.B 8 TYPICAL (1) HOUR RATED INTERIOR CHASE PARTITION 8A TYPICAL (1) HOUR RATED INTERIOR CHASE PARTITION ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/AS.07 8B TYPICAL (1) HOUR RATED INTERIOR CHASE PARTITION SUBSTITUTE M.R.G.W.B AT WET WALLS
 <p>UL Design No. U905</p>	(1) HOUR RATED MECH./CORR. SEPARATION WALL - 5/8" TYPE "X" GYPSUM WALL BOARD - 2x4 OR 2x6 STUDS PER PLANS, SPACED 16" OR 24" - BATT INSULATION R13 @ 2x4 WALL, R19 @ 2x6 WALL - 5/8" TYPE "X" GYPSUM WALL BOARD - ADDITIONAL (1) LAYER OF FIBERGLASS REINFORCED PANELS 4" HIGH @ STORAGE, TRASH, ELE, OR MECH ROOM WALLS 9 UNIT/MECH SEPARATION WALL 9A UNIT/MECH SEPARATION WALL ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/AS.07 9B UNIT/MECH SEPARATION WALL SUBSTITUTE M.R.G.W.B AT WET WALLS 9C CORRIDOR/MECH SEPARATION WALL FIBERGLASS REINFORCED PANELS 9D UNIT/MECH SEPARATION WALL G.W.B ONE SIDE ONLY
BEARING WALL	(1) HOUR FIRE RATED
 <p>UL Design No. U941</p> <p>UL Design No. U941</p>	(1) HOUR FIRE RATED CONSTRUCTION PER U.I. DESIGN NO. U941 - 5/8" TYPE "X" GYPSUM WALL BOARD - 2x4 OR 2x6 STUDS PER PLANS, SPACED 24" MAX. - R-19 BATT INSULATION OR SOUND ATTENUATION BLANKETS - 1" AIR SPACE - 2x6 STUDS PER PLANS - R-19 BATT INSULATION OR SOUND ATTENUATION BLANKETS - 5/8" TYPE "X" GYPSUM WALL BOARD - ADDITIONAL (1) LAYER OF 5/8" TYPE "X" G.W.B. @ STORAGE, TRASH, ELE, OR MECH ROOM WALLS 10 UNIT / MECH SEPARATION WALL (1) HOUR RATED 10A UNIT / MECH SEPARATION WALL (1) HOUR RATED ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/AS.07 10B UNIT / MECH SEPARATION WALL (1) HOUR RATED SUBSTITUTE M.R.G.W.B AT WET WALLS 10C NOT USED 10D UNIT / MECH SEPARATION WALL (1) HOUR RATED G.W.B ONE SIDE ONLY SEE DETAIL: 50/AS.04 FOR OUTLET BOX & FIREBLOCKING REQUIREMENTS

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Professional Certification:
 I hereby certify that the documents were prepared or supervised by me or under my direct supervision and that I am a duly licensed professional architect under the laws of the state of Maryland.
 DANIEL MCCAULEY
 14394
 7/24/2019
 Professional Architect:
 License Number:
 Expiration Date:

THE MARTIN ARCHITECTURAL GROUP, P.C.
 ARCHITECTS AND LAND PLANNERS
 A PROFESSIONAL CORPORATION
 240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103
 P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY
 P.M.: JOSEPH MONAHAN
 DRAWN BY: TT
 PROJECT NO: 1826-05

NO.	REVISION	DATE

ISSUED FOR CONSTRUCTION THROUGH REV. X MM-DD-YYYY

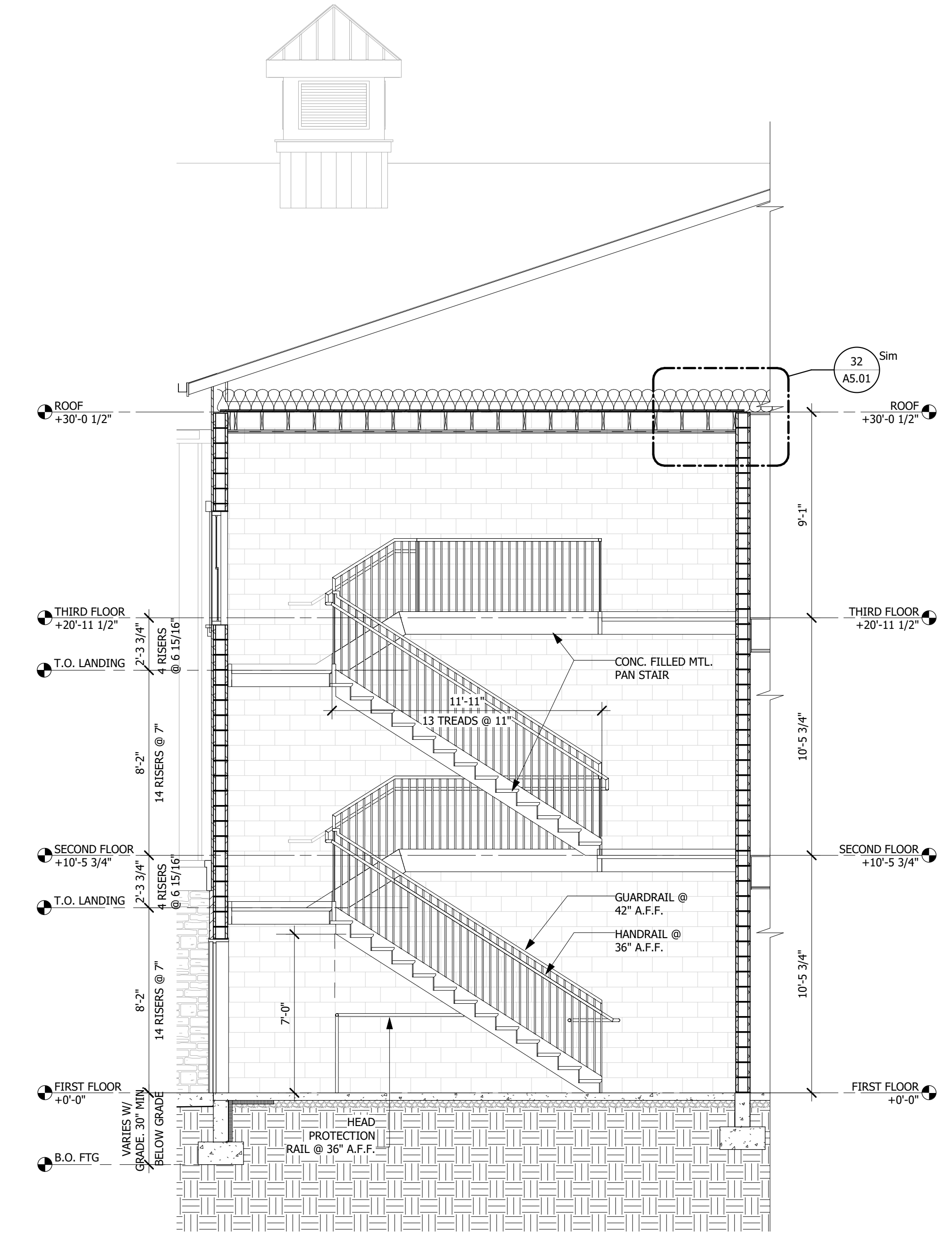
STAIR PLANS & SECTIONS
RAVEN'S NEST - APARTMENTS
 Building #
 Galloway Township, NJ 08205

