

OWNER:

Davis Enterprises 8000 Sagmore Dr, Ste 8201 Mariton, NJ 08053 P: 856.985.1200 F: 856.985.9199 **Contact: Mitchell R. Davis** e: mdavis@davisenterprises.com

ARCHITECT: The Martin Architectural Group 240 N 22nd St, Philadelphia, PA 19103 P: 215.665.1080 F: 215.563.7818 **Contact: Dan McCauley** e: dmccauley@martinaia.com

RAVEN'S NEST - APARTMENTS

Galloway Township, NJ 08205

THE MARTIN ARCHITECTURAL GROUP, P.C. Philadelphia, Pennsylvania

Design Development November 22, 2017

STRUCTURAL AE:S ENGINEER:

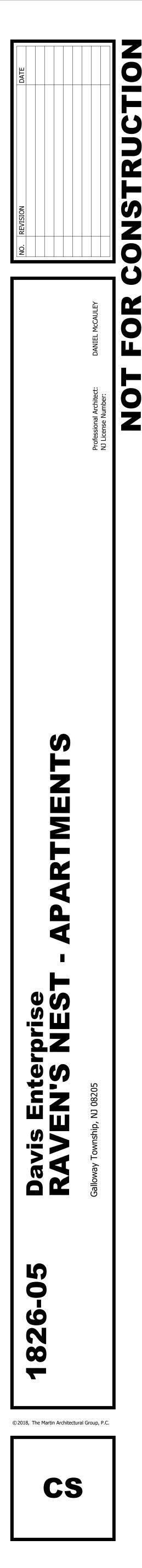
238 N 22nd St, Philadelphia, PA 19103 P: 215.561-5064 **Contact: Steve Kronenbitter** e: skronenbitter@ae-structure.com

MECHANICAL PE Services ENGINEER:

9 North Broadway, Lebanon, OH 45036 P: 513.836.3810 Contact: A.J. Meyer e: ameyer@pe-services.com

CIVIL **ENGINEER:**

Dixon Associates Engineering 335 East Jimmie Leeds Rd, 2nd Fl, Galloway, NJ 08205 P: 609.652.7131 Contact: Stephen Duda e: stephen.duda@dixonassociates.com



ARCHITECTURAL SYMBOLS LIST

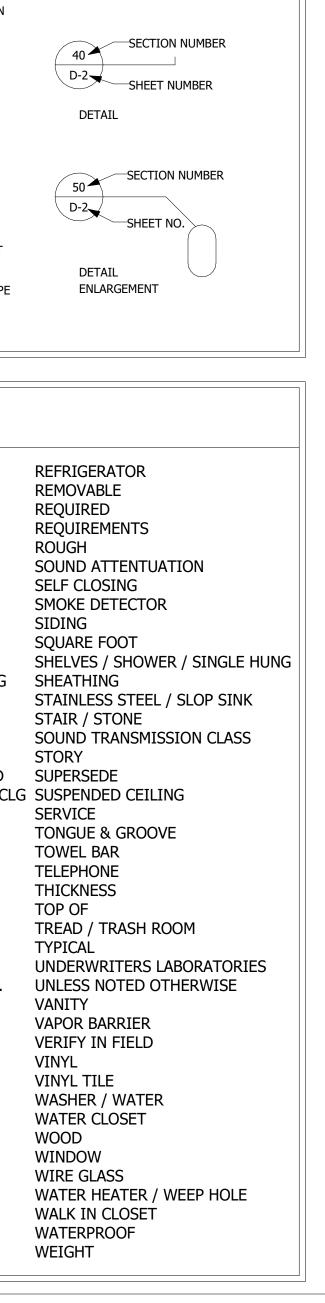
BRICK	STEEL	PLYWOOD: SMALL SCALE	DOOR SYMBOL
CONCRETE MASONRY UNIT	PLASTER CEMENT, SAND, GROUT	METAL: SMALL SCALE STRUCTURAL, FLASHING	WINDOW SYMBOL
CAST IN PLACE OR PRE-CAST CONCRETE	ROCK OR STONE	GYPSUM WALL BOARD	2 REVISION NUMBER
$\begin{array}{c} \circ & \circ & \circ \\ \circ & \circ & \circ \end{array} \text{LIGHT WEIGHT CONCRETE}$	CRUSHED STONE, GRAVEL OR POROUS FILL	STUCCO REINFORCED	
	CUT STONE, BLUESTONE, FLAGSTONE OR SLATE	RESILIANT FLOORING	UA-3 SHEET NO.
EARTH: UNDISTURBED	STONE: ROUGH-CUT OR RUBBLE	ETTER CARPET AND PAD	CPT. C.T. CHANGE OF FLOOR FINISH
EARTH: BACKFILL	WOOD: FINISH	CERAMIC TILE: LARGE SCALE	DATUM ELEVATION
BATT OR BLOWN INSULATION	WOOD: ROUGH	CERAMIC TILE: PROFILE	MATCH LINE
RIGID INSULATION	WOOD BLOCKING	GLASS: LARGE SCALE	(TB) TEST BORING (WP) WORK POINT (DP) DATUM POINT (CP) CONTROL POINT
METAL, ALUMINUM, ECT.	PLYWOOD: LARGE SCALE	GLASS: SMALL SCALE	(1) WALL PARTITION TYPE

			ABBRE	EVIA	TIONS	
AB	ANCHOR BOLT	ENGR	ENGINEER	L	LINEN / LEFT / ANGLE	REF
ABV	ABOVE	EXC	EXCAVATE	LAD	LADDER	REM
ACST	ACOUSTIC	EXP	EXPANSION	LD	LEADER DRAIN	REQD
ACT	ACOUSTICAL CEILING TILE /	EXT	EXTENSION	LDG	LANDING	REQS
	ACTUAL	FA	FIRE ALARM	LGTH	LENGTH	RGH
ADH	ADHESIVE	FBRK	FIRE BRICK	LT	LIGHT (PANE OF GLASS)	SA
AFF	ABOVE FINISHED FLOOR	FD	FLOOR DRAIN	LWC	LIGHTWEIGHT CONCRETE	SC
AGGR	AGGREGATE	FDC	FIRE DEPT. CONNECTION	MATL	MATERIAL	SD
AP	ACCESS PANEL	FDN	FOUNDATION	MAX	MAXIMUM	SDG
APP	APPROVED	FE	FIRE EXTINGUISHER	MC	MEDICINE CABINET	SF
ASPH	ASPHALT	FH	FIRE HOSE	MECH	MECHANICAL	SH
ASSEM	ASSEMBLE	FHC	FIRE HOSE CABINET	MFG	MANUFACTURING	SHTHG
ASSY	ASSEMBLY	FL	FLOOR / FLASHING	MFR	MANUFACTURER	SS
BB	BULLETIN BOARD	FP	FIREPLACE	MIR	MIRROR	ST
BC	BUILDING CODE / BROOM CL.	FPRF	FIREPROOF	MLDG	MOLDING	STC
BK SH	BOOK SHELVES	FPSC	FIREPROOF SELF-CLOSING	MO	MASONRY OPENING	STY
BLK	Block / Black	FR	FRONT	MRB	MOISTURE RESISTANT BOARD	SUPSD
BLKG	BLOCKING	FRMG	FRAMING	N/A	NOT APPLICABLE	SUSP CLO
В.О.	BOTTOM OF	FTG	FOOTING	NC	NON COMBUSTIBLE	SVC
BRCG	BRACING	GALV	GALVANIZED	NIC	NOT IN CONTRACT	T & G
BRK	BRICK	GB	GRAB BAR	NO	NUMBER	ТВ
BRKT	BRACKET	GC	GENERAL CONTRACTOR	OA	OVERALL	TEL
С	COURSE / CHANNEL	GL	GLASS	OC	ON CENTER	THK
CB	CATCH BASIN	GL BL	GLASS BLOCK	OCC	OCCUPANCY	Т.О.
CHG	CHANGE	GR	GRADE	OPG	OPENING	TR
CHK	CHECK	GWB	GYPSUM WALL BOARD	PAR	PARAPET / PARALLEL	TYP
CL	CENTERLINE / CLOSET	GYP	GYPSUM	P/C	POURED CONCRETE	UL
C/L	CENTERLINE	HB	HOSE BIBB	PIL	PILASTER	U.N.O.
CLKG	CAULKING	HC	HANDICAPPED	PL	PLATE / PLUG / PLACE	VAN
CS	CAST STONE	HD	HEAD	P/L	PLASTIC LAMINATE	VB
D	DRYER / DRAIN	HDW	HARDWARE	PLMB	PLUMBING	VIF
DH	DOUBLE HUNG	HDWD	HARDWOOD	PLYWD	PLYWOOD	VIN
DMPR	DAMPER	•	HEIGHT	PNL	PANEL	VT
DN	DOWN	HWH	HOT WATER HEATER	PT	PRESSURE TREATED / POINT	W
DP	DEEP / DEPTH	ID	INTERIOR DESIGNER /	PTD	PAINTED	WC
DR	DRAIN / DOOR		INTERIOR DIAMETER	QTY		WD
DS	DOWNSPOUT	INC	INCLUDED	R	RISER / ROUND / RIGHT / RANGE	WDW
DW	DISHWASHER	INSUL	INSULATION	R&S	ROD & SHELF	W GL
DWL	DOWEL	INT	INTERIOR	RATD	RATED	WH
ELEC	ELECTRICAL / ELECTRIC	JSTS	JOISTS	RCP	REFLECTED CEILING PLAN	W.I.C.
ELEV	ELEVATION / ELEVATOR	JT	JOINT	RD	ROOF DRAIN / ROUND	WP

	PROJECT DRAWING LIST	
SHEET NO.	SHEET NAME	LATE
01-ARCHITE	CTURAL	
CS	COVER SHEET	
A0.01 A0.02	GENERAL INFORMATION SHEET SPEC	
A0.02	CODE REVIEW	
A1.01	LIFE SAFETY PLANS	
A2.00	FOUNDATION PLAN	
A2.01 A2.02	FIRST FLOOR PLAN SECOND FLOOR PLAN	
A2.02	THIRD FLOOR PLAN	
A2.04	ROOF PLAN	
A2.10		
A2.11 A2.12	UNIT PLANS UNIT PLANS	
A2.12	UNIT PLANS	
A3.01	ELEVATIONS	
A3.02 A4.01	ENLARGED ELEVATIONS SECTIONS	
A4.01 A4.02	SECTIONS	
A5.01	DETAILS	
A5.02	DETAILS	
A5.03 A5.04	DETAILS DETAILS	
A5.04 A5.10	FIRE RATED ASSEMBLIES	
A6.01	STAIR PLANS & SECTIONS	
A6.02	ELEVATOR AND TRASHCUTE PLANS & SECTIONS	
A6.03 A6.04	COMMON AREA PLANS COMMON AREA RCP	
A6.05	STAIR AND ELEVATOR DETAILS	
A7.01	SCHEDULES	
A7.02	SCHEDULES	
A10.01 A10.02	ACCESSIBILITY INFORMATION ACCESSIBILITY INFORMATION	
A10.02	ACCESSIBILITY INFORMATION	
02-STRUCTU		
S2.01	FOUNDATION PLAN	
S2.02 S2.03	SECOND FLOOR FRAMING PLAN THIRD FLOOR FRAMING PLAN	
S2.04	ROOF FRAMING PLAN	
S5.00	GENERAL NOTES & SCHEDULES	
S5.01 S5.02	TYPICAL FOUNDATION DETAILS FLOOR FRAMING DETAILS	
	ROOF FRAMING DETAILS	
3-MECHANI	CAL	
M0.01	MECHANICAL COVER SHEET	
M0.02 M1.11	MECHANICAL COVER SHEET LEVEL 1 MECHANICAL PLAN	
M1.21	LEVEL 2 MECHANICAL PLAN	
M1.31	LEVEL 3 MECHANICAL PLAN	
M4.01	MECHANICAL UNIT PLANS	
M4.02 M5.01	MECHANICAL UNIT PLANS MECHANICAL DETAILS	
M6.01	MECHANICAL DETAILS	
04-PLUMBIN		
P0.01	PLUMBING COVERSHEET	
P1.11 P1.21	LEVEL 1 SANITARY PLAN	
P1.21 P1.31	LEVEL 2 SANITARY PLAN	
P2.11	LEVEL 1 WATER PLAN	
P2.21	LEVEL 2 WATER PLAN	
P2.31	LEVEL 3 WATER PLAN	
P4.01 P4.02	SANITARY AND VENT UNIT PLANS SANITARY AND VENT UNIT PLANS	
P5.01	PLUMBING DETAILS	
P6.01 05-ELECTRIC	PLUMBING SCHEDULES CAL	
E0.01	ELECTRICAL COVERSHEET	
E1.11	GROUND FLOOR LIGHTING PLAN	
E1.21 E1.31	2ND FLOOR LIGHTING PLAN 3RD FLOOR LIGHTING PLAN	
E1.31 E2.11	GROUND FLOOR POWER PLAN	
E2.21	2ND FLOOR POWER PLAN	
E2.31	3RD FLOOR POWER PLAN	
E4.01 E4.02	TYPICAL UNIT PLANS TYPICAL UNIT PLANS	
E4.02 E5.01	ELECTRICAL DETAILS	
E5.02	ELECTRICAL DETAILS	
E6.01	LIGHTING SCHEDULES	
E6.02	PANELS SCHEDULES, SUMMERIES, & RISERS	1

Building Information								
Floor Area	Residential	Garage	Storage	Commo				
FIRST FLOOR								
12,631 SF	7,256 SF	2,081 SF	297 SF	2,995 9				
SECOND FLOOR								
12,601 SF	11,007 SF	0 SF	62 SF	1,532 \$				
THIRD FLOOR								
12,601 SF	11,007 SF	0 SF	62 SF	1,532 9				
37,834 SF	29,270 SF	2,081 SF	421 SF	6,060 \$				

Unit Matrix								
Unit Type	Number	Heated Area	Balcony Area	Total Area	Bedroo			
А	3	1,392 SF	36 SF	1,428 SF	2			
A1	8	1,424 SF	38 SF	1,462 SF	2			
В	3	1,171 SF	45 SF	1,216 SF	2			
С	4	1,128 SF	49 SF	1,177 SF	2			
D	6	951 SF	59 SF	1,010 SF	1			

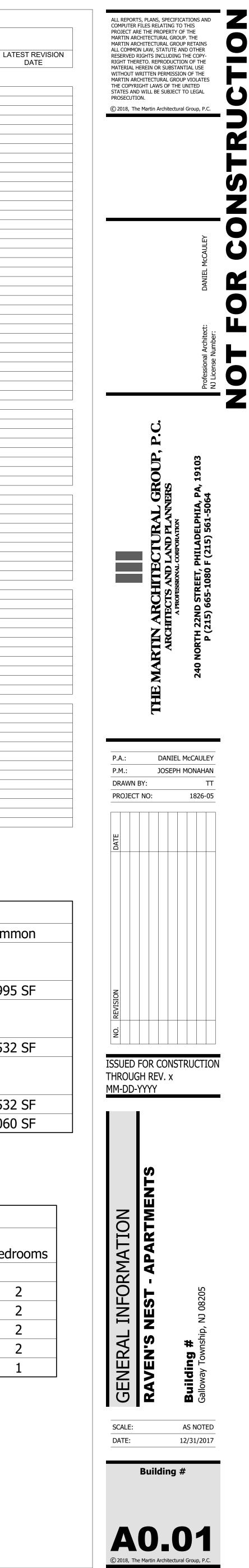


SECTION NUMBER

UA-3_____SHEET NUMBER

BUILDING SECTION

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1. GENERAL CONDITIONS

- 1.1. All codes having jurisdiction shall be observed strictly in the construction of the project, including all applicable state, city and county building, zoning, electrical, mechanical, plumbing and fire codes. Contractor shall verify all code requirements before commencement of construction and bring any discrepancies between code requirements and the construction documents to the attention of the Architect.
- 1.2. Contractor and Owner shall become familiar with all applicable accessibility codes, laws, and standards which apply to the project. Contractor shall verify and coordinate all accessibility requirements with owner and architect before commencement of construction, and bring any discrepancies between code requirements and the construction documents to the attention of the Architect.
- 1.3. Details and sections on the drawings are shown at specific locations and are intended to show general requirements throughout. Details noted "typical" imply all conditions treated similarly. Modifications to be made by contractor to accommodate minor variations. If materials, quantities, strengths or sizes indicated by the drawings or specifications are not in agreement with these notes, the better quality and/or greater quantity, strength or size indicated, specified or noted shall be provided.
- 1.4. All drawings shall be fully coordinated by contractor to verify all dimensions, locate depressed slabs, slopes, drains, outlets, recesses reglets, bolt settings, sleeves, etc.
- 1.5. The contractor shall verify and protect all service lines and existing site area from deterioration or damage.
- 1.6. The Architect/Engineer shall not be responsible for the safety and construction procedures, techniques, or the failure of the builder to carry out the work in accordance with the drawings or the required codes.
- 1.7. Contractor shall obtain all necessary building permits.
- 1.8. Contractor shall bring errors and omissions which may occur in Contract Documents to the attention of the Architect in writing and written instructions shall be obtained before proceeding with the work. The Contractor will be held responsible for the results of any errors, discrepancies or omissions in the Contract Documents, of which the Contractor failed to notify the Architect before construction and/or Fabrication of the work. Architect or engineer shall respond in a reasonable time.
- 1.9. The Contractor and Subcontractor shall verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of the work.
- 1.10. Contractors shall maintain the premises clean and free of all trash, debris and shall protect all adjacent work from damage, soiling, paint overspray, etc. All fixtures, equipment, glazing, floors, etc., shall be left clean and ready for occupancy upon completion of the project.
- 1.11. Shop drawings are required for structural, mechanical, electrical and specialized construction. Shop drawings shall be submitted to the Architect for review for conformance with the design concept of the work. In areas where the drawings do not address methodology, the Contractors shall be bound to perform in strict compliance with the manufacturer's specifications and/or recommendations.
- 1.12. All manufacturer's printed warnings for handling of products must be strictly observed. The words "or equal" are to be assumed whenever a specific manufacturer is noted.
- 1.13. All codes, trade standards, and manufacturer's instructions referenced in the Contract Documents shall be the latest edition.
- 1.14. The contractor shall make no structural changes without written approval of the Architect/Engineer. The contractor shall provide shop drawings for all main framing members for review prior to starting work. Shop drawings shall detail all connections, welds, fasteners, sizes, lengths, locations, quantities, etc. For design of live loads see structural general notes. In case of conflict between the drawings and specifications, the specifications shall take precedence. In case of conflict within the drawings, the larger scale drawing shall take precedence.
- 1.15. Site Amenities such as trash enclosures on the site must comply with all applicable Accessibility Codes.

2. <u>SITE WORK</u>

- 2.1. Perform all work in this section in conformance with the Final Soils Compaction, Geological Reports and approved site grading plans as accepted by Owner and Building department. In the absence of the necessary subsurface survey, the developer shall hire a licensed soil engineer to investigate the site, and submit a report of this work to the Architect. If a discrepancy from the presumed soil bearing capacity exists, contractor shall not place foundations without written instructions from the Architect/Engineer.
- 2.2. Foundation design is based on an allowable bearing pressure of 3000 psf. All concrete footings shall bear on undisturbed soil or engineered fill. Bottoms of footings shall be 3'-0" below finish grade (min).
- 2.3. No excavations shall be made whose depth below the footing is greater than 1/2 the horizontal distance from the nearest edge of the footing.
- 2.4. All backfill at structures, slabs, steps and pavements shall be clear granular fill. Place in 8" layers and compact to 95% maximum dry density determined in accordance with ASTM D 1557. Building site shall be kept dry so that erosion will not occur in the foundations.
- 2.5. Backfill at lawns and unpaved areas shall be free of clay, rock or gravel larger than 2" in any direction, debris, vegetable matter, waste and frozen materials. Place in 12" layers and compact to 90% maximum density in accordance with ASTM D 1557.
- 2.6. All footings shall be centered under the column or wall above unless noted otherwise.
- 2.7. Backfill against wall shall be placed evenly on both sides of the wall unless the wall is fully braced by the contractor for the lateral pressure. Such bracing, including its design, is the sole responsibility of the contractor and shall remain in place until after the floor slab or other structural element bracing the wall has been constructed.
- 2.8. Do not backfill until walls have cured or are properly braced.
- 2.9. Excavations at steep slope bank area to be no greater than 3'-0" beyond new footing line.
- 2.10. The general contractor must take measures to control soil erosion of steep bank during construction. When new construction is complete, the general contractor shall re-grade disturbed bank areas back to natural state and replant suitable vegetation to prevent erosion.
- 2.11. Final Grade around building shall have a 1/4" per foot positive slope away from the building for a minimum of 8"-0".
- 3. <u>CONCRETE</u>
- 3.1. All reinforced concrete shall be furnished and installed in accordance with the current ACI-318 "Building Code Requirements for Reinforced Concrete." Reinforcing details shall

- conform to "Manual of Standard Practice for detailing Reinforced Concrete Structures" AC1 315.
- 3.2. All concrete shall have a minimum 28-day compressive strength3.2.1. footing and foundation walls = 3,000 psi
- 3.2.2. Interior slabs on grade = 3,500 psi
- 3.2.3. Slabs exposed to weather and garage slabs shall be air entrai
- 3.3. Reinforcing steel shall conform to ASTM-A615 Grade 60. Welded
 W1.4 x W1.4 and conform with ASTM A-185.
- 3.4. In on-grade concrete slabs the W.W.F. reinforcement shall be loca thickness. Lap WWF minimum 8" unless noted otherwise on plans
- 3.5. All concrete shall have a slump of 4" plus or minus 1". Concrete of shall have 4% to 8% air entrainment, and a maximum water / Concrete not exposed to freeze thaw shall have 2% to 4% air ent water / cement ratio of 0.56
- 3.6. Provide concrete reinforcing bars at all footing locations. Bars sha with a minimum of 3" concrete cover unless noted otherwise on pl
- 3.7. Provisions must be taken to protect all concrete work from frost of attention paid to footings and other on-grade construction prior to the building.
- 3.8. Anchor bolts shall be galvanized 1/2" diameter (min.) 7" embedd embedded for CMU walls. Placement of anchor bolts shall be 4'-0 intermediate spacing, minimum 2 bolts per plate section, 12" (min
- 3.9. Provide 10 mil polyethylene vapor barrier membrane complying v slabs where indicated on drawings.

4. MASONRY

- 4.1. All masonry work shall be in accordance with "Building Code Requ Construction". AC1 530 and "Specifications for Masonry Construct
- 4.2. All hollow load-bearing block to conform to ASTM C90, grade N, compressive strength of 2000 psi. (f'm=1500 psi) Mortar shall be type S (above grade), conforming to ASTM C270. Course grout s C476 with a maximum aggregate size of 3/8" and a minimum compsi.
- 4.3. Fill CMU cells with grout solid at top of walls, cells to receive expa solid first course below change in wall thickness.
- 4.4. Horizontal wall joint reinforcement shall be standard ladder or tru equal at 16" o.c., unless shown otherwise on the drawings.
- 4.5. Provide a minimum of 3 courses high by 2 courses wide grouted s bearing points.
- 4.6. Provide precast concrete lintels over all openings unless noted of sufficient size and reinforcement for spans and loadings. Submit load capacities to architect for review.
- 4.7. Non-bearing veneer walls shall be set in Portland Cement mortar is strength (f'm) 3,000 psi. Masonry veneer anchors, provide two-pie consisting of galv. wire tie section and galv. metal anchor at 16" C O.C. horizontal max. Install flashing at all lintels and headers as n drawings. Color and material selection by Architect and/or Owner
- 5. <u>METALS</u> Not Used

6. WOOD AND PLASTICS

- 6.1. All woods and wood construction shall comply with specifications as specified herein:
- 6.1.1. American Institute of Timber construction: (Standards Manua
 6.1.2. American Forest and Paper Association: National Design Spectruction.
- 6.1.3. Southern Pine Inspection Bureau: Standard grading rules for 6.1.4. Truss Plate Institute: Design Specifications for Light Metal Pl
- Trusses (TPI-95).
- 6.1.5. American Plywood Association: Guide to plywood for floors, and roofs.
- 6.1.6. American Wood Preservers Association Standards.
- 6.2. All structural lumber shall be Hem Fir #2 (minimum) stress grade l otherwise. Non-loadbearing studs shall be stud grade.
- 6.3. All structural lumber shall be stamped in accordance with the Ame Construction's "Construction Manual".
- 6.4. All LSL rim boards shall be as manufactured by the TrusJoist Complans.
- 6.5. All Parallam (P.S.L.) beams shall be as manufactured by the Trust and shall have the following properties: Fb = 2,900 psi, Fv = 290 p
- 6.6. PREFABRICATED WOOD TRUSSES
- 6.6.1. Prefabricated wood trusses shall be designed in accordance Specification for Stress Grade Lumber and its Fasteners" as American Forest and Paper Assoc.
- 6.6.2. All prefabricated wood trusses shall be securely fastened to the hurricane clips or anchors per drawings.
 6.6.3. Truss members and connections shall be proportioned (with a stress increase for load duration of 15%) to withstand the live
- and total dead load.
 6.6.4. The Contractor shall approve fabrication and installation draw and layout prior to submittal to the Architect and before fabric
- 6.6.5. Bridging for pre-engineered trusses shall be as required by the unless noted on plans.6.6.6. All misc. wood framing shown on structural drawings shall be
- allowable stress in bending of 875 PSI and a Modulus of Elast 6.6.7. Contractor shall maintain on the site two sets of approved trus
- calculations, sealed by the Engineer. One set shall be provide at the time of his framing inspection.
- 6.6.8. Truss manufacturer shall submit shop drawings and design no seal for approval by the Architect. Design notes to include the the connectors used to secure the members, certification of th and manufacturers license to fabricate trusses utilizing the cornector shall be registered in state of the project. Shop draw following items:
- 6.6.8.1. Drafted plan lay-outs identifying all trusses.
- 6.6.8.2. Calculations for load determination on trusses, giving unifor otherwise) and/or point loads

ed Concrete Structures" AC1	 6.6.8.3. Truss configuration drawing giving stresses on all members, reactions at supports and stresses on all members including plates. 6.6.9. For DESIGN LOADS for wood trusses see structural general notes. 	 7.8.3. Starter shingle. Lace Valleys provide two (2) layers No. 15 organic felt., or flashing per NRCA Steep Research
h of:	6.7. Hangers, framing anchors and fasteners: Provide and install stamped and fabricated steel	7.9. Enclosed attic spaces and roof rafters sha
trained = 3,000 psi	of the type indicated as required. Nails to be those recommended by manufacturer for this specific use. Nails shall be fully driven in all holes in the anchor. "Simpson", "USP" or "Mitek" conforming to the requirements indicated shall be provided. All hangers and anchors	by ventilating openings protected against areas shall be not less than 1/150 of the with corrosion resistant mesh with openin
led wire fabric shall be 6 x 6	shall be galvanized. All trusses to receive hurricane anchors at all bearing points.	vents are used, 1/2 of openings shall be a soffit vents. EXCEPTION: reduce area to
ocated midway in the slab ans.	6.8. Install pressure treated lumber where lumber is in contact with concrete or masonry, or is exposed to weather. Comply with applicable requirements of National Evaluation Report NER-643 for ACQ (Alkaline Copper Quat). After treatment, kiln dry to a moisture content of 19%-15%. All pressure treated lumber is noted on the drawings as P.T. All fasteners and other metals in contact with the treated wood must be stainless steel or hot-dipped	permeance not exceeding 1 perm is insta vents in the upper 1/3 of the attic area. 7.10. Provide and install a 6mil polyethylene va where shown on the drawings.
e exposed to freeze thaw cement ratio of 0.50.	galvanized steel. All unprotected exterior connectors shall be stainless steel.	7.11. Siding: provide siding type as indicated o
entrainment, and a maximum	6.9. All headers at bearing conditions shall be sized as shown on plans.6.10. All headers at interior non-bearing conditions shall be sized as indicated in the following	by Owner/Architect from manufacturers s required for a complete wall covering sys products as follows: .1 Fiber Cement sidi
shall be (2) #4, at the bottom n plans.	table, unless noted otherwise: <u>Opening Size</u> up to 6'-0" (2) 2x6	Type A. HardiePanel" or MDO panels2 boards/sheets by "James Hardie" or Bora
t damage with special to backfilling and enclosing	6'-0" to 7'-0" (2)2x8 see plans for spans greater than 7'-0"	7.12. Firestopping: all penetrations of rated ass with firestopping systems that are produc passage of smoke and other gases. Prov location and detailing of all firest rating shall meet ASTM E 814. Provide s
edded for concrete walls - 15" 4'-0" O.C. (max.) nin.) from plate end.	6.11. Provide solid blocking under all point loads, posts, and columns. Carry all posts and columns down to foundation or beam. Blocking shall be same size as post above.	as determined per ASTM E 119. Firestop rating of 25, and smoke-developed value
y with ASTM D-2103 under	 6.12. Structural panels: All structural panels shall be classified with the appropriate trademark of APA, and shall meet the requirements of the latest edition of Voluntary Product Standard PS 1, Voluntary Standard PS2, or APA PRP-108 Performance Standards. 6.12.1. Roof sheathing shall be APA rated 7/16" exterior grade exposure 1 Oriented Strand Board. Provide panel-clips at mid-span for spans greater than 16" o.c. 	7.13. Provide and install gutters and downspou manual, in "rectangular" style, in sizes ind welded corners. Include steel straps or si Owner/Architect for approval. formed fror Hangers, fastened joints and o
equirements for Masonry truction" ACI 530.1	 6.12.2. Floor sheathing shall be APA rated 3/4" sturdi-floor Tongue & Groove exposure 1, Oriented Strand Board, glued and nailed. Adhesives conforming with APA Specification AFG-01 or ASTM D3498 shall be used. 6.12.3. Wall sheathing shall be APA rated 7/16" exterior grade exposure 1 Oriented Strand Board. 	end plates, and other trim and accessorie Gutters shall drain as specified in the civi drainage shall be provided with plastic sp from structures and walking surfaces.
I, Type 2, with a min. net be type M (below grade), or	6.13. Fireblocking: provide per code requirements and as indicated. Fireblocking consists of	7.14. Provide and install Joint sealers to comply
t shall conform to ASTM compressive strength of 3,000	non-combustible materials, 2" nominal lumber, or as indicated on drawings. Provide at concealed wall spaces at ceiling, floor, and roof levels, between horizontal and vertical spaces, at top and bottom of stairs, and concealed spaces of architectural elements every 20'-0" o.c.	applicable to products and applications in Elastomeric Sealant: ASTM C920 Solven Sealant: ASTM C790 Acoustical Sealant: ASTM C 1193 for use of joint sealants as
pansion anchors, and fill	6.14. Engineered Wood products: provide products as indicated on drawings and which shall comply with ASTM D 2559. Products shall conform to current model code organization evaluation / research reports for which reports exist that evidence of compliance with	conditions of the project. Provide Owner/ and details for all sealant conditions for th follows but not limited to: Control and Exp firestopping), between dissimilar material
russ type "Dur-O-Wal" or	specified requirements for application indicated and building code in effect for this project. 6.15. Draftstop: 1/2" G.W.B.; 3/8" wood panel; 3/8" particleboard; 1" nominal lumber cement fiberboard; batts or blankets of mineral wool or fiberglass.	7.14.1. At exterior caulk joints, unless noted of caulk w/ backer rod with 20% compresentation.
d solid masonry at beam	7. THERMAL AND MOISTURE PROTECTION	8. DOORS AND WINDOWS
otherwise. Lintels shall be hit shop drawings with rated	7.1. Install flashing and sheet metal in compliance with "Architectural Sheet Metal manual" by SMACNA. Choose from the following products and submit a schedule and details to the Owner / architect for review:	8.1. Submit product data and literature to Owr selections for manufacturer, styles, colors
ar type SW, compressive piece adjustable unit	7.1.1. Factory painted aluminum flashing: shall conform to ASTM B 209, 3003-H14, and be a min. of .040 (20 gauge) thick sheet.	selection and schedule. Install all product recommendations as indicated. Submit in
" O.C. vertical max. and 16" s noted in Division 7 and/or ner.	 7.1.2. Stainless steel sheet: ASTM A 167, type 304, soft annealed, with no. 20 finish, except where harder temper is required, min. 0.0187 in. thick, unless noted otherwise. 7.1.3. Galvanized steel sheet: ASTM A526, G90, hot-dip galvanized steel sheet with 0.20 % copper, mill phosphatized where indicated for painting, not less than 0.0396 in. thick, unless noted otherwise. 7.1.4. Copper: ASTM B370, temper H00, cold rolled except where temper 060 is required for forming, not less than 16 oz./sq.ft. 	8.2. Steel Doors and frames: provide doors an Recommended Specification for Standard rated door assemblies shall comply with I listed by UL or another approved testing a materials per ASTM 525, 1 3/4-inch-thick seamless design.
	7.1.5. QuickFlash, flashing panels to be used at all plumbing, electrical and HVAC penetrations.7.2. At masonry veneer: Thru-wall flashing with weep holes and end damming shall be installed	8.3. Wood Doors: provide wood doors as indic doors where indicated in compliance with
ns and codes modifications	at all penetrations through the wall cavity. 7.2.1. Extend flashing a minimum of 6" past the openings (sills and lintels) with a minimum of 2" vertical end dam (in the next, adjacent head joint in masonry.)	indicated in compliance with ANSI/NWWI 8.4. Sliding Vinyl doors: Provide sliding doors
ual).	 7.2.2. The vertical termination of the flashing must be overlapped by the building wrap, or sealed with a continuous tape of self-adhering bituminous flashing tape. (Such as "VycorPlus" by W.R.Grace or equal.) 7.0.2. We are install a minet flashing. Ensuring the string bituminous flashing to 0. Install a 	specification, ASTM E 331 for water infiltr ASTM E 283 for air infiltration. Provide s manufacturer.
for Southern Pine Lumber.	7.2.3. Weeps: install against flashing. Provide vertical joint vent, (24" O.C.) Install a standard head joint vent @ 24" O.C. at 2nd course above flashing, and at top of cavity wall to allow proper air movement for water vapor escape.	8.5. Sectional Overhead doors: Provide garag
Plate Connected Wood	7.3. Factory back paint metal flashings with bituminous paint where expected to be in contact with cementitious materials or dissimilar metals.	quality carbon steel sheets complying wit accessories. Provide style(s) as indicated 8.5.1. Where overhead door openings are p
le lumber unless noted	7.4. Provide and install flashing at all roof to wall conditions, projections of wood beams through exterior walls, exterior openings, and elsewhere as required to provide watertight/weatherproof performance.	on vibration isolators for sound attenu engineered, fabricated, and installed loading, and impact loading without fa infiltration, both ASTM E 331 and AS
merican Institute of Timber	7.4.1. Plumbing and vent penetrations through wall must be flashed with metal flashing, or a self-adhering flashing membrane. "Quick flash" flashing system is acceptable.7.4.2. All flashings shall have end dams at flashing terminations.	for structural performance. Testing si infiltration, water penetration, and stru performance class of window units re
	7.5. Rubberized Asphalt sheet flashing - 40 mil thickness (thru-wall flashing), per ASTM D 412 tangile strength: ASTM D 1070 Low temp flavibility; and ASTM D 1004 & 1028 for Tear	8.6. Contractor to provide shop drawings on a Owner/Architect approval.
company. See structural	tensile strength: ASTM D 1970 Low temp flexibility: and ASTM D 1004 & 1938 for Tear Resistance. Install per manufacturers installation instructions. Acceptable product: Perm-A-Barrier wall flashing by Grace construction products.	8.7. Glazing in locations which may be subjec glass entrances and exit doors, fixed glas enclosures, and storm doors shall meet t
rusJoist Macmillan Company, 90 psi., E = 2,000,000 psi.	7.6. Building Insulation: Building shall be insulated to meet IBC Energy Code, or other local energy requirements. Provide insulation thickness as indicated on drawings. Provide and install batt insulation at window shim spaces and all locations where indicated on drawings. Fit insulation tight within spaces and tight to and behind mechanical and electrical services within the plane of insulation. Provide product per sizes and locations where indicated on	the Safety Standard for Glazing Materials 12" of a door, which may be mistaken for glass, unless such panels are provided w and located 36" above the walking surfac conditions: - An individual pane greater th
e with the "National Design s recommended by the	drawings as follows:(All products flame speed 25, Smoke Dev. 450 per ASTM E84) 7.6.1. Kraft Faced, Glass Fiber insulation to comply with ASTM C665, Type II, Class C.	18" above the floor - Exposed top edge g within 36" horizontally of the glazing.
o their walls or beams with	 7.6.2. Unfaced, Glass Fiber insulation to comply with ASTM C665, Type I. 7.6.3. Extruded - polystyrene board insulation, to comply with ASTM C578, Type IV, perimeter insulation also complying with ES I-524C. ES-HH-I-558B Form A. Class 1 or 2 	8.8. All doors for passage in ANSI A-117.1 Ty
h a maximum allowable ve loads given in the noted	insulation also complying with FS I-524C, FS-HH-I-558B Form A, Class 1 or 2. 7.6.4. Unfaced, mineral - Fiber Sound attenuation insulation, to comply the ASTM C665, Type I, with flame-spread and smoke-developed dices of 25 and 45.0 respectively, per ASTM E84.	have a clear opening of 32" min. 8.9. All doors for passage in ANSI A-117.1 Ty
awings showing size, shape rication.	7.6.5. Glass Fiber Loose-Fill insulation to comply with ASTM C 764, Type I, for pneumatic application for use over flat ceiling sections only.	have a clear opening of 31-3/4" min.
the truss manufacturer be No. 2 Hem-Fir with	7.6.6. At rated wall assemblies provide Owens-Corning fiberglass batt insulation per BOCA Research report No. 90-27, in tested assemblies allowing batt insulation. insulation product information to code official for approval.	 <u>FINISHES</u> 9.1. Provide and install gypsum wall board in a
asticity of 1,400,000. russ shop drawings and ided to the Building Inspector	7.7. Shingles shall be Asphalt-Fiberglass composition three-tab, conforming to U.L. Class "C" Fire Resistance, U.L. Wind Resistance, ASTM D3462 and ASTM D3018 Type 1 with a 25	"Application and Finishing of Gypsum Bo hereby made a part of this specification e called for in this specification, in local coo wallboard, whose requirements shall be f
notes with an engineer's the rated load occupancy of f the connector capacities	year (min.) limited MFR. warranty. Color as selected by Owner/Architect. Shingles shall be installed as per Manufacturer's instructions, but not less than those recommended by ARMA's "Residential Asphalt Roofing Manual" or The NCRA Steep Roofing Manual".	9.1.1. At intersection of sound attenuating w provide acoustical sealant as recomm 201.
connector system proposed. rawings shall also include the	7.8. Provide and install one-layer No. 15 Asphalt saturated unperforated organic felt complying with ASTM D226 Type 1, 36" wide, approximate weight 18 lbs. per square; under roof shingles, lapping succeeding courses 2" (min.). Along eaves provide the following:	9.1.2. Contractor shall provide all trim accesswith Gypsum Association Application9.1.3. Provide and install moisture-resistant
niform loads (partial or	7.8.1. Ice & Water shield to 24" beyond face of exterior wall.7.8.2. Preformed 3-1/2" Metal drip edge.	5/8" Type "X" where indicated. 9.1.4. Provide Glass-Mat, Water-Resistant E Gypsum Corp. or equal) behind wall t

rs No. 15 organic felt under shingles or one (1) layer No. 30 A Steep Roofing Manual.

rafters shall have cross ventilation for each separate space ed against the entrance of rain. The net free ventilating 150 of the area to be ventilated. Openings shall be covered with openings not less than 1/2 inch. Where ridge and gable s shall be at the ridge or gable vents, and balance at eave or ice area to 1/300 provided a vapor retarder having a erm is installed on the warm side of the ceiling, and upper

thylene vapor barrier complying with ASTM D 2103

ndicated on drawings. Style, color, and texture as selected facturers standard products. Provide accessories as overing system and as indicated on the drawings. Provide ement siding: to comply with ASTM C 1186 Grade II, panels. .2 All trim work shall be cementitious Hardietrim die" or Boral trim

f rated assemblies as indicated on plans shall be provided are produced and installed to resist the spread of fire, and the ases. Provide Owner/Architect with schedule of materials for of all firestopping products. Products requiring a T and/or F Provide sealants to meet ratings of indicated assemblies, 9. Firestopping exposed to view shall have flame-spread oped value of less than 450 per ASTM E 84.

downspouts as per SMACNA architectural sheet metal in sizes indicated, Provide seamless gutters with mitered and straps or sized by contractor and submitted to ormed from at least 28-gauge galvanized steel sheet. joints and other attachment devices, concealed splice plates, accessories shall be provided for complete installation. I in the civil engineering drawings. Any daylighted in plastic splash blocks, and drainage shall be directed away

s to comply with Manufacturer's printed instructions lications indicated and to the following specifications: 20 Solvent-Release-Curing Sealant: ASTM C804 Latex al Sealant: ASTM C919 Comply with recommendations of realants as applicable to materials, applications, and de Owner/Architect with schedule of products, locations, itions for the project. Locations to receive sealers are as rol and Expansion joints, all penetrations (also see ar materials, and all other joints as indicated.

ess noted otherwise, provide polyurethane type elastomeric 0% compressibility. Joint ratio shall be 2/1 with 1/4" as

ure to Owner/Architect for approval for all door and window yles, colors, and finishes, and as indicated. Include hardware all products per manufacturers specifications and . Submit installation details coordinated with flashings.

le doors and frames complying with ANSI/SD1 100 or Standard Steel Doors and Frames" and as specified. Fire mply with NFPA 80 and ASTM E 152, and are labeled and ed testing agency. Where indicated provide steel doors of -inch-thick, (Level B), grade II, heavy duty, model 2,

ors as indicated per NWWDA quality standards. Solid core liance with ANSI/NWWDA IS 1. Hollow core doors where NSI/NWWDA IS I.

ling doors as indicated per A.A.M.A.S.G.D. or better water infiltration and ASTM E 330 for structural load test, and Provide screen panel, hardware, and weather-stripping per

vide garage doors with sections of galvanized, structural nplying with ASTM A653. Provide all hardware and s indicated on the drawings.

nings are provided, the drive unit and track shall be mounted und attenuation. 8.5 Vinyl Windows: Provide vinyl windows d installed to withstand normal thermal movement, wind g without failure. Test according to ASTM E 283 for air 31 and ASTM E 547 for water penetration, and ASTM E 330 Testing shall show compliance with AAMA 101 for air on, and structural performance for type, grade, and

wings on all millwork or non-stock materials for

be subject to human impact such as frameless glass doors, , fixed glass panels, sliding glass doors, shower doors, tub nall meet the requirements set forth in the Building Code and g Materials (16 CFR 1201). All glazed panels located within staken for openings of human passage, shall be tempered provided with a horizontal member of 1-1/2" (min.) in width king surface. Glazing in a location, meeting all the following e greater than 9 square feet - Exposed bottom edge less than op edge greater than 36" above the floor - Walking surface

A-117.1 Type A dwelling units, intended for passage shall

A-117.1 Type B dwelling units, intended for passage shall

I board in accordance with ASTM C1396 and GA-216: ypsum Board: specifications." Applicable parts thereof are cification except where more stringent requirements are n local codes, or by the manufacturer of the gypsum s shall be followed.

enuating walls and ceiling (all walls & ceiling connections) as recommended by the Gypsum Association Manual GA

trim accessories, finish taping and spackling in accordance Application and Finishing of Gypsum Board: specifications. e-resistant gypsum wall board on walls at shower enclosures,

Resistant Backing Board (Dens-Shield Backer by G-P hind wall tile at shower/tub enclosure walls, or other water-resistant gypsum wall board.

- 9.1.5. Provide 5/8"Type "X" wallboard at fire-resistive assemblies where indicated. Strict compliance with products and installation of wallboard per the fire-rated assembly test indicated must be provided. Note: All walls shall receive rated wall board.
- 9.2. Painting: provide schedule for approval to Owner/Architect of surfaces to be painted and paints to be used.9.2.1. Application of paint or other coating shall be in strict accordance with manufacturer's
- 9.2.1. Application of paint or other coating shall be in strict accordance with manufacturer's directions. Ready-mixed paint shall not be thinned, except as permitted in the application instructions.
 0.2.2. All exterior and interior surfaces shall reasive the pointer's finish except solar.
- 9.2.2. All exterior and interior surfaces shall receive the painter's finish except color coordinated factory finish surfaces. Top and bottom of all doors to be sealed and painted.
- 9.2.3. All surfaces to be finished shall be clean and free of foreign materials (dirt, grease, asphalt, rust, etc.).
- 9.2.4. Application shall be in workmanlike manner providing a smooth surface. Application rate shall be that recommended by the manufacturer. Application may be by brush or roller or by spray if paint is formulated for spray application. Apply prime coat and (1) one finished coats.
- 9.2.5. Interior paint shall be Duron or approved equal.9.2.6. Exterior synthetic trim to receive (1) finished coat of latex paint.
- 9.3. Provide and install vinyl sheet flooring where shown on drawings which complies with ASTM F 1303, Type II, class A backing. Thickness: .080" (nom.) sheet width: 6'-0" minimum. Install as per manufacturer's instructions. Color and patterns per Owners schedule.
- 9.4. Ceramic tile: Provide tile that complies with ANSI A137.1, "Specifications for ceramic Tile", for types, compositions, and other characteristics. Provide tile selections from Owners schedule from manufacturers full range of colors, textures, and patterns. Install ceramic tile, marble tile and accessories in accordance with the American National standard specifications for the Installation of Ceramic Tile, ANSI A-108 Series.
- 9.5. Carpeting: provide and install per Owners schedule. Carpet and cushions shall have flame-spread and smoke-developed ratings of 25 or less and 450 or less, respectively, when tested according to ASTM E 84. Surface flammability for carpet and cushion shall pass CPSC 16 CFR, Part 1630. Comply with CRI-104, applicable sections.