SCALE: AS NOTED
 DATE: 12/31/2017

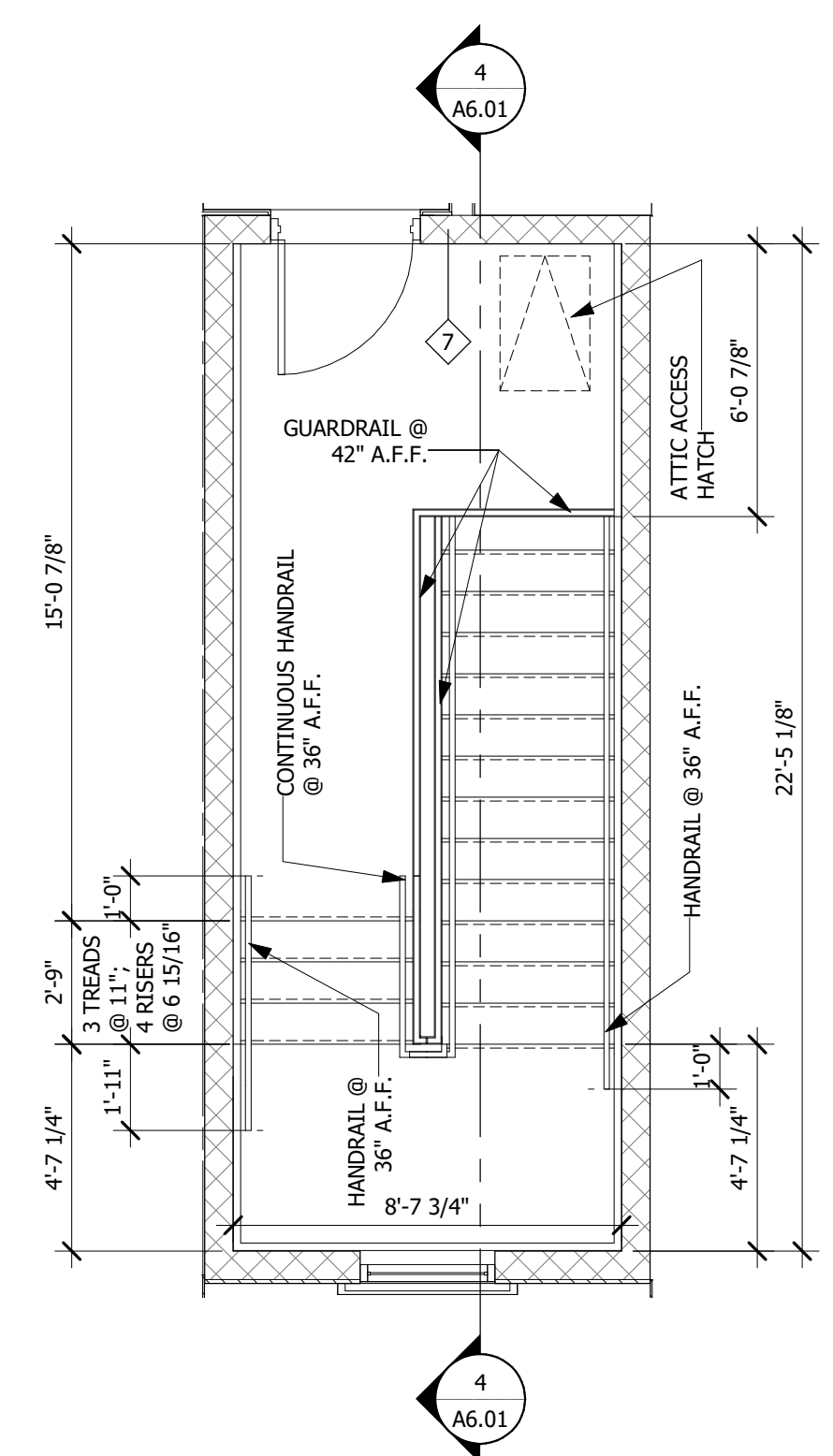
Building #

A6.01
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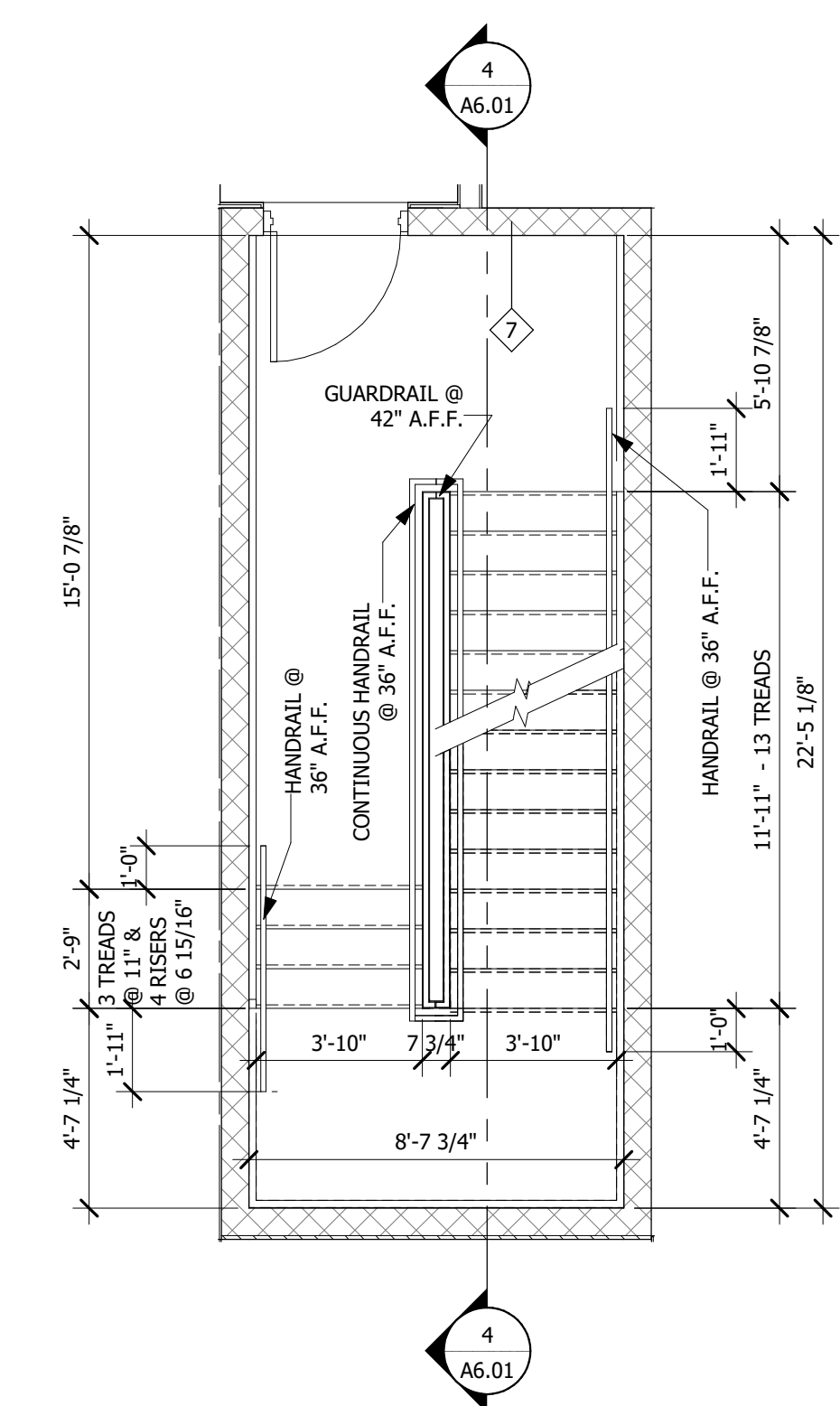