SPECIALTIES

- 10.1. Provide kitchen accessories, bath accessories, fireplaces hardware, and miscellaneous items per Owners schedule and specifications. All items shall be installed in strict accordance with the respective manufacturer's published instructions and approved installation drawings.
- 10.2. Guardrail and handrail systems: These systems shall be designed, manufactured, and detailed as a system. Type of systems shall be as indicated on drawings. Structural loads shall be per ANSI/ASCE 7-9, Minimum Design Loads for Buildings and Other Structures, Section 4.4. Loads: 50 lb./ft. in any direction at the top. 200 lb. single concentrated load in any direction and point at the top. 50 lb. load on infill panels/rails over 1 sq.ft. area. Guards shall form a protective barrier not less than 42 inches. Opening such that 4-inch dia. sphere cannot pass through any opening up to a height of 34 inches.
- 10.3. Wire Shelving: Provide shelving to meet ASTM A510, Grade C 10080 cold-drawn steel wire with manuf. standard coating. Provide accessories for complete system. Closet shelf and rod shall support 50 lbs. / lin. ft, and Linen shelf 75 lbs. / lin. ft. Install where indicated on plans or per Owners schedule.

10.4. Signage:

- 10.4.1. Elevator Signage per CABO/ANSI A117.1-1998
- 10.4.2. Signage as selected by Owner and shall meet requirements of CABO/ANSI A117.1-1998 Section 4.28.
- 10.4.3. Stairway Floor Number Signs Provide a sign at each landing inside stairway. Designate the floor level, the terminus of the top and bottom of the stair enclosure, and the identification of the stair. Also, state location of exit discharge and note no roof access from stair. Locate sign 5'-0" above floor landing in visible location relative to door operation.
- 10.5. Attic access panels in fire-resistive rating assemblies: The panels shall provide min. code required area (22"x30"), and shall be lockable and pre-finished. The panel shall have fire-resistance rating equal to assembly which it penetrates.

11. <u>EQUIPMENT</u>

- 11.1. Waste compaction system: Premier compaction systems PCS model Jax-10 or approved equal with cut-in first floor access door, installed at ANSI compliant height.
- 11.2. Waste chute: American Chute systems 24" diameter with cork-rib isolator pad at each floor or approved equal.

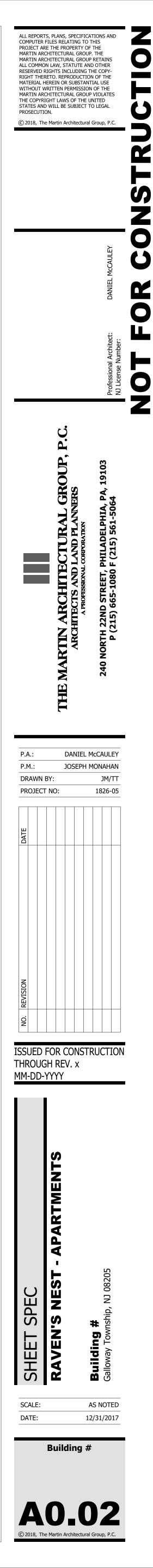
12. <u>FURNISHINGS</u>

- 13. <u>SPECIAL CONSTRUCTION</u>
- 14. <u>CONVEYING SYSTEMS</u>14.1. Elevator used for basis of design:
- 14.1.1. Manufacturer: Otis
- 14.1.2. Elevator Model: Gen2 14.1.3. Rated Capacity: 3000 lbs.
- 14.1.4. Travel: 21'-"
- 14.1.5. Landings: 3 total
- 14.1.6. Clear Car Inside: 6' 5 9/16" wide x 5' 0 3/16" deep
- 14.1.7. Cab Height: 7'-9" 14.1.8. Hoistway Entrance Size: 3' - 6" wide x 7'-0" high
- 14.1.9. Power Characteristics: 460 volts, 3 Phase, 60 Hz.
- 14.2. Elevator Shaft
- 14.2.1. Elevator hoist beam to be provided at top of elevator shaft. Beam must be able to accommodate proper loads and clearances for elevator installation and operation. Supply in ample time for installation by other trades, inserts, anchors, bearing plates, brackets, supports and bracing including all setting templates and diagrams for placement.
- 14.2.2. Opening sizes in shaft shall be coordinated with elevator manufacturer to allow proper installation, notify architect and structural engineer of final size and location of openings on each floor.
- 14.2.3. Coordinate pit access ladder with final elevator shop drawings prior to pouring foundation walls
- 14.2.4. Elevator pit waterproofing; Grace Bituthene System 4000 or approved equal foundation walls
- 15. <u>MECHANICAL/PLUMBING</u> SEE SPECIFICATIONS ON MECHANICAL CONSULTANT'S DRAWINGS
- 15.1. Penetrations into a single fire rated floor/ceiling or roof/ceiling assembly shall have a maximum 6" nominal diameter and not exceed 100 square inches in any 100-square foot of area. The annular space shall be protected with materials that prevent the passage of flame and hot gasses sufficient to ignite cotton waste when subjected to ASTM E119 time temperature fire conditions under a minimum positive pressure differential of 0.01 inch of water at the location of the penetration for the time period equivalent to the fire rating of the construction penetrated. Submit shop drawings and material tests for selected materials to owner/architect. Submit to local code official as requested.

15.2. Dryer vent penetrations into floor/ceiling assembly shall be installed per manufacturers installation instructions. Provide materials as noted on mechanical drawings.

16. <u>ELECTRICAL</u>

SEE SPECIFICATIONS ON ELECTRICAL CONSULTANT'S DRAWINGS



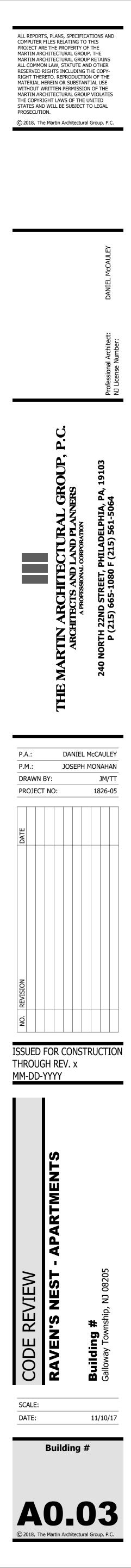
	CODE	SUMMARY OVERVIEW	
PROVIDED W	DING TO BE EQUIPPED WITH AUTOMA	TIC SPRINKLERS; DECKS SHALL BE	
Internation *Cor Other refe	SUBCODE (NJAC 5:23-3.14) onal Building Code/2015, NJ ed (IBC v *Corrected pages (NJ errata) rrected sections (ICC errata) erenced I-Codes (IFC/2015; ISPSC/20	15; etc.)	
PLUMBING S	erenced ICC Standards (ICC/ANSI A1 SUBCODE (NJAC 5:23-3.15) Standard Plumbing Code/2015	7.1-2009; ICC 300-2012; etc.)	
ELECTRICAL	L SUBCODE (NJAC 5:23-3.16) Electrical Code (NFPA 70)/2014		
ENERGY SU	JBCODE (NJAC 5:23-3.18) Donal Energy Conservation Code/2015	Low-Rise Residential)	
ASHRAE 9	90.1-2013 (Commercial & all other Re AL SUBCODE (NJAC 5:23-3.20)	-	
Internation	onal Mechanical Code/2015 SUBCODE (NJAC 5:23-3.22)		
Internation	onal Fuel Gas Code/2015 REE SUBCODE (Chapter 11 of IBC/20	15 & NJAC 5:23-7)	
	A117.1-2009 SUBCODE (NJAC 5:23-12)		
	Society of Mechanical Engineers (AS	1E)	
Chapter 3 -	air Housing Act, 1991 (Rev 1998) - USE & OCCUPANCY CLASSIFICAT Group: R-2, Principle intended use U, Ground Level Parking	<u>ONS</u>	
-	- SPECIAL DETAILED REQUIREMENT	S BASED ON USE & OCCUPANCY	
	occupancies shall comply with se with 406.3.4.1 through 406.3.4.3	acent to dwelling units, the separation of private g tion 508. separation of private garages from dwell	-
	6.3 Automatic sprinkler system. An enclosed parking garage shall 903.2.102 Separation walls.	e equipped with an automatic sprinkler system in	accorda
	Walls separating dwelling units in walls separating dwelling or sleep shall be constructed as fire partition	he same building, walls separating sleeping units in ng units from other occupancies contiguous to the ns in accordance with Section 708.	
420.3	the same building and floor assen	ng units in the same buildings, floor assemblies se blies separating dwelling or sleeping units from oth uilding shall be constructed as horizontal assemblie	ner occ
	Section 903.2.8.	oped throughout with an automatic sprinkler syste	m in ac
420.6	,	stems. ms shall be provided in Group I-1, R-1 and R-2 oc I 907.2.9, respectively. Single-or multiple-station s	•
•	- GENERAL BUILDING HEIGHTS AND	AREAS	
I able	e 503 R-2, Type VA - Max 3 Stories / 12	000 sf per floor /60' Height	
506.1	1 Area Modifications (for R-2 occupa Aa = 12,000 + (12,000 x 0.34) +		
506.2	2 Frontage (for R-2 occupancy) If = [(555'/377')25] x 24/30 =		
508 - Mi	lixed Use and Occupancy		
508.1	building contains more than one c	e individually classified in accordance with Section ccupancy group, the building or portion thereof sh a 508.2, 508.3, or 508.4, or a combination of these	all com
508.2	occupancy. EXCEPTION 2. Group,	separation is required between accessory occupan I-1, R-1, R-2 and R-3 dwelling units and sleeping u ng units and from accessory contiguous to them in	inits sh
	ncidental Uses 1 - General		
1.500	Incidental uses located within a si provisions of this section. Inciden	gle occupancy or mixed use occupancy buildings s al uses are ancillary functions associated with a g i09. or a combination of these sections.	
	I	Table 509 Incidental Uses	1
	Room or Area	Separation Required	
	Waste rooms over 100sf	1 Hour or provide automatic sprinkler	
Chaptor 6			
·	- TYPES OF CONSTRUCTION		
·	5 Type V construction FIRE RESISTANCE RATING REQUI	Table 601 REMENTS FOR BUILDING ELEMENTS (hours)	
•	5 Type V construction FIRE RESISTANCE RATING REQUI BUILDING ELEMENT Structural frame	REMENTS FOR BUILDING ELEMENTS (hours)	
·	5 Type V construction FIRE RESISTANCE RATING REQUI BUILDING ELEMENT Structural frame Including columns, girders & Bearing walls Exterior	REMENTS FOR BUILDING ELEMENTS (hours)	
	 5 Type V construction FIRE RESISTANCE RATING REQUING BUILDING ELEMENT Structural frame Including columns, girders & Bearing walls 	REMENTS FOR BUILDING ELEMENTS (hours)	

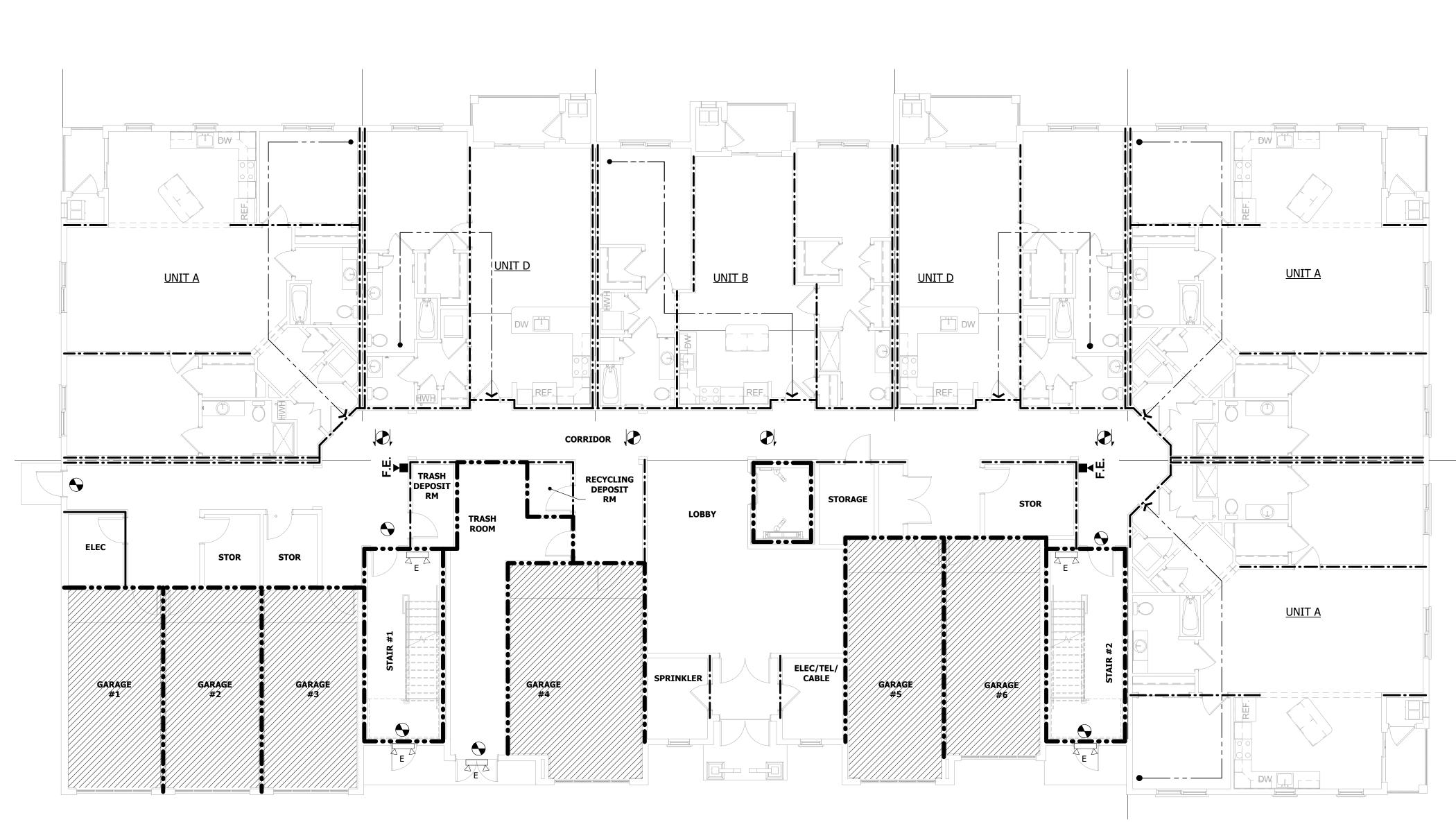
	ח	oof construction				
	K	Including supporting bear	ms & joists n/a Table	1		
	F	RE RESISTANCE RATING REQ DISTANCE RE SEPARATION DISTANCE (f qual or Greater than 30'-Type	UIREMENTS FOR E		N FIRE SEPARATI	ON
	<u>Chapter 7 - FI</u>	RE AND SMOKE PROTECTION	FEATURES			
	704.3 Pi M fii oi	otection of the primary structurembers of the primary structure-resistance rating and supportanonal more rotecting them on all sides for a terials having the required fire	ural frame other th ral frame other tha rt more than two f than two stories h the full length, incl	an columns that are required floors or one floor and roof, high, shall be provided individual cluding connections to other	or support a load- dual encasement p	-bearing wall protection by
	Si	otection of secondary membe econdary members that are re neasement protection, by the by a combination of both.	quired to have a fi			
		AXIMUM AREA OF EXTERIOR		BASED ON FIRE SEPARATIO)N DISTANCE	
		Parapets. arapets shall be provided on ex		÷		
		exist:		l on an exterior wall where a nce rated in accordance wit		-
	7.	izontal Assemblies L1.1 General. Floor and roof as ith section 714.4.2.	ssemblies required	to have a fire-resistance ra	ting shall comply	
rom other s shall comply	bo se th as fi	11.3 Fire-resistance rating. The less than that required by the parated mixed occupancies, that required by Section 508.4 to seembly separates a single occupancies re-resistance rating of not less eparating dwelling units in the	e building type of o he assembly shall h pased on the occup cupancy into differe than that required	construction. Where the flo have a fire-resistance rating pancies being separated. Wh ent fire areas, the assembly d by section 707.3.10. Horiz	or assembly of not less than here the floor shall have a zontal assemblies	
nce with Section	u	nits in the same building shall aft Enclosures	-			
me building and	В	uilding is 3 story and all shafts				
same building	T	RE DOOR & FIRE SHUTTER FI			HR) Miin	Door Rating
pancies prdance with		re Barrier: Shaft, exit enclosur passageway walls. Other fire barriers	'e & exit	1 1		1 3/4
ordance with	Fi	re Partitions: Corridor walls Other partitions		1 1		1/3 3/4
/here a	7	dwelling units. Draf sleeping unit separ 718.4.2 Groups R-1 and F Draftstopping shall Group R-2 building and in line with, sle underside of the ro Exceptions: 1. Where con shall only be	eet R-3 and R-4 be provided in floo ftstopping shall be ations. R-2. be provided in atti s with three or mo eeping unit and dw of sheathing above rridor walls provide required above on	or/ceiling spaces of Group R located above and in line w ics, mansards, overhangs or ore dwelling units. Draftstopp yelling unit separation walls t e. e a sleeping unit or dwelling ne of the corridor walls.	vith the dwelling un r other concealed ping shall be instal that do not extend unit separation, d	nit and roof spaces of lled above, d to the Iraftstopping
ly with		attic space s	hall be subdivided	by draftstops into areas not welling units, whichever is s	t exceeding 3,000	
•						
the main		(279 m2) or ERIOR FINISHES all and Ceiling Finishes				
the main I be separated		ERIOR FINISHES	Table 8 FINISH REQUIREM			
the main	 803 - W 	ERIOR FINISHES all and Ceiling Finishes ITERIOR WALL AND CEILING roup Vertical exits	FINISH REQUIREM Sprint	1ENT klered (i) Exit Access Corrodors	Rooms and	d enclosed
the main	 803 - W 	ERIOR FINISHES all and Ceiling Finishes ITERIOR WALL AND CEILING roup Vertical exits exit passage	FINISH REQUIREM Sprint	1ENT klered (i)	Rooms and spaces C	d enclosed
s. the main Il be separated ince with the	803 - W IN G R i-, p 804 INT 80	ERIOR FINISHES all and Ceiling Finishes ITERIOR WALL AND CEILING roup Vertical exits roup Vertical exits exit passage -2 C Applies when the vertical exits rotected by a sprinkler system ERIOR FLOOR FINISH 04.4.2 Minimum critical radiant Exception: Building equip 903.3.1.1, Class II materi materials complying with where Class II materials a	FINISH REQUIREM Sprint s and ways , exit passageways installed in accord t flux: ped throughout wit ials are permitted i DOC FF-1 "pill test	1ENT klered (i) Exit Access Corrodors and other exitways C S, exit access corridors or ex	spaces C kitways, or rooms a or 903.3.1.2	and spaces are ce with section ed, and
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915	5 CARBON	MONOXIDE DETE	ECTION					
	915.1.1	L						
	915.1.2	2			d in group R occupa d in dwellin units th		hurning applianc	°e
	915.2.1 (L	detection sl	hall be installed	d in dwellling units o			
<u>Chapter 1</u>	0- MEANS	OF EGRESS						
		MA	XIMUM FLO	Table 10 OR AREA ALLO	04.1.2 DWANCES PER OCCI	UPANT		
	F	- unction of Space		Осси	pant Load Factor			
					200 gross			
		Parking garages	16 100 caf	ft @ 200 caft//	200 gross occupant = 81 occu	inants		
	1st Floo 2nd Flo	or- R-2 Residentia oor- R-2 Residentia	l = 16,100 al = 15,800	sqft @ 200 sq sqft @ 200 sq	ft/occupant = 81 occup ft/occupant = 79 o ft/occupant = 79 o	occupants occupants		
Sec	tion 1005	EGRESS WIDTH		Table 10		OVCTEM		
		EGRE			T WITH SPRINKLER			
		OCCUPANC R-2	Y (inches p 0.3	per occupant)	(inches per occup 0.2			
	1007.3 E 1 t 2 2 3 6 15 EXIT AN 1015.2 Where	hroughout with a 203.3.1.2. 2. Areas of refuge sprinkler system in 5. The areas of ref ND EXIT ACCESS I .1 Two exits or exit two exits or exit a cess doorways sha	of 48 inche n automatic are not rec nstalled in a fuge are no DOORWAYS kit access door access door all be placed	c sprinkler syste quired at stairw accordance with ot required in G S oorways. ways are requi d a distance ap	petween handrails is em installed in accor ays in buildings equ n Section 903.3.1.1 roup R-2 occupancie red from any portion art equal to not less	rdance with Sectio uipped throughout or 903.3.1.2. es. n of the exit acces s than one-half of	by an automatic by an automatic s, the exit doors the length of the	с
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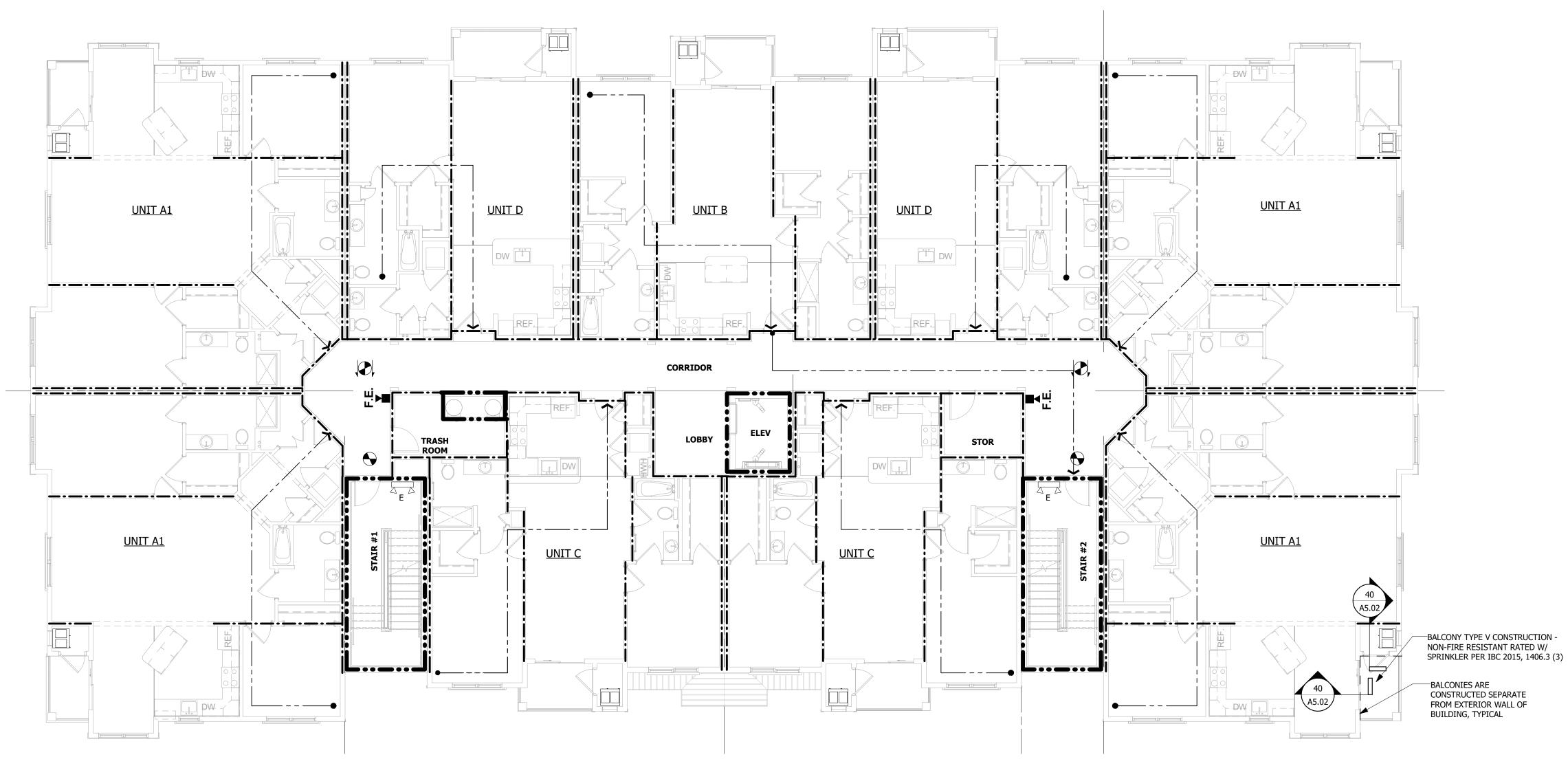
NOTE: Code review above is for refernce only. Review may not represent every code provision which the architect has designed for. Architect and owners consultants shall provide their own code outline for the systems which they designed.