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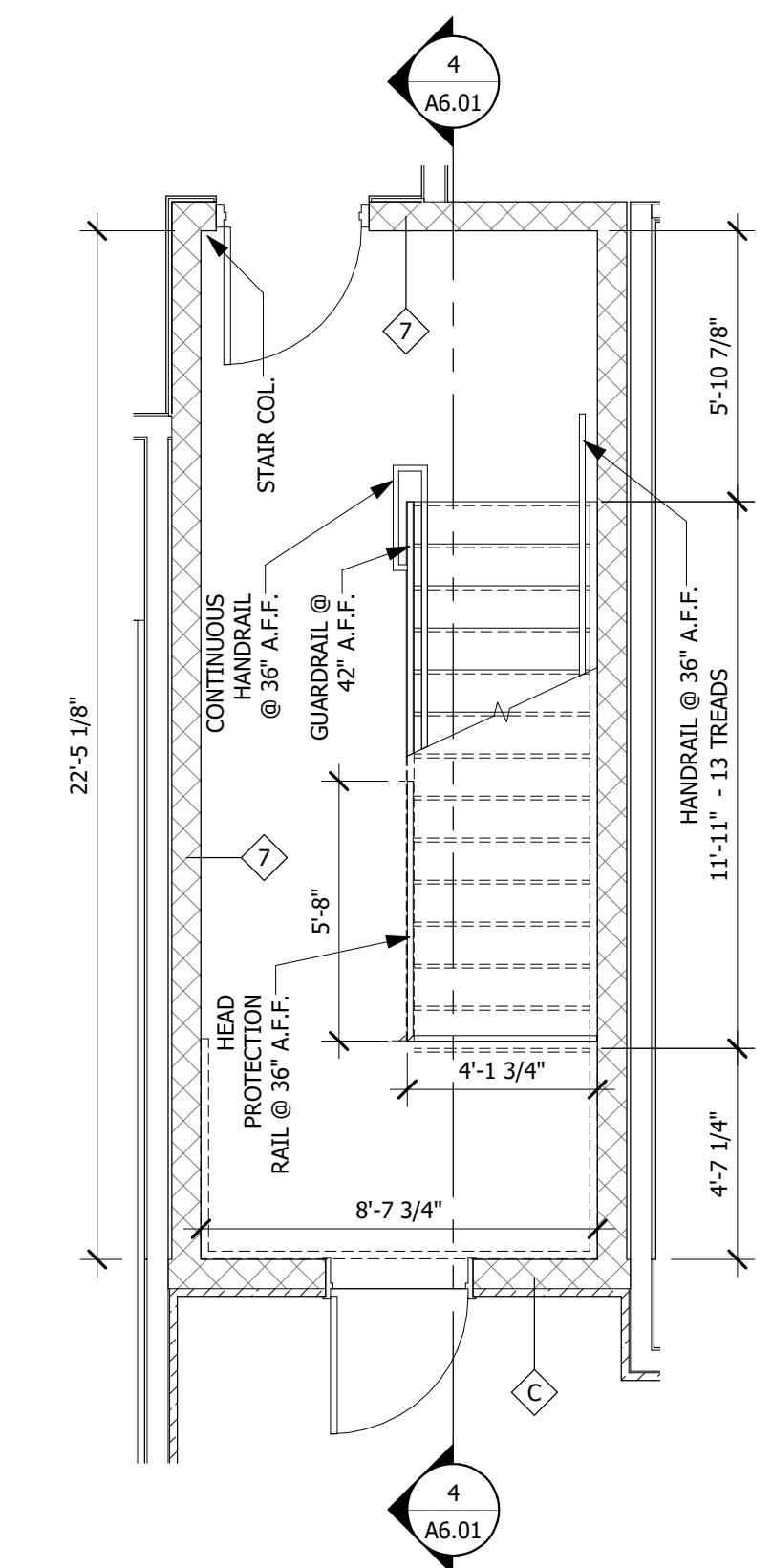
4 Stair Section #1
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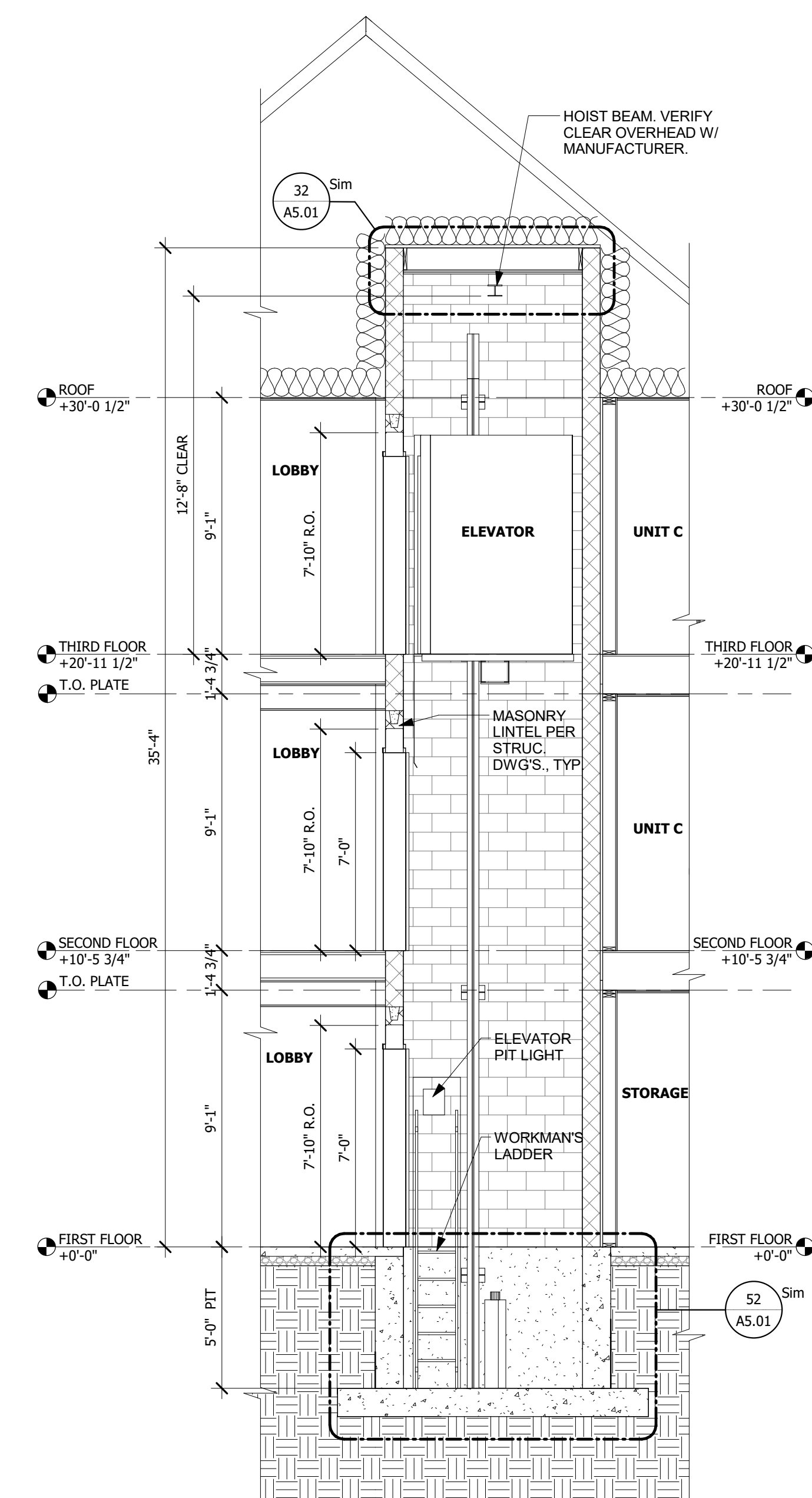
3 THIRD FLOOR STAIR PLAN
 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR STAIR PLAN
 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR STAIR PLAN
 SCALE: 1/4" = 1'-0"



1 Elevator Section
SCALE: 1/4" = 1'-0"

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ARCHITECTS AND LAND PLANNERS
A PROFESSIONAL CORPORATION
240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103
P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY
P.M.: JOSEPH MONAHAN
DRAWN BY: TT
PROJECT NO: 1826-05

NO.	REVISION	DATE

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MM-DD-YYYY

ELEVATOR AND TRASHCUTE PLANS & SECTIONS
RAVEN'S NEST - APARTMENTS
Building #
Galloway Township, NJ 08205

SCALE: AS NOTED
DATE: 12/31/2017

Building #
A6.02
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NO.	REVISION	DATE

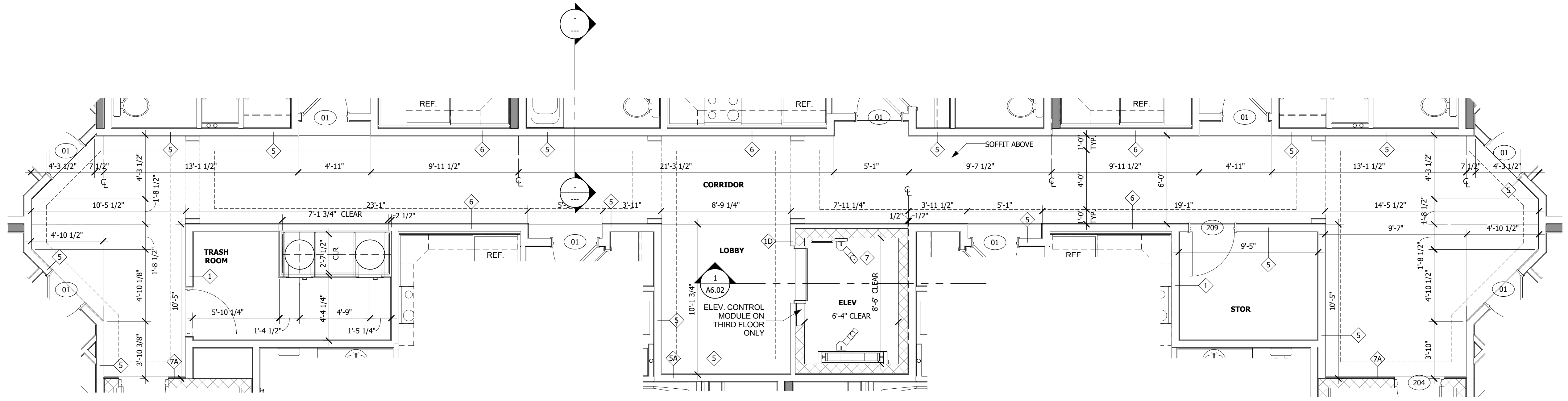
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COMMON AREA PLANS
RAVEN'S NEST - APARTMENTS
 Building #
 Galloway Township, NJ 08205