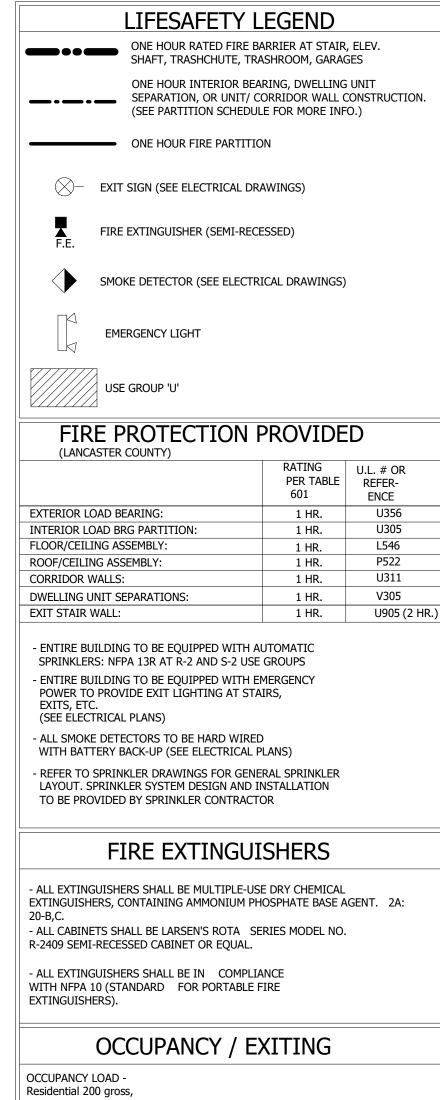
have fire resisted rated construction where sprinkler protection is extended into these areas.





2 SECOND & THIRD FLOOR LIFESAFETY PLAN SCALE : 1/8" = 1'-0"

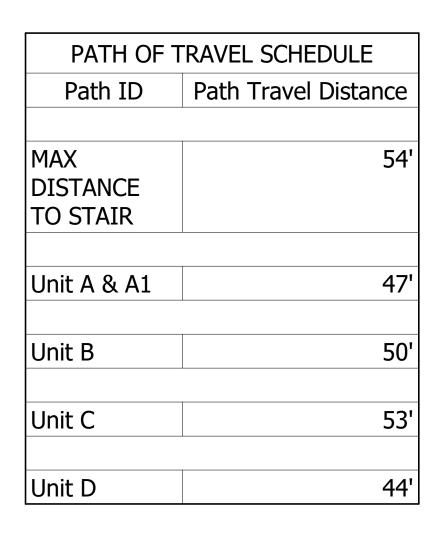


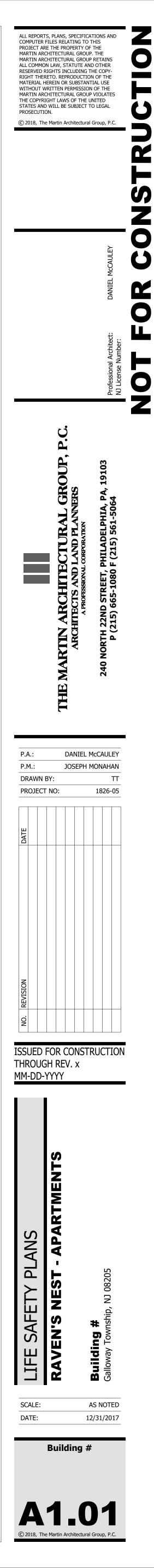


Garages 200 gross.

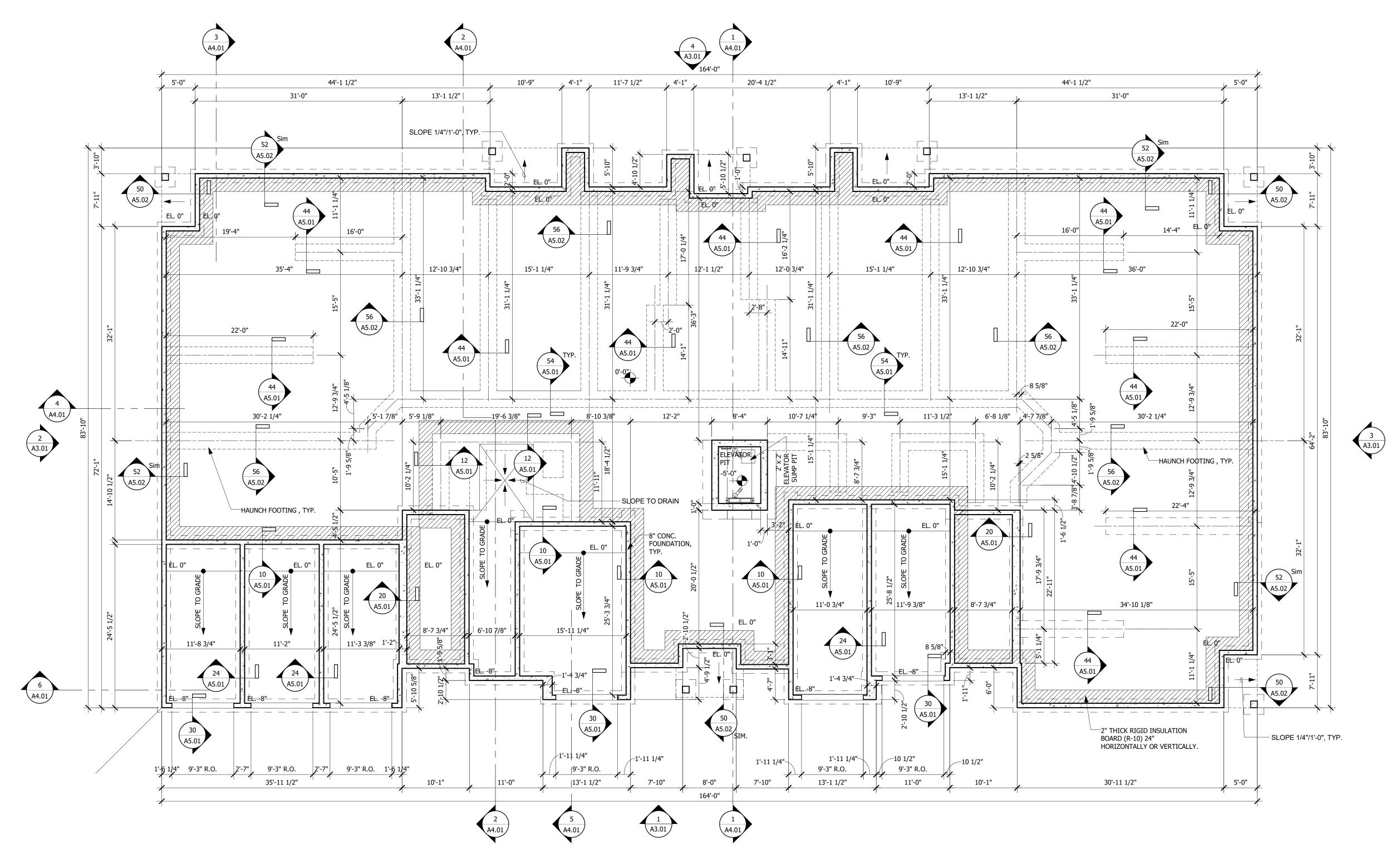
See Life Safety Plans for Occupancy Loads at Stairs and Exits

NOTE 1- SLOPE BUILDING SLAB MIN. 1/4"/1'-0", MAX. 1:20. COORDINATE WITH CIVII NOTE 2- ACCESSIBLE WALKWAY TO BUILDING SLAB PER CIVIL ENGINEERING (REQUIRED AT 50% OF ALL ENTRANCES). SEE CIVIL FOR SITE STEPS.





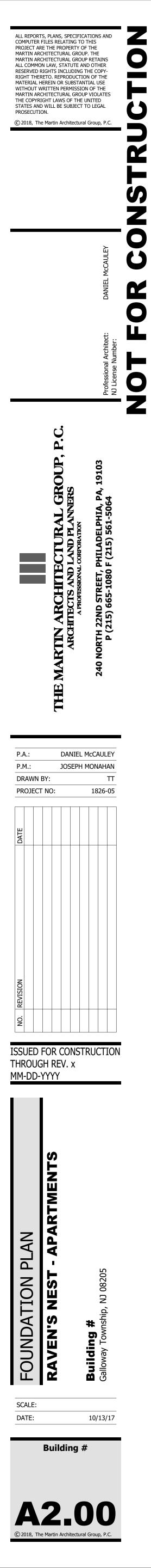
1 FOUNDATION PLAN SCALE : 1/8" = 1'-0"

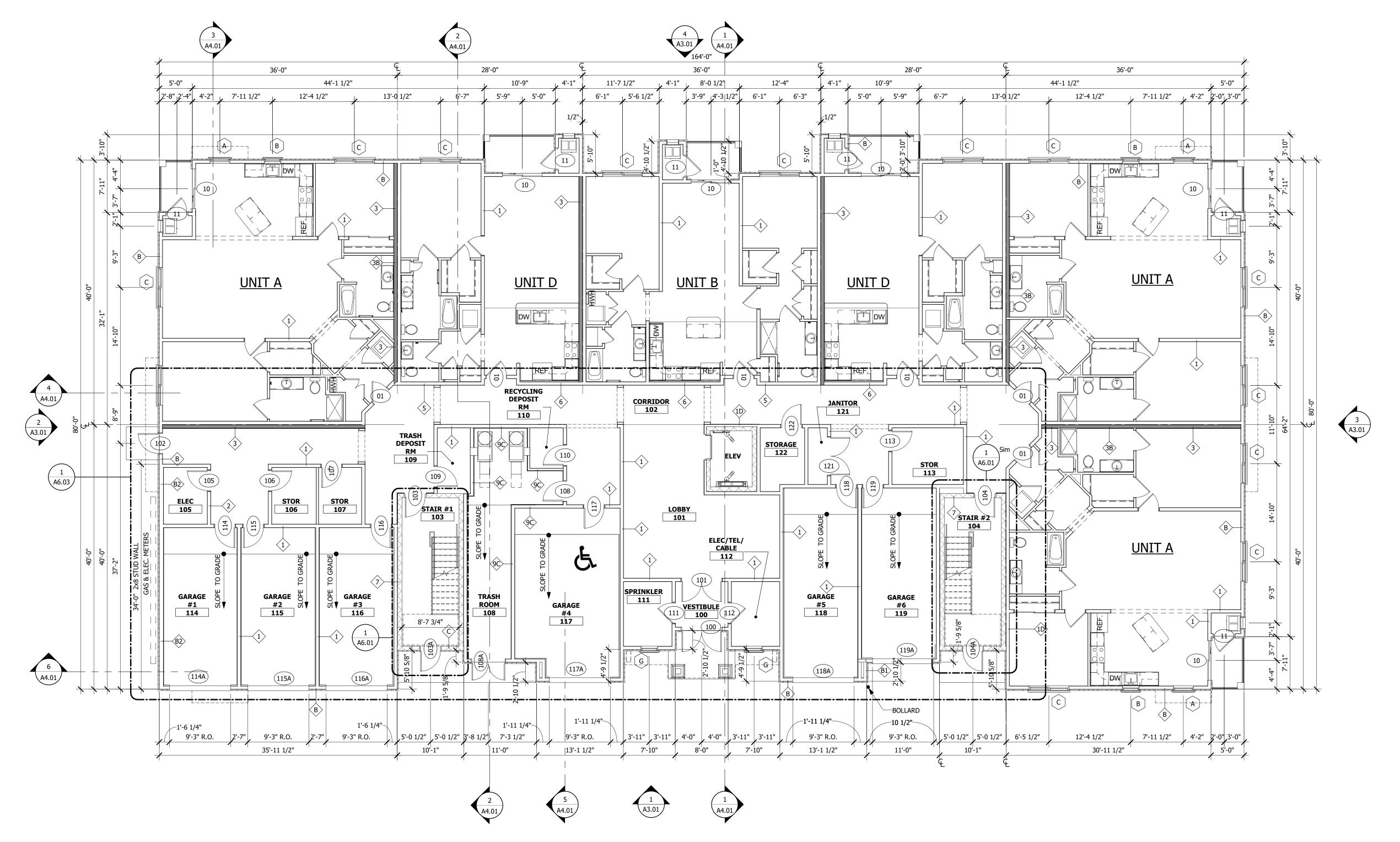


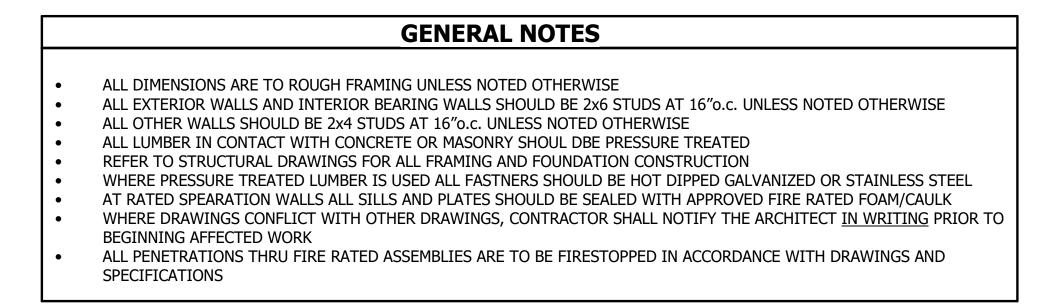
GENERAL NOTES

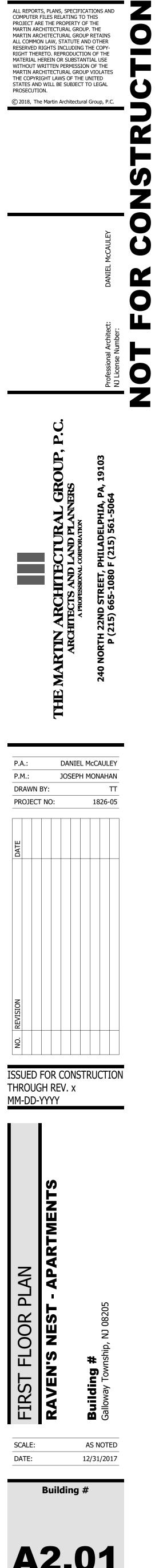
- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16"0.c. UNLESS NOTED OTHERWISE ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16"0.c. UNLESS NOTED OTHERWISE
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOUL DBE PRESSURE TREATED
- REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
- WHERE PRESSURE TREATED LUMBER IS USED ALL FASTNERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
 AT RATED SPEARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
 WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO
- BEGINNING AFFECTED WORK
 ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS







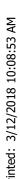


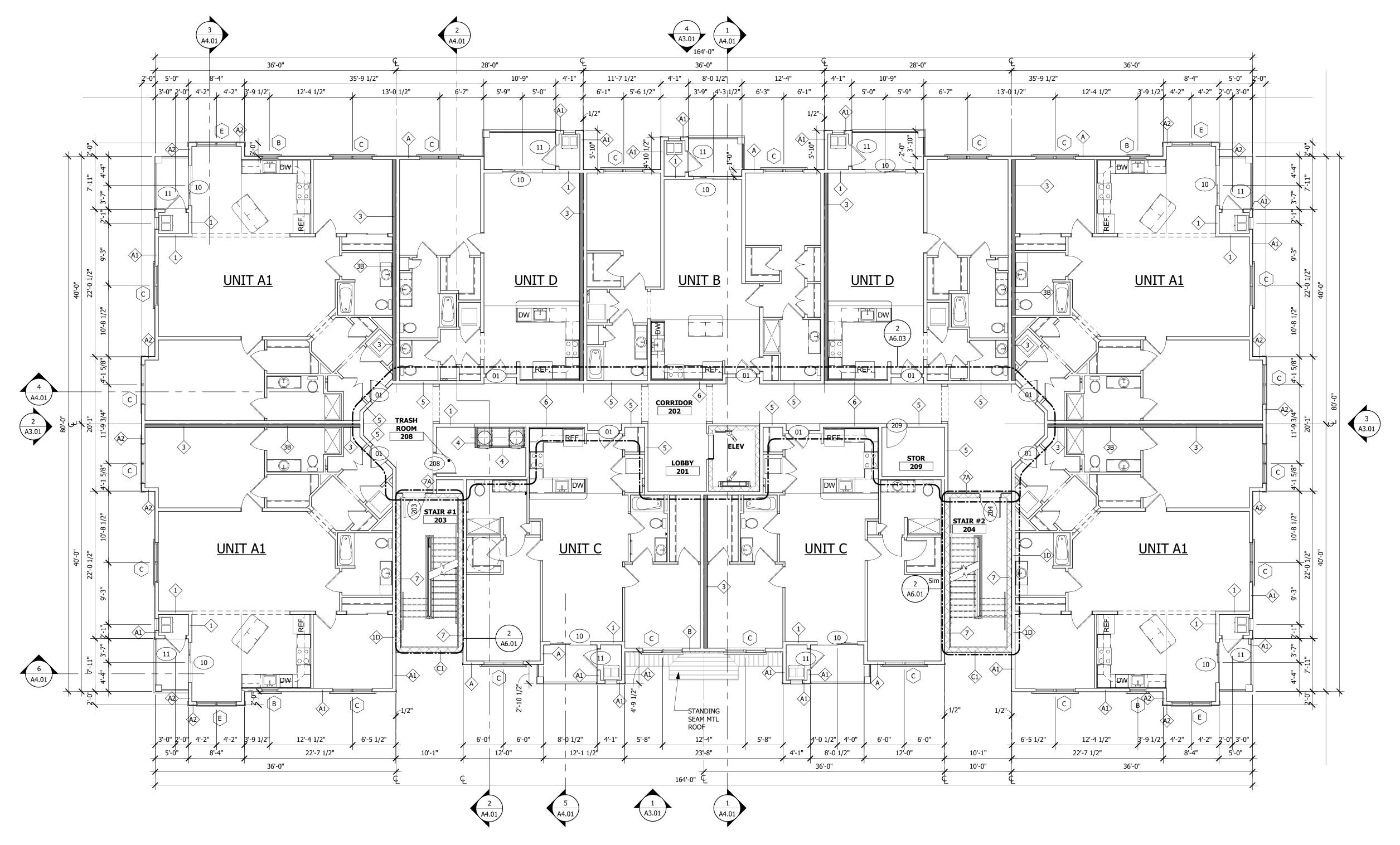


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ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE

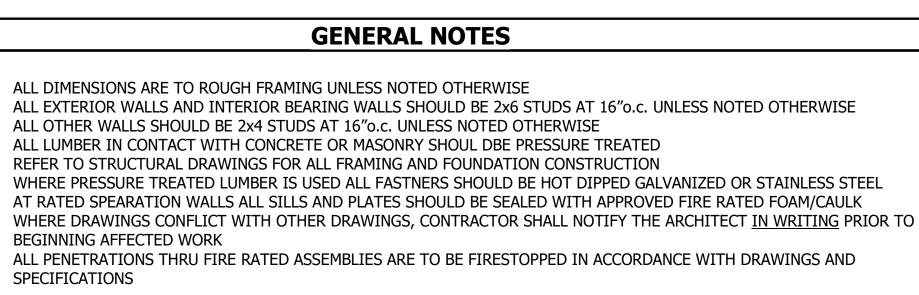
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOUL DBE PRESSURE TREATED REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION

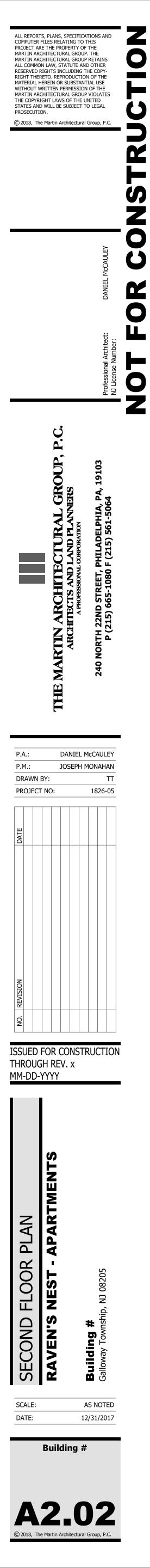
ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE

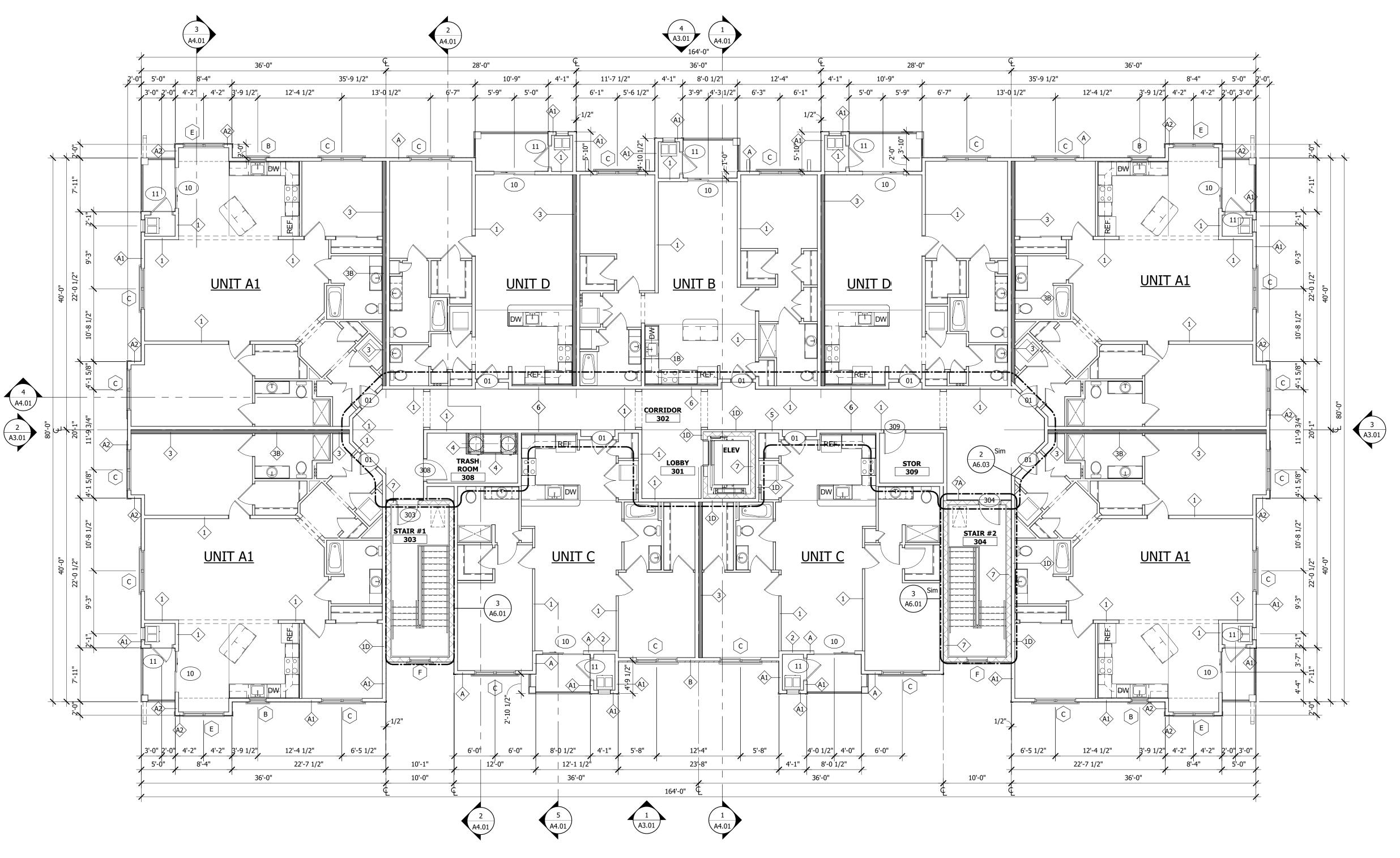
WHERE PRESSURE TREATED LUMBER IS USED ALL FASTNERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AT RATED SPEARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK

GENERAL NOTES

ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS



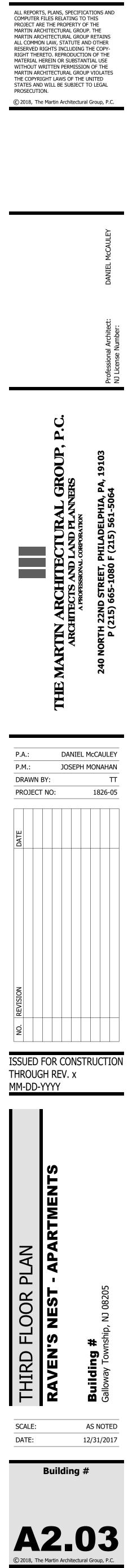




GENERAL NOTES

- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16"0.c. UNLESS NOTED OTHERWISE ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16"0.c. UNLESS NOTED OTHERWISE
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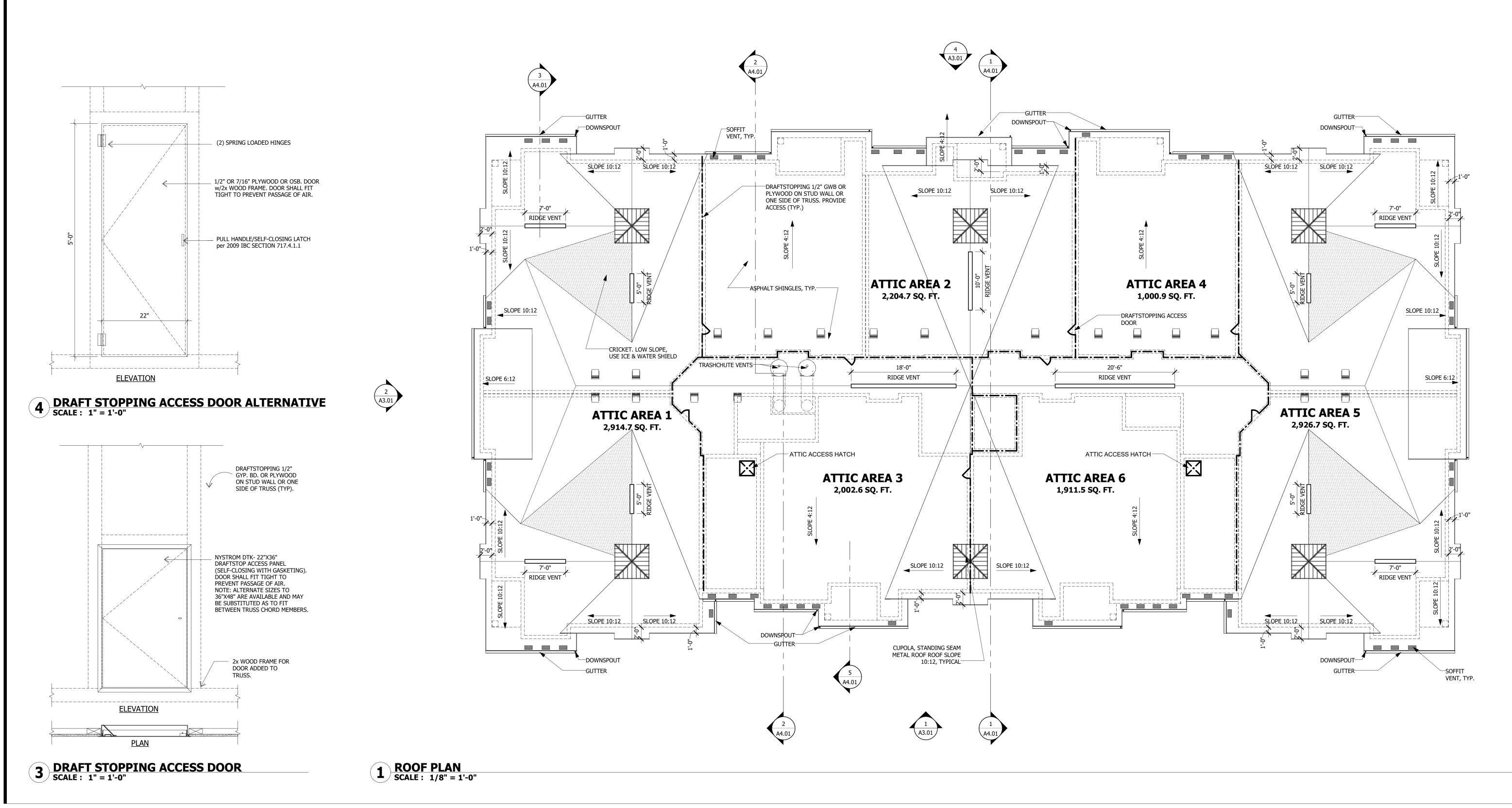


NOT FOR CONSTRUCTION

VENTILATION NOTE:

VENTILATION REQUIREMENTS AREA BASED ON: IBC 2015, NJ EDITION, SECTION 1203.2:

Attic Area	Draft Stopping Area
Attic Area 1	2,915 SF
	2,913 31
Attic Area 2	2,205 SF
Attic Area 3	2,003 SF
	2,003 31
Attic Area 4	1,001 SF
	2 027 05
Attic Area 5	2,927 SF
Attic Area 6	1,911 SF



THE MINIMUM REQUIRED AREA IS PERMITTED TO BE REDUCED TO 1/300, PROVIDED THAT A VAPOR RETARDER HAVING A PERMEANCE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING, OR THE RIDGE OR GABLE VENTILATION OPENINGS ARE LOCATED IN THE UPPER THIRD OF THE SPACE TO BE VENTILATED WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. NOTE: CODE ALLOWS 40% AT RIDGE & 60% AT SOFFIT.

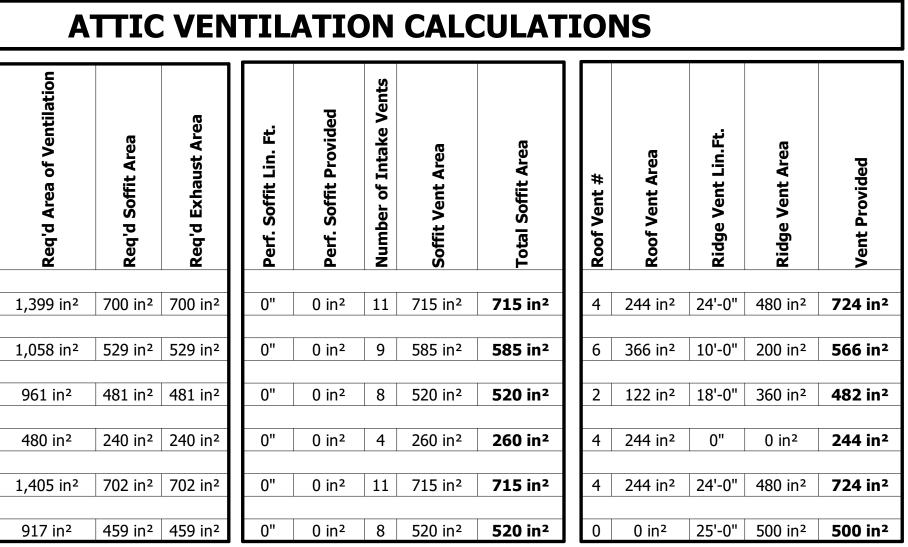
NOTE: ONE HALF OF THE ATTIC VENTILATION IS PROVIDED BY RIDGE AND GABLE VENTS AND THE BALANCE TO BE PROVIDED BY SOFFIT VENTS.

RIDGE VENT IS BASED ON "VENTSURE" WITH A NET FREE AREA OF 20 SQ. IN. PER LINEAR FOOT.

SUPPLEMENTARY VENTILATION IS BASED ON "LOMANCO" LOW PROFILE ROOF LOUVER MODEL NO. 865 WITH A NET FREE AREA OF 61 SQ. IN. PER UNIT.

PERFORATED SOFFIT VENT IS BASED ON "AIR VENT INC." OR EQUAL TO WITH A NET FREE AREA OF 9 SQ. IN. PER LINEAR FOOT.

SOFFIT INTAKE VENT IS BASED ON "LOMANCO C816" OR EQUAL WITH A NET FREE AREA OF 65 SQ. IN. PER VENT



ROOF NOTES

PROVIDE ICE AND WATERSHIELD TO 24" BEYOND FACE OF EXTERIOR WALL.

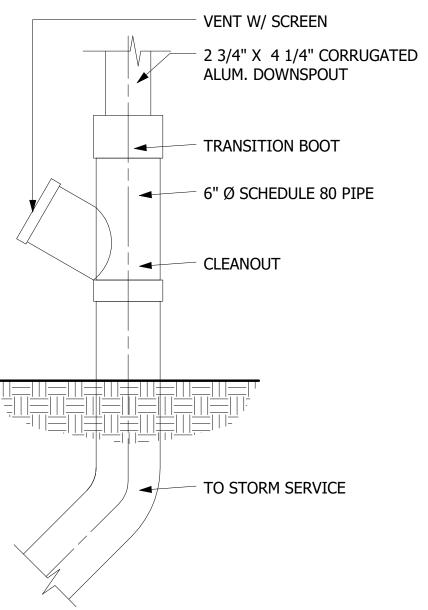
GUTTERS ARE SHOWN FOR LOCATION ONLY. LOCATION AND SIZING OF DOWNSPOUTS DUE TO SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR AND APPROVED BY ARCHITECT AND OWNER.

DOWNSPOUTS MUST NOT DISCHARGE ONTO DECKS OR PATIOS.

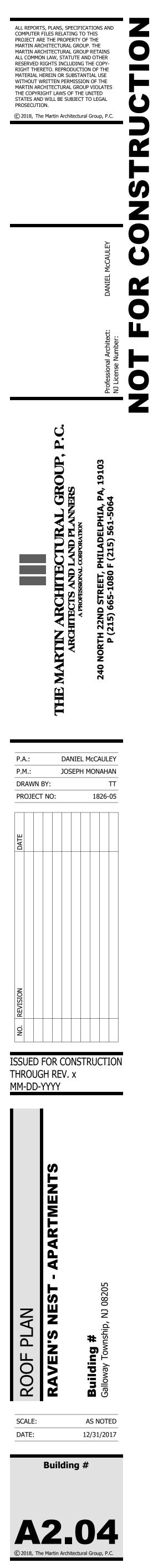
GUTTERS & DOWNSPOUTS

-GUTTER SIZING BASED ON A 6" WIDE "OGEE" STYLE DOWNSPOUT MOUNTED HORIZONTAL (LEVEL)

- DOWNSPOUTS BASED ON STANDARD 2 3/4"X4 1/4" CORRUGATED RECTANGLE DOWNSPOUTS.
- DAYLIGHTS @ DOWNSPOUTS ON REAR TO CONNECT SPLASH BLOCKS.
- TIE FRONT AND SIDE OF BUILDING GUTTERS TO UNDERGROUND STORM SERVICE PER CIVIL ENGINEER.
- USE 6" Ø SCHEDULE 80 PIPE TO BELOW GRADE.
- USE PLASTIC TRANSITION BOOT TO TIE DOWNSPOUT
- TO BELOW GRADE PIPE.
- PROVIDE SPLASH GUARDS @ INSIDE GUTTER CONNERS.



A3.01

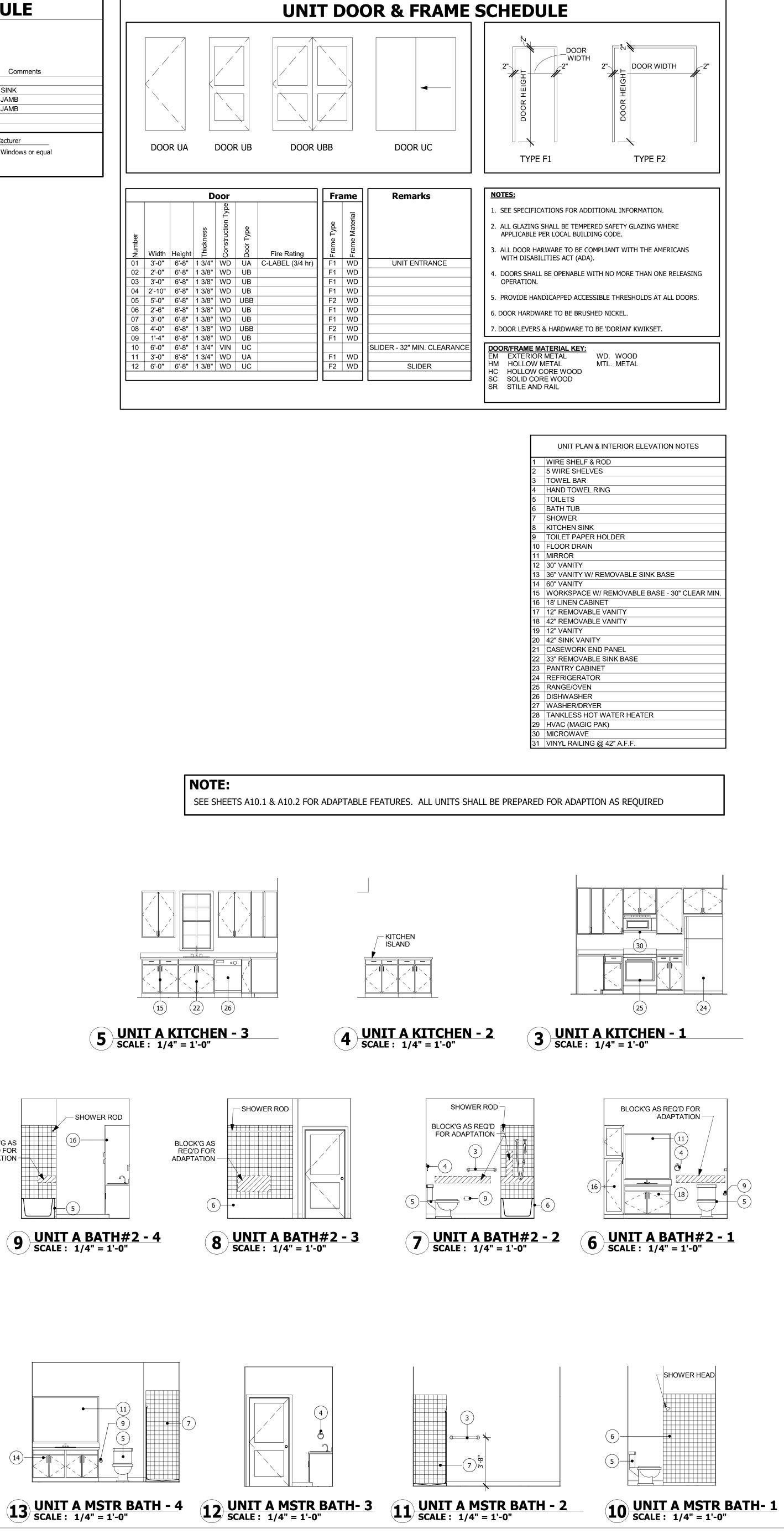


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			NIN	ND	OV	VS	SCHEDULI
Mark	Width	Height	Rough Width	Rough Height	Window Type	Construction Type	Comn
Α	3'-0"	6'-0"	36 1/4"	72"	SH	VIN	
В	2'-6"	4'-6"	30"	54"	SH	VIN	OVER KITCHEN SINK
С	6'-0 1/8"	6'-0"	72 5/8"	72"	SH	VIN	INTERMEDIATE JAMB
Е	6'-0 1/8"	5'-0"	72 5/8"	60"	SH	VIN	INTERMEDIATE JAMB
F	3'-0"	5'-0"	36 1/4"	60"	SH	VIN	
G	2'-6"	5'-0"	30"	60"	F	VIN	
N	/indow Typ	e Key	Glazin	g	Fr	ame	Manufacturer
-	Fixed H Single H H Double I		□ Sing ■ Dou □ Trip	ible		Alumir Wood Vinyl	num MI Windows