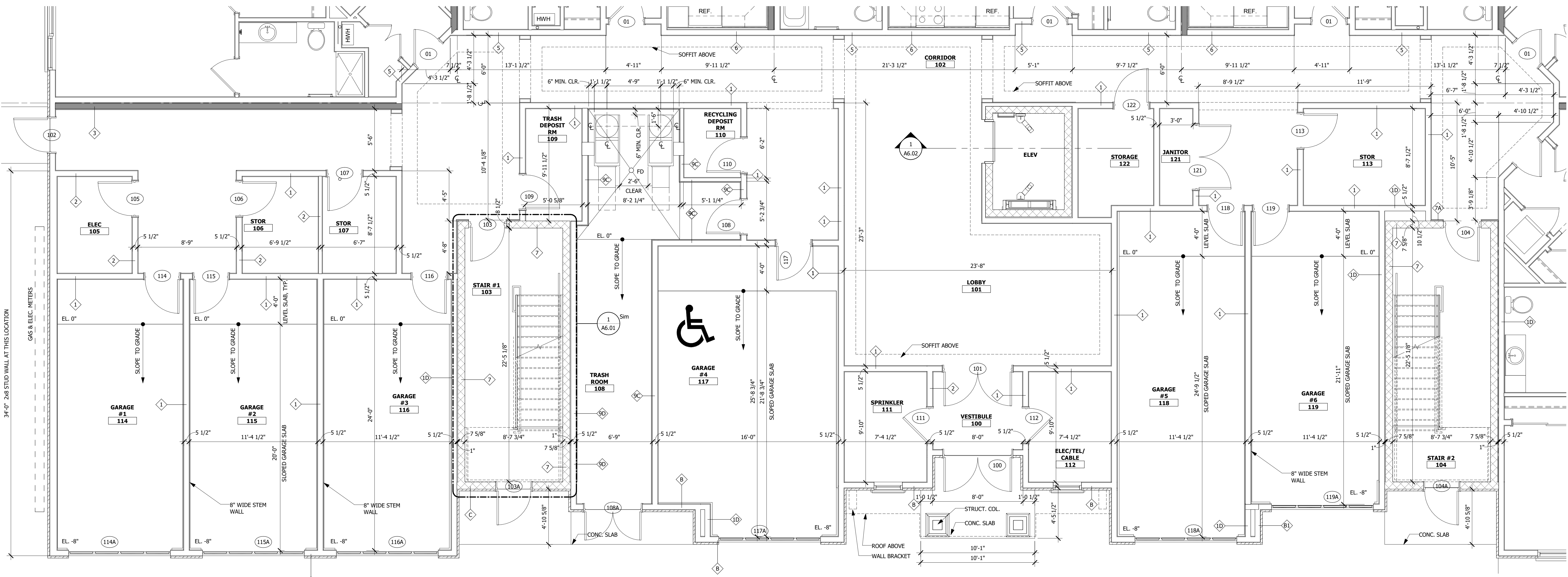
SCALE: AS NOTED
 DATE: 12/31/2017

Building #
A6.03
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- GENERAL NOTES**
- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE
 - ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
 - ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
 - ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOULD BE PRESSURE TREATED
 - REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
 - WHERE PRESSURE TREATED LUMBER IS USED ALL FASTENERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
 - AT RATED SEPARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
 - WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK
 - ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS



2 PARTIAL SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 PARTIAL FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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DANIEL MCCAULEY

Professional Architect:
NJ License Number:

THE MARTIN ARCHITECTURAL GROUP, P.C.
ARCHITECTS AND LAND PLANNERS
A PROFESSIONAL CORPORATION
240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103
P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY
P.M.: JOSEPH MONAHAN
DRAWN BY: TT
PROJECT NO.: 1826-05

NO.	REVISION	DATE

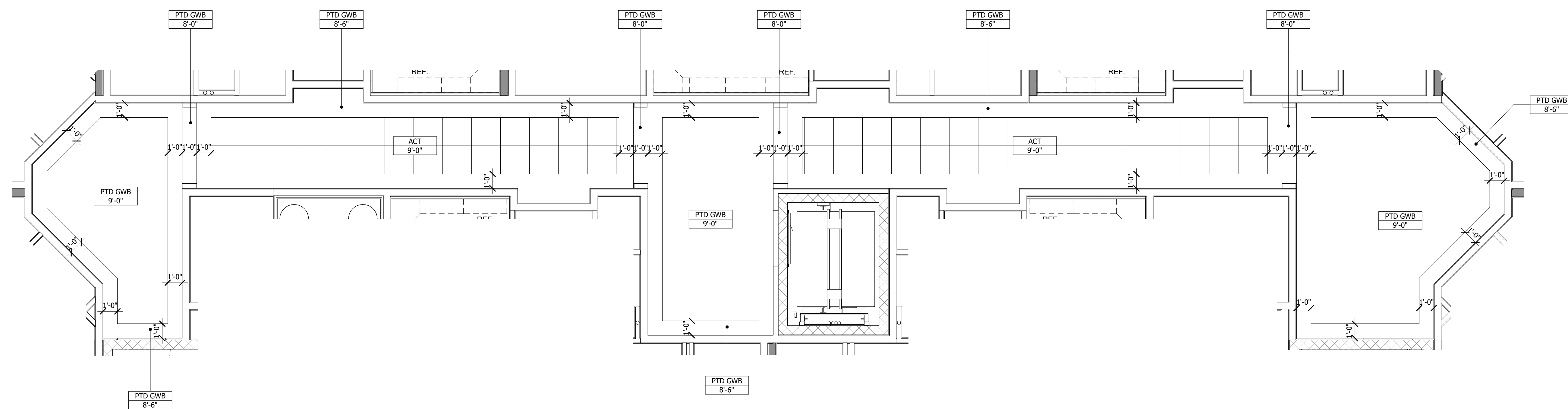
ISSUED FOR CONSTRUCTION THROUGH REV. x
MM-DD-YYYY