BLOCK'G AS

REQ'D FOR

ADAPTATION -

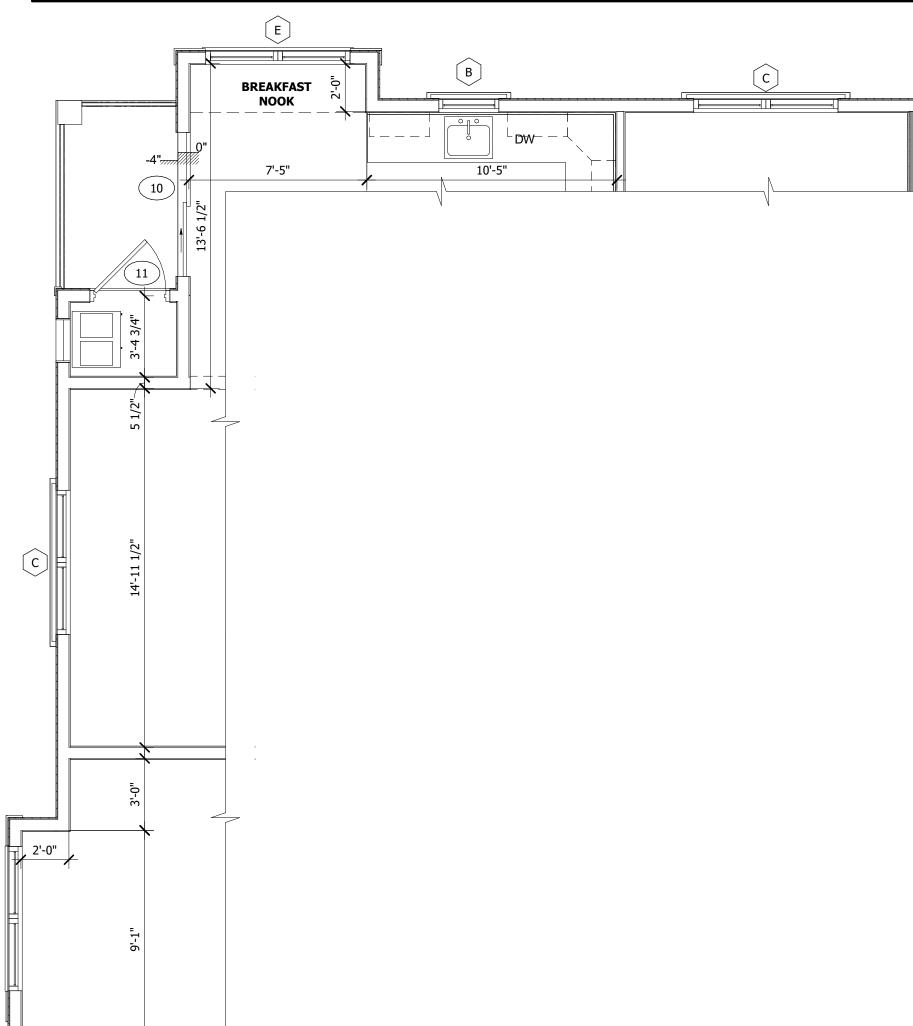




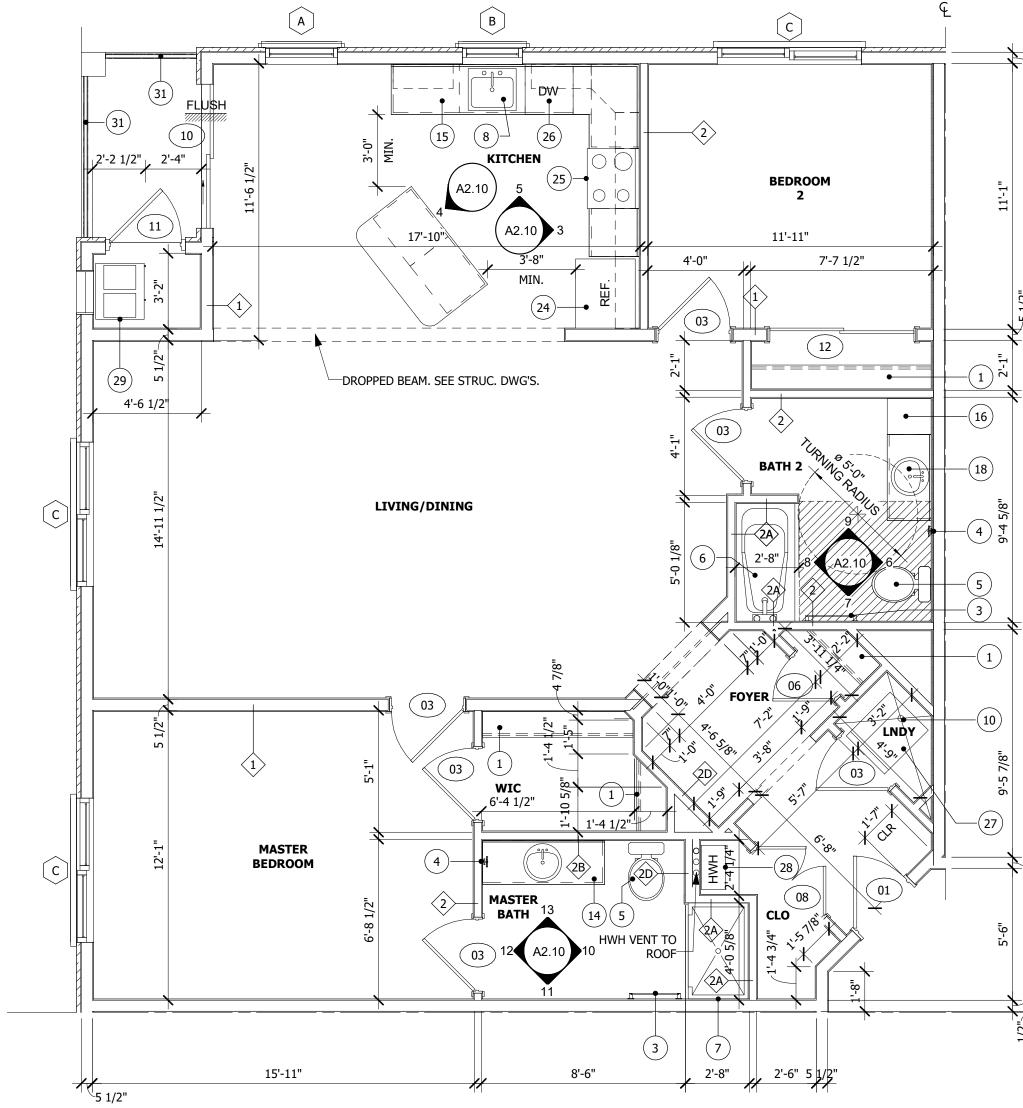
- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16" o.c. UNLESS NOTED OTHERWISE ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16" o.c. UNLESS NOTED OTHERWISE
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOUL DBE PRESSURE TREATED
- REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION WHERE PRESSURE TREATED LUMBER IS USED ALL FASTNERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
 - AT RATED SPEARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO
- BEGINNING AFFECTED WORK ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS

UNIT NOTES

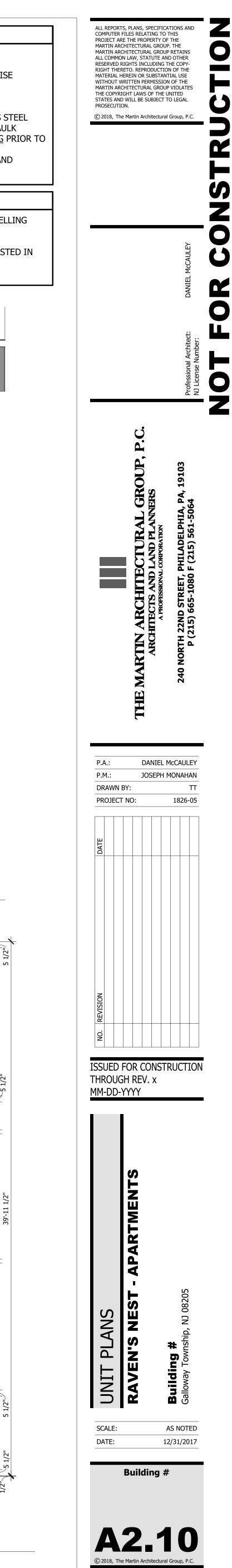
- ALL UNITS SHALL COMPLY WITH ADAPTABILITY REQUIREMENTS AS LISTED IN ANSI A117.1 (2009) FOR TYPE A DWELLING UNITS
- ALL FINISHES MUST EXTEND UNDER REMOVABLE CABINETS AT SINK BASES AND WORKSPACES. 2% OF ALL UNITS SHALL COMPLY WITH THE REQUIREMENTS OF THE ACCESSIBLE COMUNICATION FEATURES AS LISTED IN
- ANSI A117.1 (2009) SECTION 1006. CORDINATE UNIT LOCATION WITH OWNER FINAL KITCHEN CABINET LAYOUT TO BE PREPARED BY CABINET MANUFACTURER



2 UNIT A1 - SECOND & THIRD FLOORS ONLY SCALE : 1/4" = 1'-0"

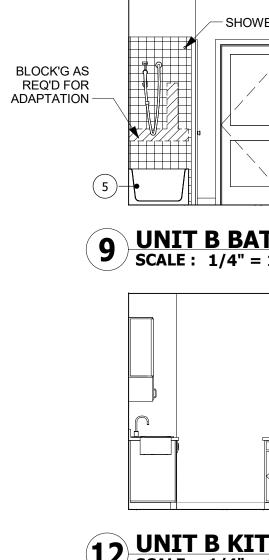


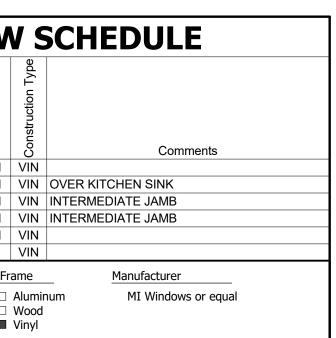
1 UNIT A - FIRST FLOOR ONLY SCALE : 1/4" = 1'-0"

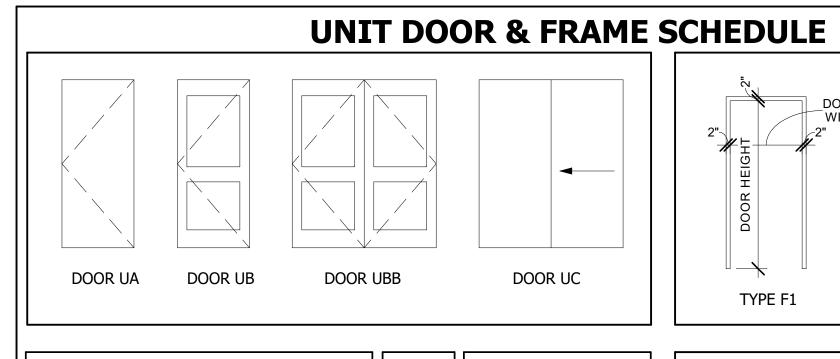


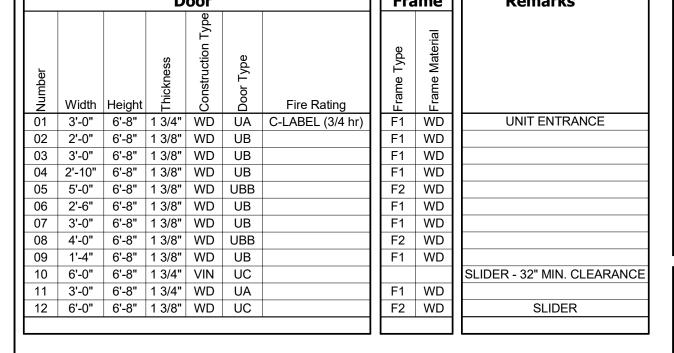
> Mark	Width	Height	Rough Width	Rough Height	Window Type
Α	3'-0"	6'-0"	36 1/4"	72"	SH
В	2'-6"	4'-6"	30"	54"	SH
С	6'-0 1/8"	6'-0"	72 5/8"	72"	SH
E	6'-0 1/8"	5'-0"	72 5/8"	60"	SH
F	3'-0"	5'-0"	36 1/4"	60"	SH
G	2'-6"	5'-0"	30"	60"	F
Wi	ndow Type	e Key	Glazin	g	Fra
F	Fixed		🗆 Sing	gle	
SH			🔳 Dou		
D⊦	1 Double H	Hung	🗆 Trip	le	

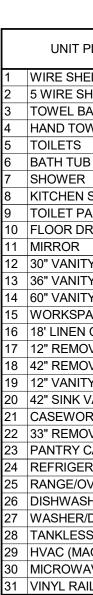


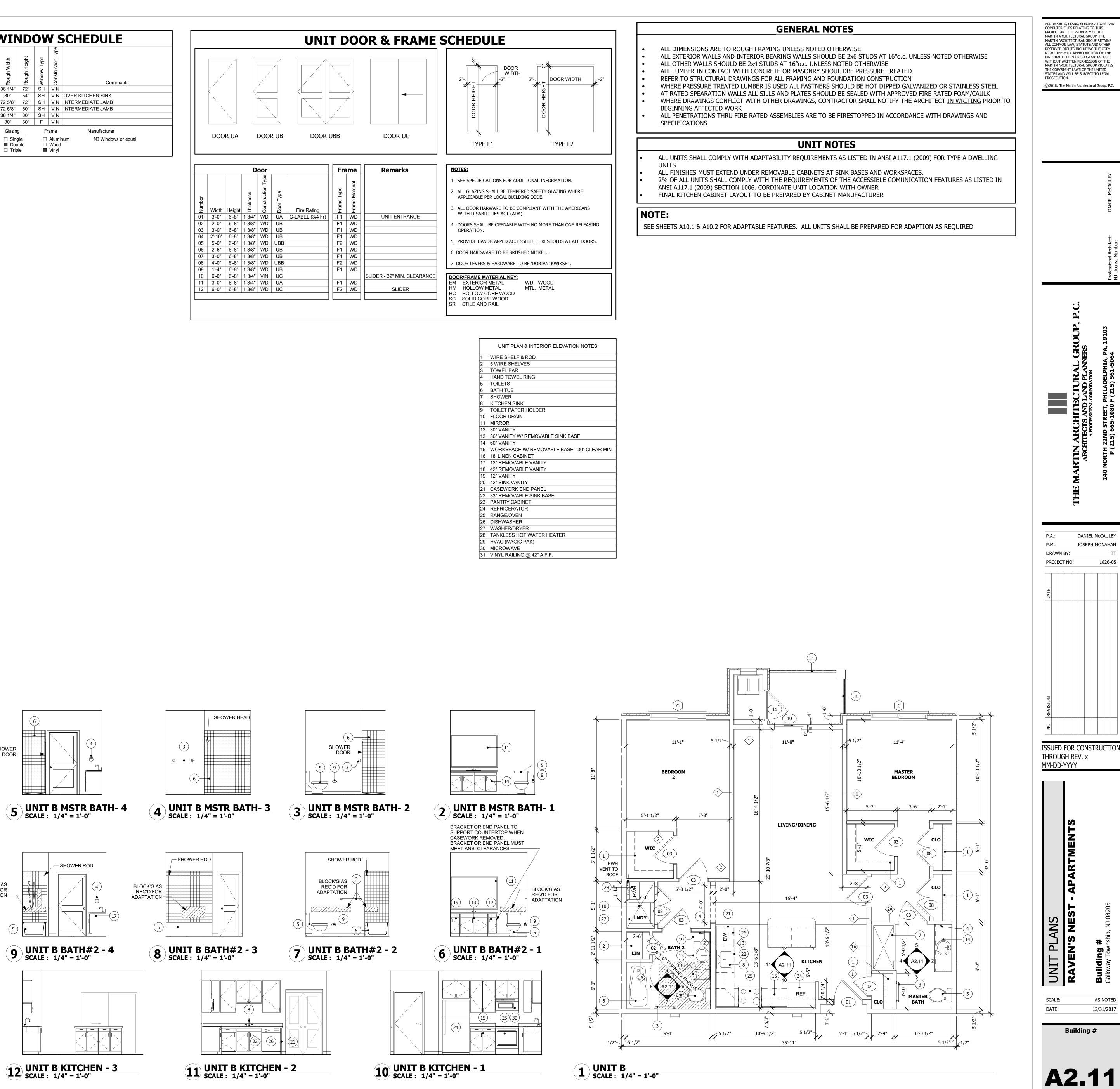


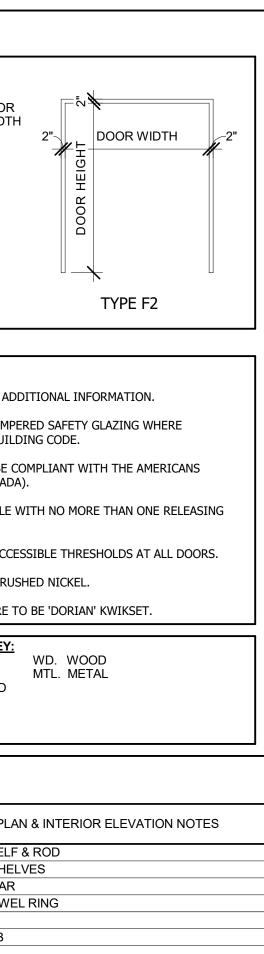










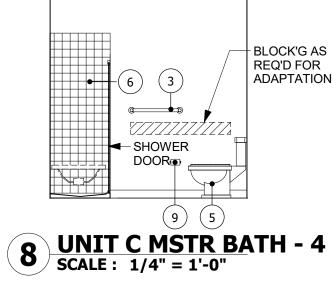


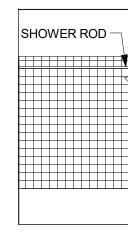
SINK
PER HOLDER
AIN
(
YW/REMOVABLE SINK BASE
(
CE W/ REMOVABLE BASE - 30" CLEAR MI
CABINET
VABLE VANITY
VABLE VANITY
(
ANITY
RK END PANEL
/ABLE SINK BASE
ABINET
ATOR
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IER
DRYER
HOT WATER HEATER
GIC PAK)



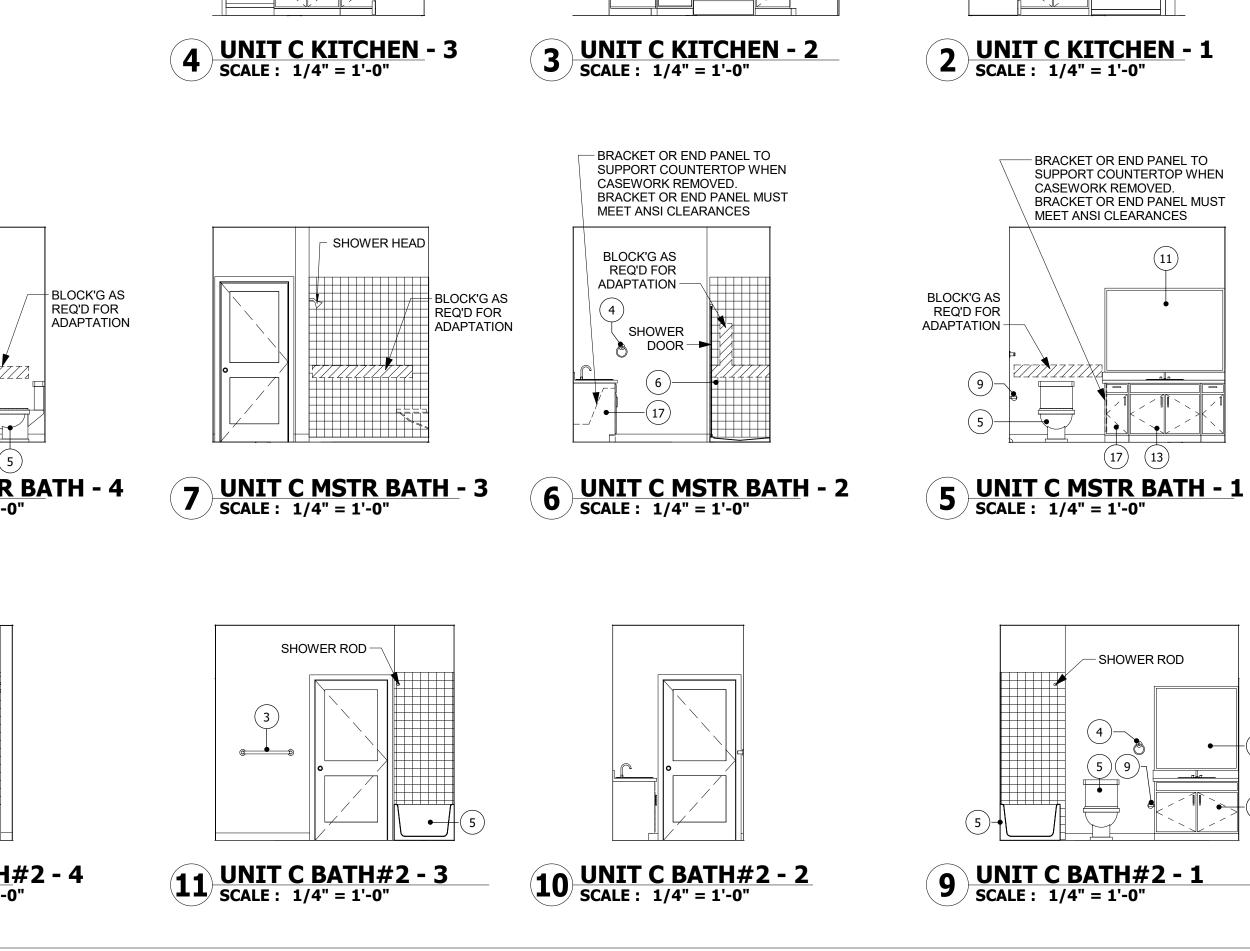
© 2018, The Martin Architectural Group, P.C.

			NI	ND	01
≻ Mark	Width	Height	Rough Width	Rough Height	い Window Type
Α	3'-0"	6'-0"	36 1/4"	72"	S⊦
В	2'-6"	4'-6"	30"	54"	S⊦
С	6'-0 1/8"	6'-0"	72 5/8"	72"	S⊦
Е	6'-0 1/8"	5'-0"	72 5/8"	60"	S⊦
F	3'-0"	5'-0"	36 1/4"	60"	S⊦
G	2'-6"	5'-0"	30"	60"	F
F Sl	/indow Typ Fixed H Single H H Double I	ung	Glazin Gla	gle Jble	[
		-			





12 UNIT C BATH#2 - 4 SCALE: 1/4" = 1'-0"

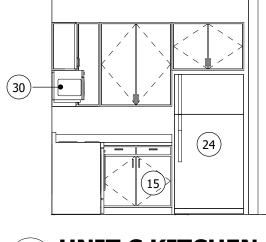


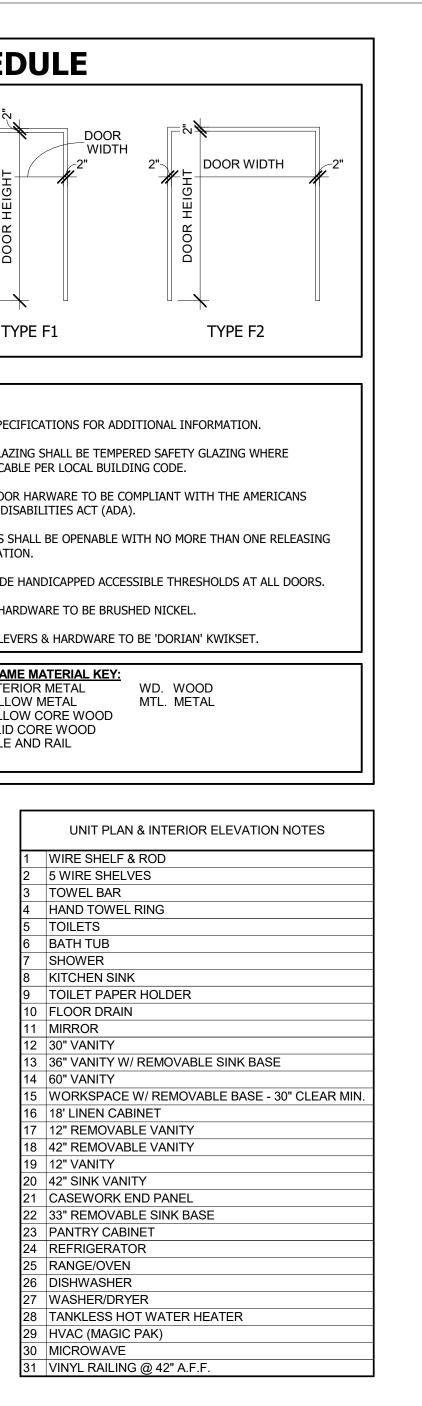
(8)

8 22 30

26

21)-----





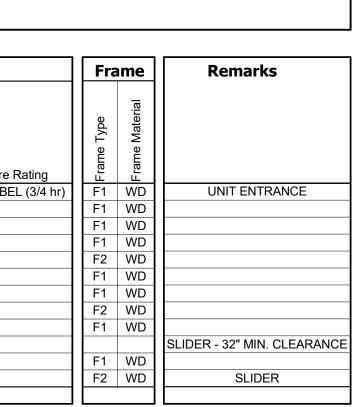
ļ		me	Fra	Door									
		Frame Material	Frame Type	Fire Rating	Door Type	Construction Type	Thickness	Height	Width	Number			
	1	WD	F1	C-LABEL (3/4 hr)	UA	WD	1 3/4"	6'-8"	3'-0"	01			
	11	WD	F1		UB	WD	1 3/8"	6'-8"	2'-0"	02			
		WD	F1		UB	WD	1 3/8"	6'-8"	3'-0"	03			
		WD	F1		UB	WD	1 3/8"	6'-8"	2'-10"	04			
		WD	F2		UBB	WD	1 3/8"	6'-8"	5'-0"	05			
	1 [WD	F1		UB	WD	1 3/8"	6'-8"	2'-6"	06			
		WD	F1		UB	WD	1 3/8"	6'-8"	3'-0"	07			
		WD	F2		UBB	WD	1 3/8"	6'-8"	4'-0"	08			
		WD	F1		UB	WD	1 3/8"	6'-8"	1'-4"	09			
SLIDER					UC	VIN	1 3/4"	6'-8"	6'-0"	10			
		WD	F1		UA	WD	1 3/4"	6'-8"	3'-0"	11			
	Iſ	WD	F2		UC	WD	1 3/8"	6'-8"	6'-0"	12			

 \sim

DOOR UB

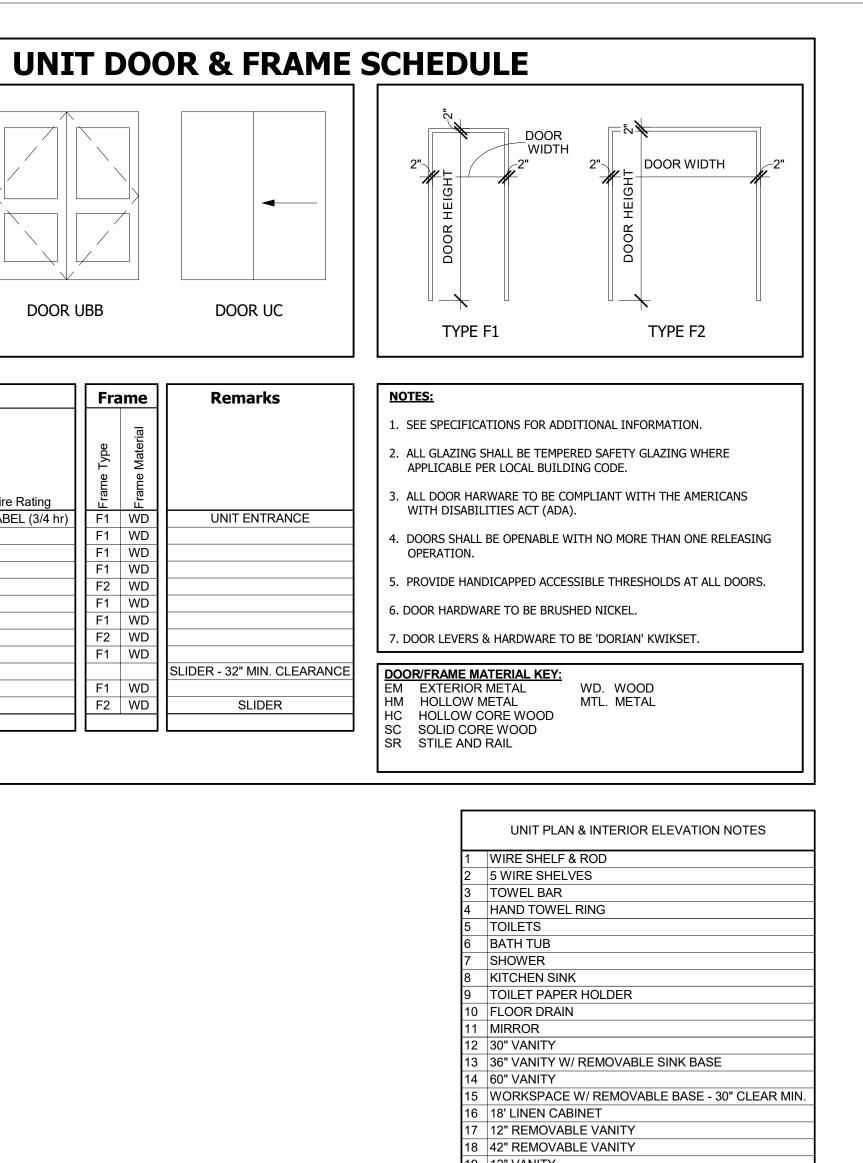
DOOR UBB

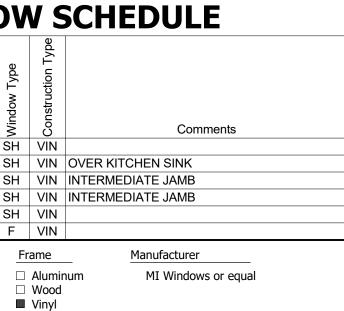
DOOR UA

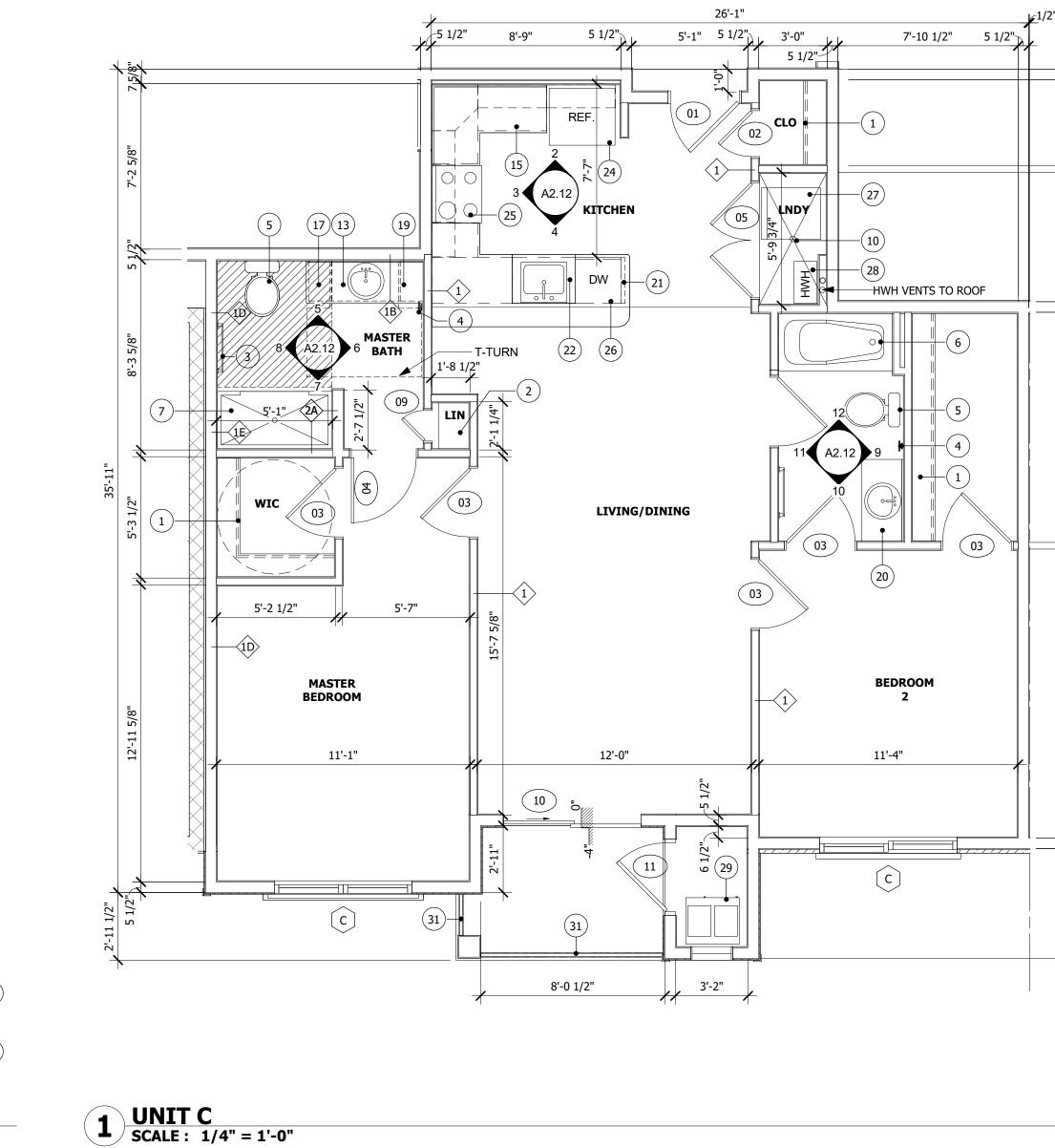


-

DOOR UC







GENERAL	NOTES

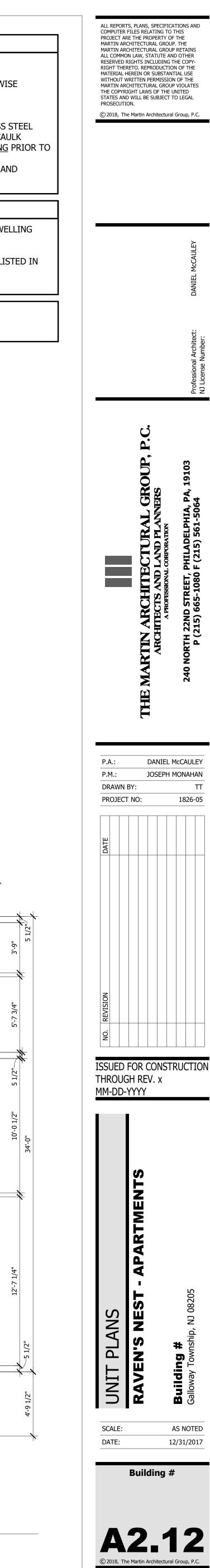
- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16" o.c. UNLESS NOTED OTHERWISE
- ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOUL DBE PRESSURE TREATED REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
- WHERE PRESSURE TREATED LUMBER IS USED ALL FASTNERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AT RATED SPEARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
- WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK
- ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS

UNIT NOTES

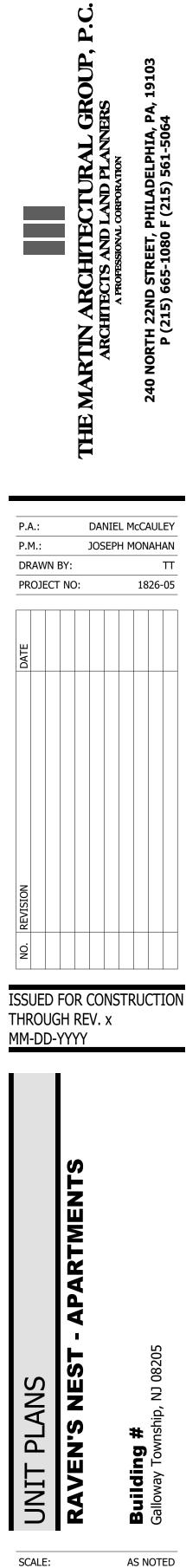
- ALL UNITS SHALL COMPLY WITH ADAPTABILITY REQUIREMENTS AS LISTED IN ANSI A117.1 (2009) FOR TYPE A DWELLING UNITS
- ALL FINISHES MUST EXTEND UNDER REMOVABLE CABINETS AT SINK BASES AND WORKSPACES. 2% OF ALL UNITS SHALL COMPLY WITH THE REQUIREMENTS OF THE ACCESSIBLE COMUNICATION FEATURES AS LISTED IN
- ANSI A117.1 (2009) SECTION 1006. CORDINATE UNIT LOCATION WITH OWNER FINAL KITCHEN CABINET LAYOUT TO BE PREPARED BY CABINET MANUFACTURER

NOTE:

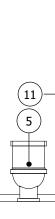
SEE SHEETS A10.1 & A10.2 FOR ADAPTABLE FEATURES. ALL UNITS SHALL BE PREPARED FOR ADAPTION AS REQUIRED

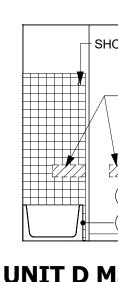


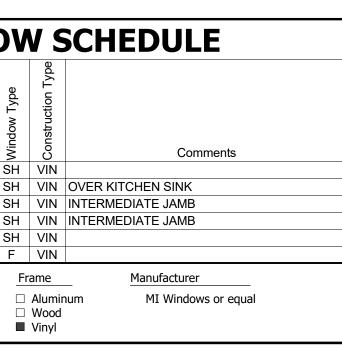


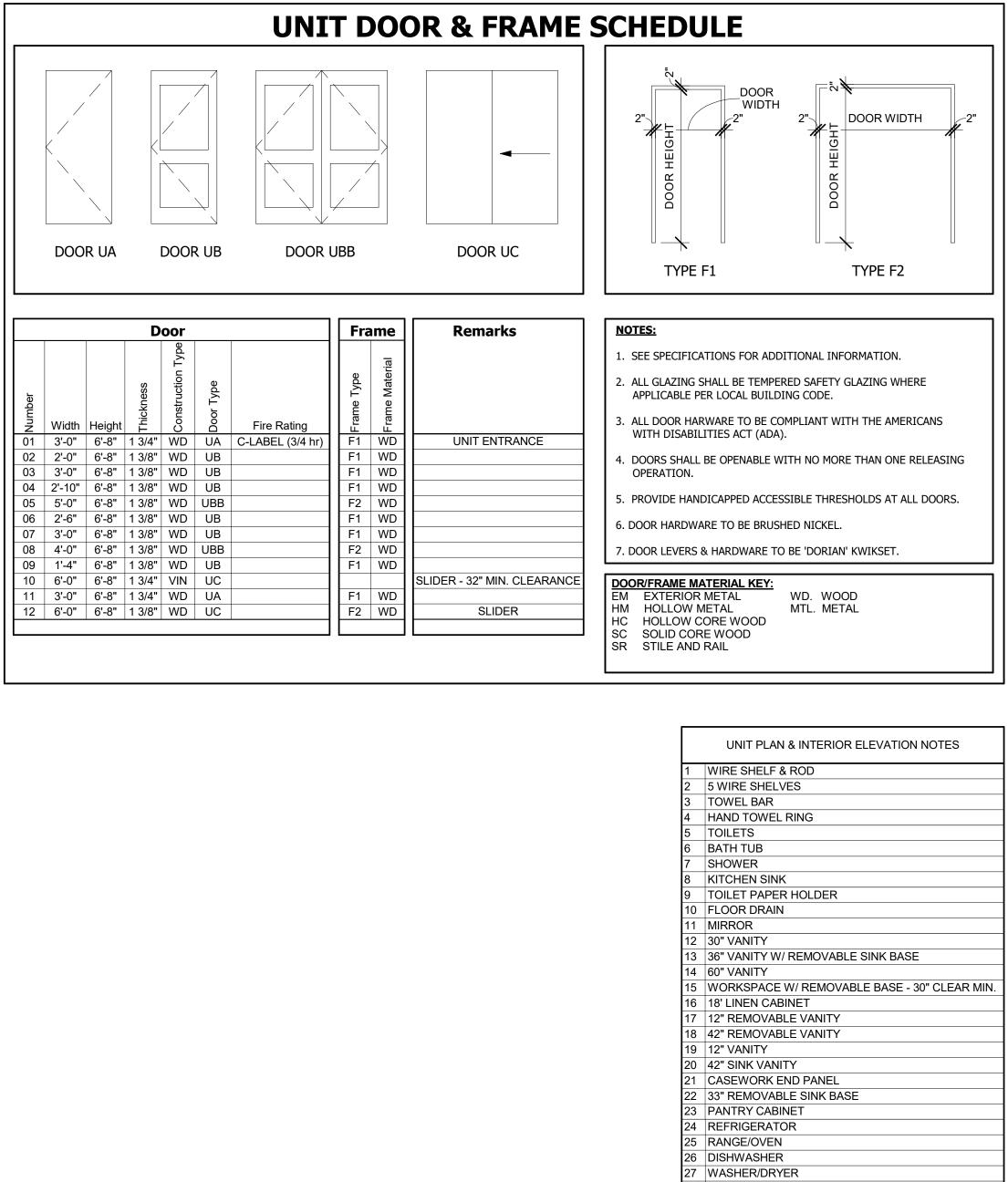


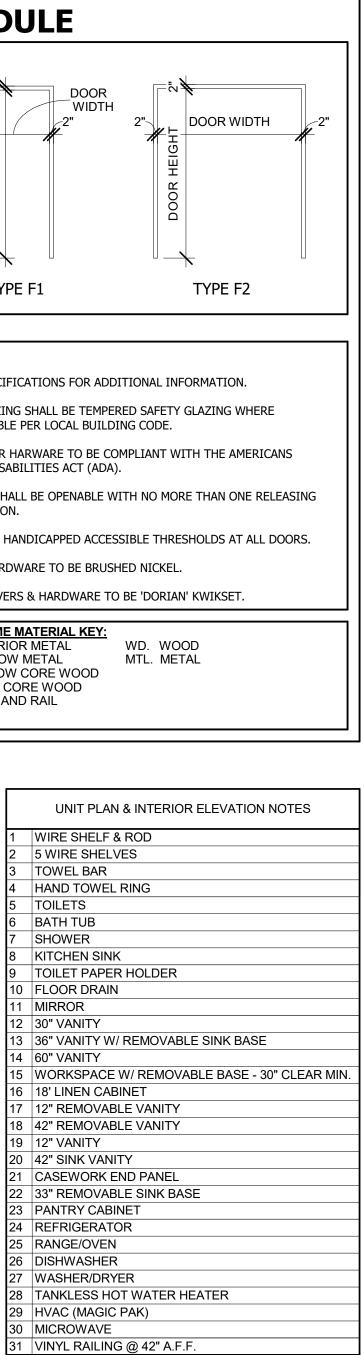
		١	NIN	ND	0
> Mark	Width	Height	Rough Width	Rough Height	い Window Type
Α	3'-0"	6'-0"	36 1/4"	72"	SF
В	2'-6"	4'-6"	30"	54"	S⊦
С	6'-0 1/8"	6'-0"	72 5/8"	72"	S⊦
Е	6'-0 1/8"	5'-0"	72 5/8"	60"	S⊦
F	3'-0"	5'-0"	36 1/4"	60"	S⊦
G	2'-6"	5'-0"	30"	60"	F
F SI	/indow Typ Fixed H Single H H Double I	ung	Glazin Gl	gle Ible	- [[