COMMON AREA RCP
RAVEN'S NEST - APARTMENTS
Building #
Galloway Township, NJ 08205

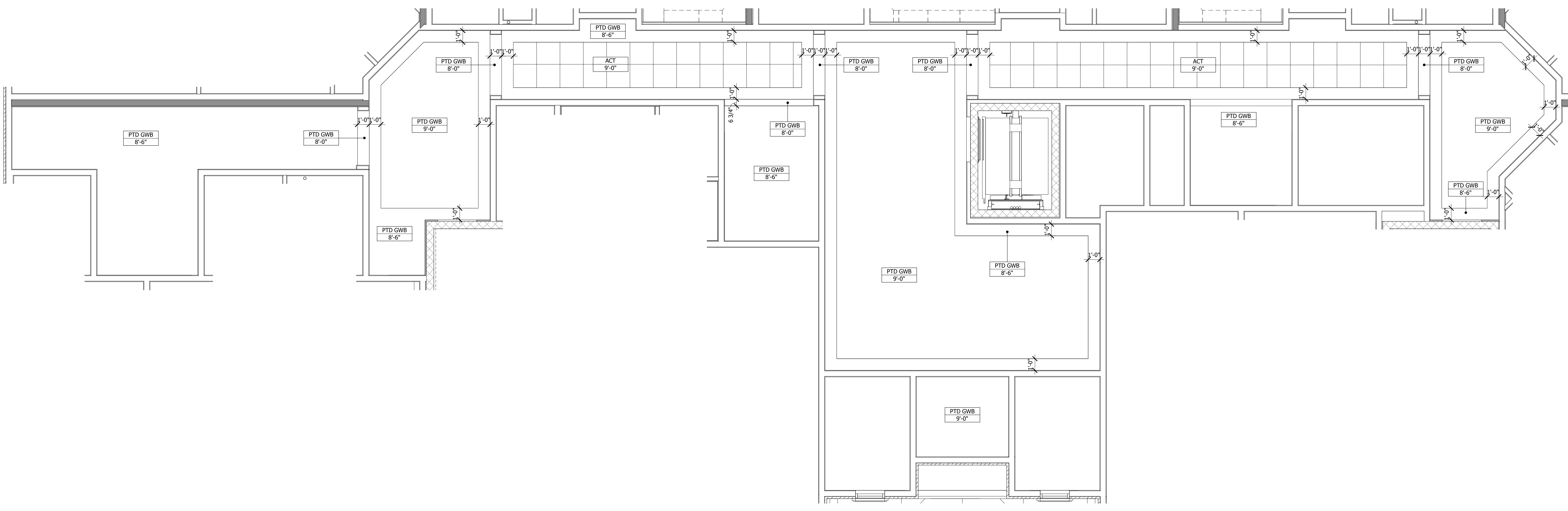
SCALE:
DATE: 01/30/18

Building #

A6.04
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2 PARTIAL SECOND & THIRD FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 PARTIAL FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

DOOR & FRAME SCHEDULE

Door							Frame		Remarks
Door #	Width	Height	Thickness	Construction Type	Door Type	Fire Rating	Frame Type	Frame Material	
100	6'-0"	6'-8"	1 3/4"	AA			F2	HM	VESTIBULE
101	6'-0"	6'-8"	1 3/4"	AA			F2	HM	LOBBY
102	3'-0"	6'-8"	1 3/4"	SR	A		F1	HM	STAIR #1
103	3'-0"	6'-8"	1 3/4"	HM	B	B-LABEL (1 1/2 hr)	F1	HM	STAIR #2
103A	3'-0"	6'-8"	1 3/4"	HM	B		F1	HM	STAIR #2
104	3'-0"	6'-8"	1 3/4"	HM	A		F1	HM	STAIR #2
104A	3'-0"	6'-8"	1 3/4"	HM	B		F1	HM	STAIR #2
105	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	ELECTRIC ROOM
106	3'-0"	6'-8"	1 3/4"	HM	A		F1	HM	
107	3'-0"	6'-8"	1 3/4"	HM	A		F1	HM	
108	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
108A	5'-0"	6'-8"	1 3/4"	HM	BB		F2	HM	
109	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
110	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
111	3'-0"	6'-8"	1 3/4"	HM	B		F1	WD	
112	3'-0"	6'-8"	1 3/4"	HM	B		F1	WD	
113	3'-0"	6'-8"	1 3/4"	HM	A		F1	HM	
114	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
114A	9'-0"	8'-0"					WD		OVERHEAD GARAGE DOOR
115	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
115A	9'-0"	8'-0"					WD		OVERHEAD GARAGE DOOR
116	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
116A	9'-0"	8'-0"					WD		OVERHEAD GARAGE DOOR
117	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
117A	9'-0"	8'-0"					WD		OVERHEAD GARAGE DOOR
118	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
118A	9'-0"	8'-0"					WD		OVERHEAD GARAGE DOOR
119	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
119A	9'-0"	8'-0"					WD		OVERHEAD GARAGE DOOR
121	5'-8"	6'-8"	1 3/4"	HM	AA		F2	HM	
122	3'-0"	6'-8"	1 3/4"	HM	A		F1	HM	
203	3'-0"	6'-8"	1 3/4"	HM	A	B-LABEL (1 1/2 hr)	F1	HM	
204	3'-0"	6'-8"	1 3/4"	HM	A	B-LABEL (1 1/2 hr)	F1	HM	
208	3'-0"	6'-8"	1 3/4"	HM	A	B-LABEL (1 1/2 hr)	F1	HM	
209	3'-0"	6'-8"	1 3/4"	HM	A		F1	HM	
303	3'-0"	6'-8"	1 3/4"	HM	A	B-LABEL (1 1/2 hr)	F1	HM	
304	3'-0"	6'-8"	1 3/4"	HM	A	B-LABEL (1 1/2 hr)	F1	HM	
308	3'-0"	6'-8"	1 3/4"	HM	A	B-LABEL (1 1/2 hr)	F1	HM	
309	3'-0"	6'-8"	1 3/4"	HM	A		F1	HM	

DOOR A **DOOR AA** **DOOR B** **DOOR BB** **DOOR C**

TYPE F1 **TYPE F2**

NOTES:

- SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL GLAZING SHALL BE TEMPERED SAFETY GLAZING WHERE APPLICABLE PER LOCAL BUILDING CODE.
- ALL DOOR HARDWARE TO BE COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- DOORS SHALL BE OPENABLE WITH NO MORE THAN ONE RELEASING OPERATION.
- PROVIDE HANDICAPPED ACCESSIBLE THRESHOLDS AT ALL DOORS.

DOOR/FRAME MATERIAL KEY:

EM	EXTERIOR METAL	WD	WOOD
HM	HOLLOW METAL	MTL	METAL
HC	HOLLOW CORE WOOD		
SC	SOLID CORE WOOD		
SR	STILE AND RAIL		

WINDOW SCHEDULE

Mark	Width	Height	Window Type	Glazing	Frame	Manufacturer	Comments
A	3'-0"	6'-0"	SH VIN	Double	Aluminum	MI	OVER KITCHEN SINK
B	2'-5"	4'-6"	SH VIN	Double	Aluminum	MI	INTERMEDIATE JAMB
C	6'-0 1/8"	6'-0"	SH VIN	Double	Aluminum	MI	INTERMEDIATE JAMB
E	6'-0 1/8"	5'-0"	SH VIN	Double	Aluminum	MI	INTERMEDIATE JAMB
F	3'-0"	5'-0"	SH VIN	Double	Aluminum	MI	
G	2'-4"	5'-0"	F VIN	Double	Aluminum	MI	

Window Type Key:
 F Fixed SH Single Hung DH Double Hung
 □ Single ■ Double □ Triple

Frame:
 □ Aluminum □ Wood ■ Vinyl

Manufacturer:
 MI Windows or equal

ROOM FINISH SCHEDULE

Numbr	Name	Floor Finish	Wall Finish	Ceiling Finish	Remarks
100	VESTIBULE				
101	LOBBY				
102	CORRIDOR				
103	STAIR #1				
104	STAIR #2				
105	ELEC				
106	STOR				
107	STOR				
108	TRASH ROOM				
109	TRASH DEPOSIT RM				
110	RECYCLING DEPOSIT RM				
111	SPRINKLER				
112	ELEC/TEL/CABLE				
113	STOR				
114	GARAGE #1				
115	GARAGE #2				
116	GARAGE #3				
117	GARAGE #4				
118	GARAGE #5				
119	GARAGE #6				
120	WATER/SEWER				
121	JANITOR				
122	STORAGE				
201	LOBBY				
202	CORRIDOR				
203	STAIR #1				
204	STAIR #2				
205	CLO				
208	TRASH ROOM				
209	STOR				
301	LOBBY				
302	CORRIDOR				
303	STAIR #1				
304	STAIR #2				
305	CLO				
308	TRASH ROOM				
309	STOR				

MATERIAL CODE

FLR./BASE	WALL	CEILING	MATERIAL GLOSSARY
1 CPT/WD	A GWB	1 GWB	CPT CARPET
2 VCT/WD	B HRS. GWB	2 HRS. GWB	CT CERAMIC TILE
3 CT/WD	C CT	3	CONC. CONCRETE
4 CT/CT	D WD PANEL	4	GWB GYPSUM WALL BOARD
5 T/WD	E BRICK	5	HR. GWB MOISTURE RESISTANT GWB
6 WD/WD	F 5/8" X GWB	6 5/8" X GWB	T TILE
7 CONC.	G	7	VCT VINYL COMPOSITION TILE
			WD WOOD

UNIT FINISH SCHEDULE

Name	Floor Finish	Wall Finish	Ceiling Finish	Remarks
BATH 1	4	B	6	9'-0"
BATH 2	4	B	6	9'-0"
BEDROOM 1	1	F	6	9'-0"
BEDROOM 2	1	F	6	9'-0"
BREAKFAST NOOK	6	F	6	9'-0"
FOYER	6	F	6	9'-0"
KITCHEN	6	F	6	9'-0"
LIN.	1	F	6	9'-0"
LIVING/DINING	1	F	6	9'-0"
LNDY	2	B	6	9'-0"
MASTER BATH	4	B	6	9'-0"
MASTER BEDROOM	1	F	6	9'-0"
WIC	1	F	6	9'-0"

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 Professional Certification: I am a duly qualified and duly licensed professional architect under the laws of the state of Maryland.
 Professional Architect: DANIEL McCAULEY
 License Number: 14394
 Expiration Date: 7/2/2019

THE MARTIN ARCHITECTURAL GROUP, P.C.
 ARCHITECTS AND LAND PLANNERS
 A PROFESSIONAL CORPORATION
 240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103
 P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL McCAULEY
 P.M.: JOSEPH MONAHAN
 DRAWN BY: TT
 PROJECT NO: 1826-05

NO.	REVISION	DATE

ISSUED FOR CONSTRUCTION THROUGH REV. X MM-DD-YYYY

SCHEDULES
RAVEN'S NEST - APARTMENTS
Building #
 Galloway Township, NJ 08205
 SCALE: AS NOTED
 DATE: 12/31/2017
Building #
A7.01
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Professional Certification: I hereby certify that the above documents were prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Maryland.

THE MARTIN ARCHITECTURAL GROUP, P.C. ARCHITECTS AND LAND PLANNERS A PROFESSIONAL CORPORATION
240 NORTH 22ND STREET, PHILADELPHIA, PA. 19103
P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY
P.M.: JOSEPH MONAHAN
DRAWN BY: MAG
PROJECT NO: 1826-05

Table with columns: NO., REVISION, DATE

ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

ACCESSIBILITY INFORMATION
RAVEN'S NEST - APARTMENTS
Building #
Gateway Township, NJ 08205

SCALE: AS NOTED
DATE: 12/31/2017

Building #

ACCESSIBILITY/ADAPTABILITY SPECIFICATIONS FOR DWELLING UNITS
TYPE "A" ONLY - Based on ICC / ANSI A117.1 - 2009 NJ EDITION
WITH NEW JERSEY AMMENDMENTS PER THE UNIFORM CONSTRUCTION CODE (N.J.A.C. 5:23) 2016 BARRIER FREE SUBCODE:
- CHAPTER 11 OF 1BC/2015 &
- NJAC 5:23-7