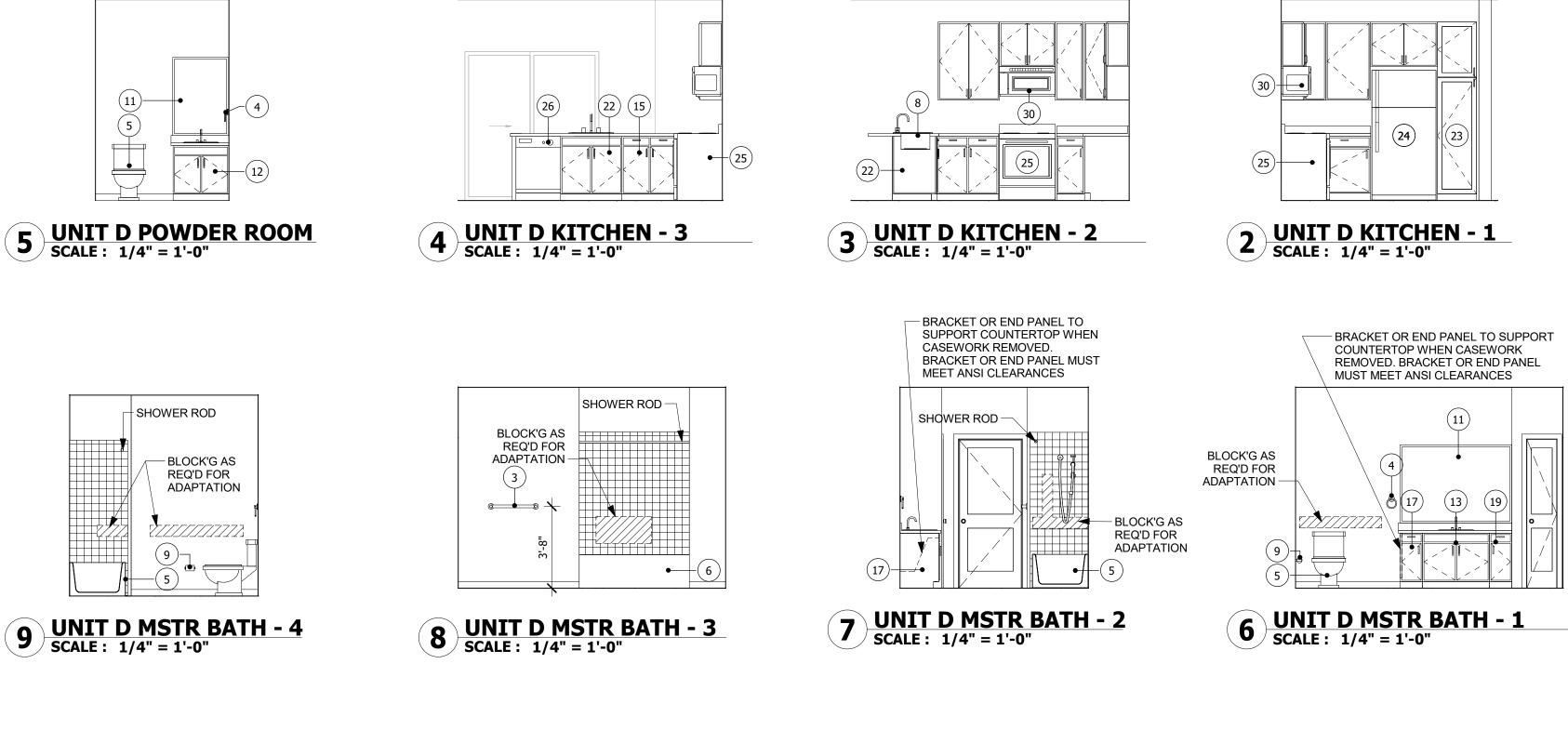


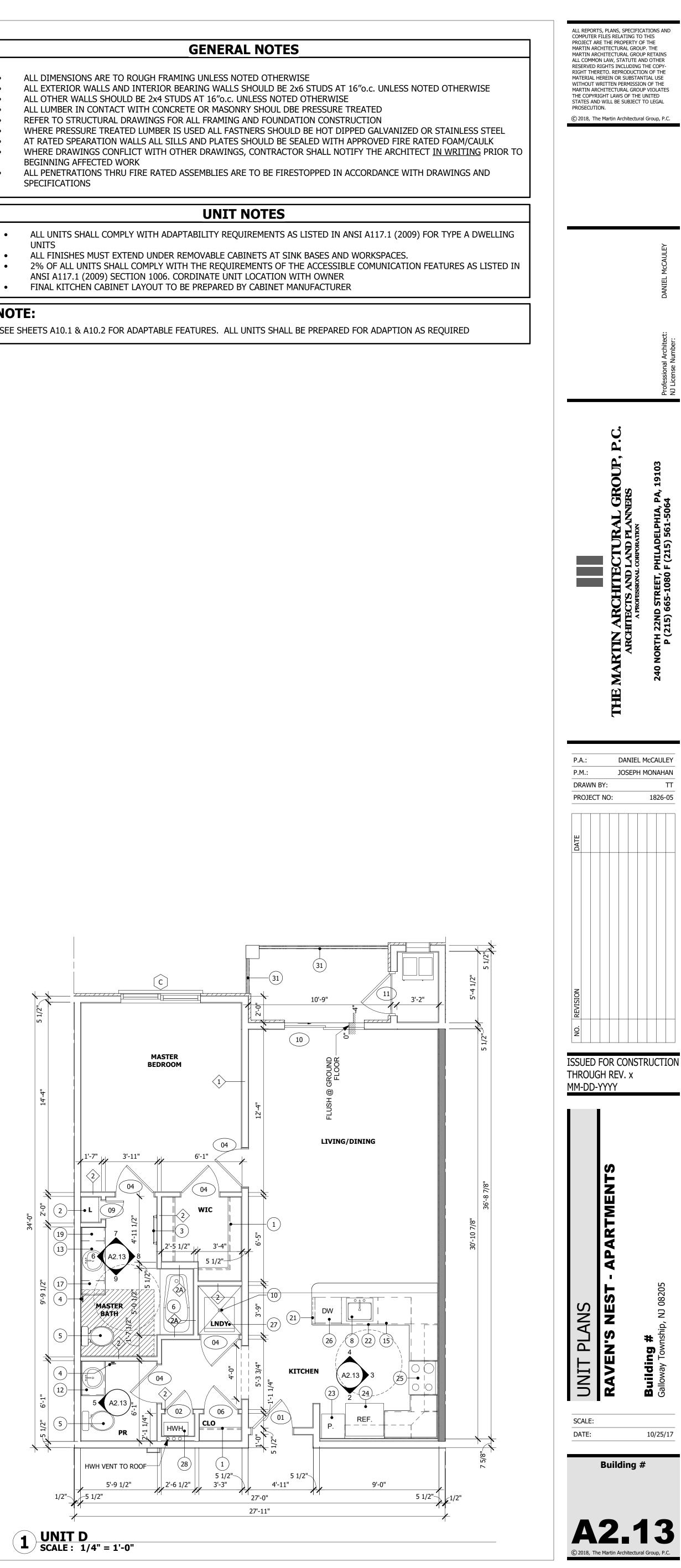










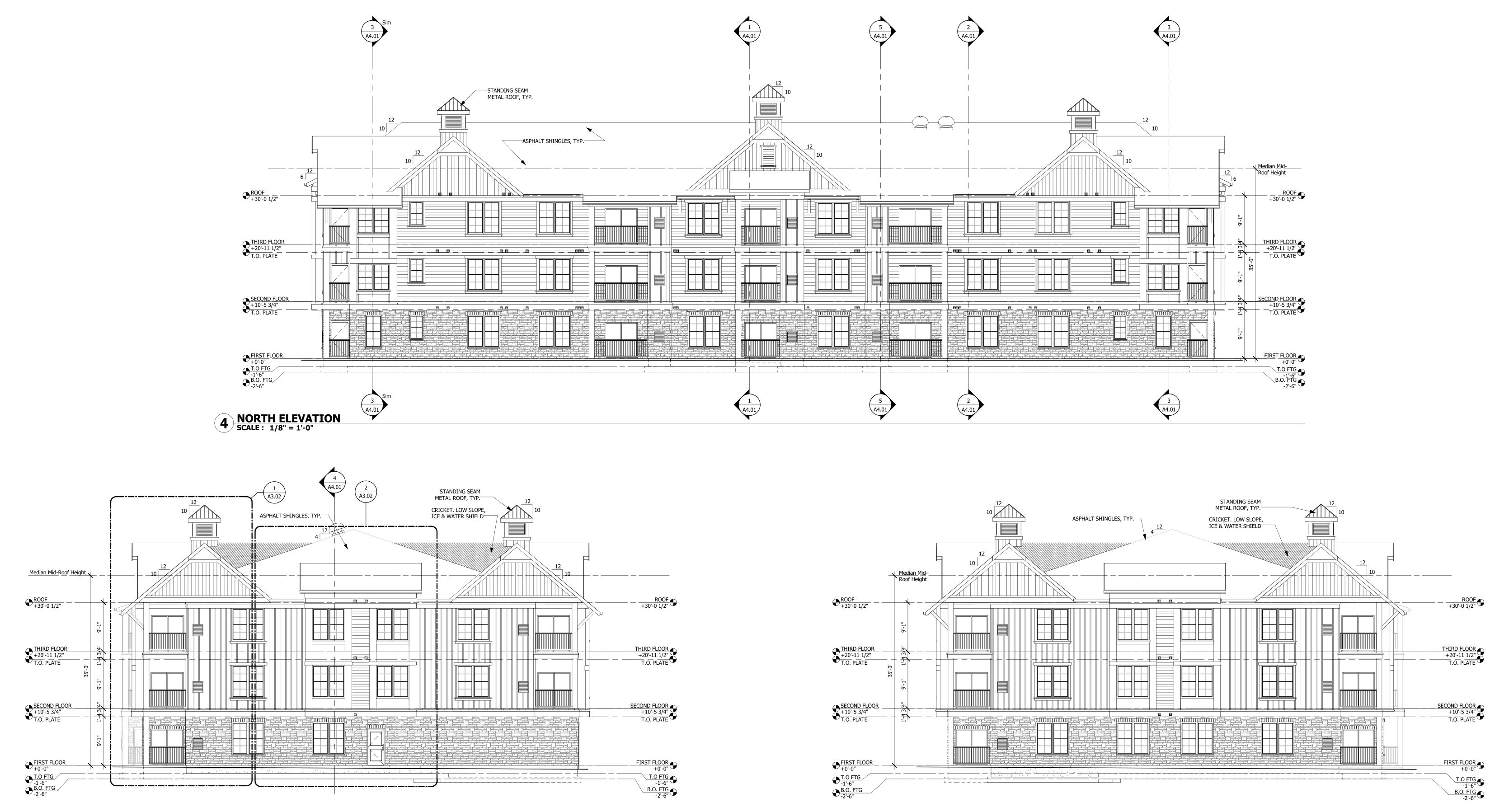


- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE

- SPECIFICATIONS

NOTE:

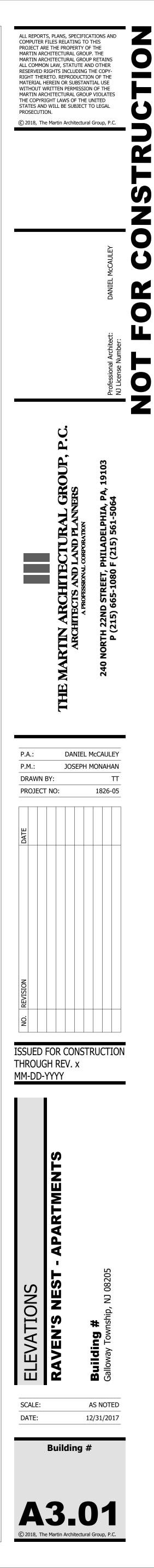
SEE SHEETS A10.1 & A10.2 FOR ADAPTABLE FEATURES. ALL UNITS SHALL BE PREPARED FOR ADAPTION AS REQUIRED



² WEST ELEVATION SCALE: 1/8" = 1'-0"



ed: 3/12/2018 10:09:23 AM



	ELEVATION KEYNOTE LEGEND
MARK	DESCRIPTION
03 001	CONCRETE FOOTING
03 002	CONCRETE FOUNDATION
03 003	CONCRETE SIDEWALK/CONC. PAD
04 003	MANUFACTURED STONE VENEER
04 006	PRECAST CAP
04 007	MANUFACTURED STONE SOLDIER HEADER
05 001	PAINTED METAL RAILINGS
05 002	GUTTERS
06 001	PVC PANEL
06 002	5/4 x 8 PVC TRIM
06 003	5/4 x 10 PVC TRIM
06 004	5/4 x 12 PVC TRIM
06 005	5/4 x 16 PVC TRIM
06 006	5/4 x 4 PVC TRIM
06 007	PVC LOUVER
06 008	PVC BRACKET
06 009	PVC COLUMUN WRAP
06 010	8/4 x 4 PVC TRIM
06 012	4/4 x 6 PVC TRIM
06 020	5/4 x 4 VINYL TRIM
06 021	5/4 x 6 VINYL TRIM
07 003	ASPHALT SHINGLES
07 004	STANDING SEAM METAL ROOF
07 005	PVC PANEL (WOOD GRAIN)
07 006	PVC PANEL (SMOOTH)
07 007	VINYL VERTICAL SIDING "CERTAIN TEED" OR
07 008	VINYL HORIZONTAL SIDING "CERTAIN TEED"
07 009	VINYL BATTEN BOARD "CERTAIN TEED" OR E
08 001	MECH. EQUIP. LOUVER
08 002	OVERHEAD GARAGE DOOR





- 07 003

-07 005

-(06 010)

- (05 002)

-(05 002)

- 06 020

-06 020

- 06 021

-07 007

- 06 020

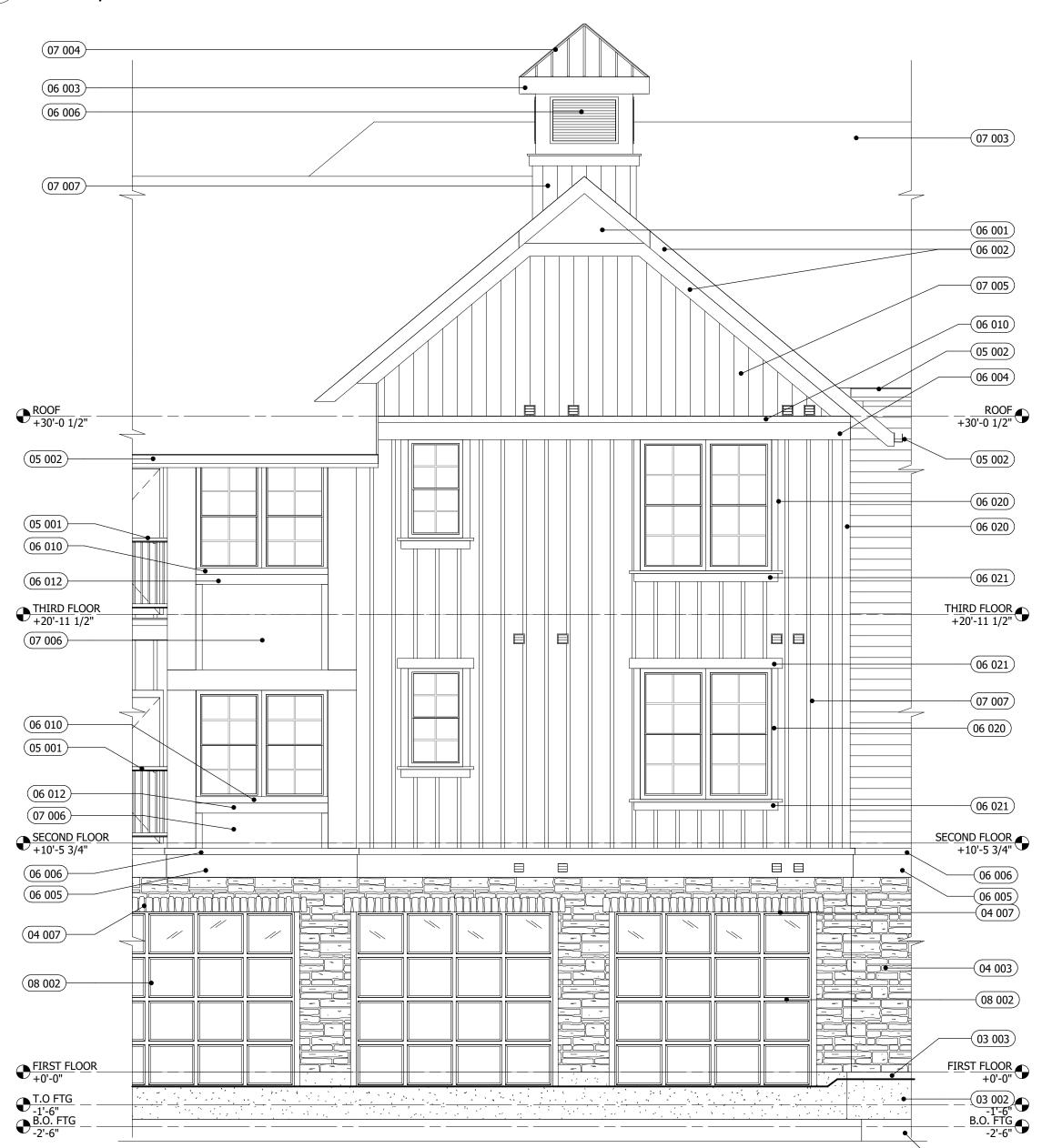
-03 003

FIRST FLOOR +0'-0"

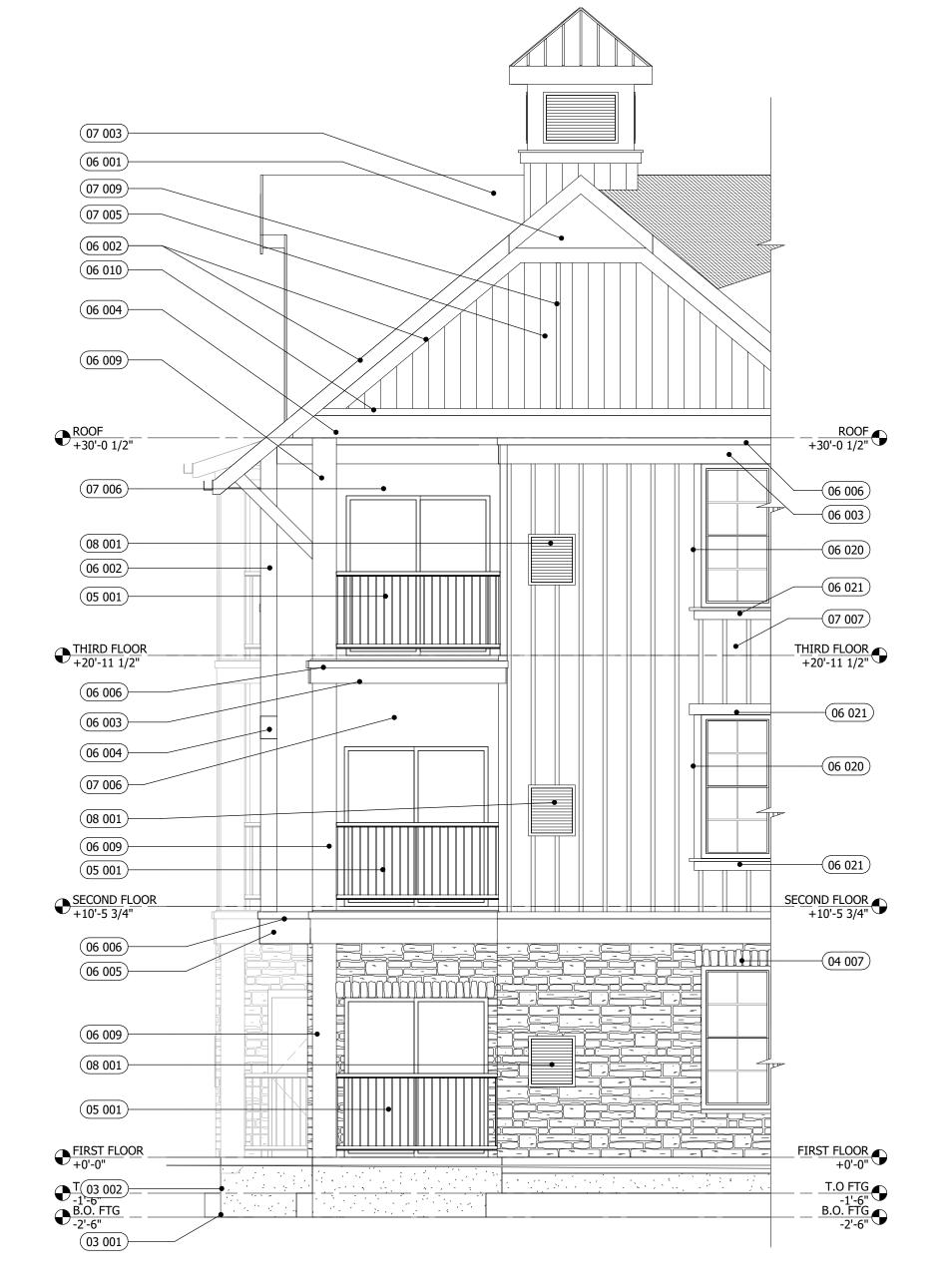
-1'-6" -1'-6" -2'-6"

-(03 001)





1 ENLARGED ELEVATION 1 SCALE : 1/4" = 1'-0"



2 ENLARGED ELEVATION 2 SCALE : 1/4" = 1'-0"

- 05 002

- <u>ROOF</u> +30'-0 1/2" -06 004

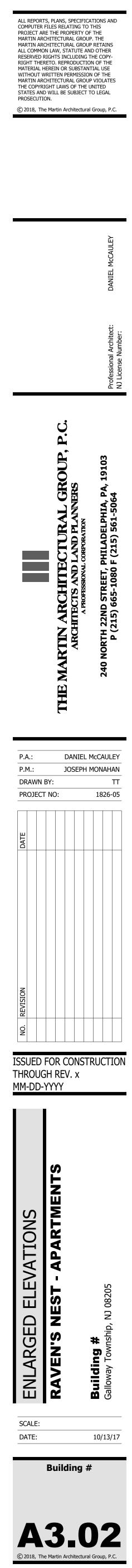
(06 005)

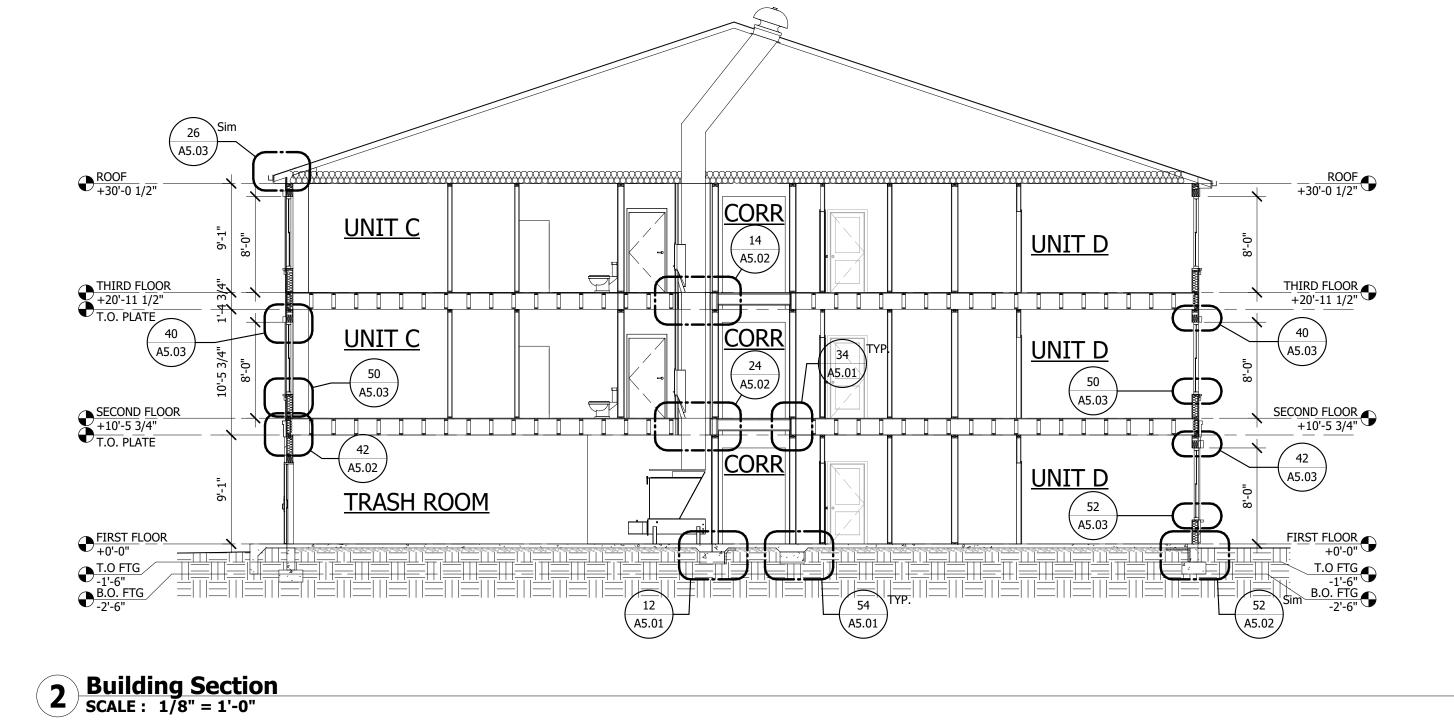
THIRD FLOOR +20'-11 1/2"

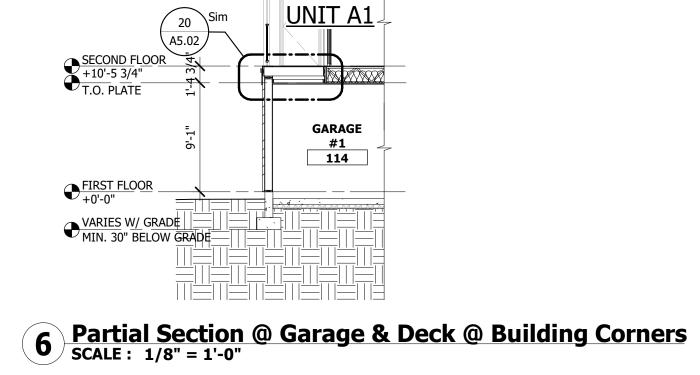
-(06 006) SECOND FLOOR +10'-5 3/4" -06 005

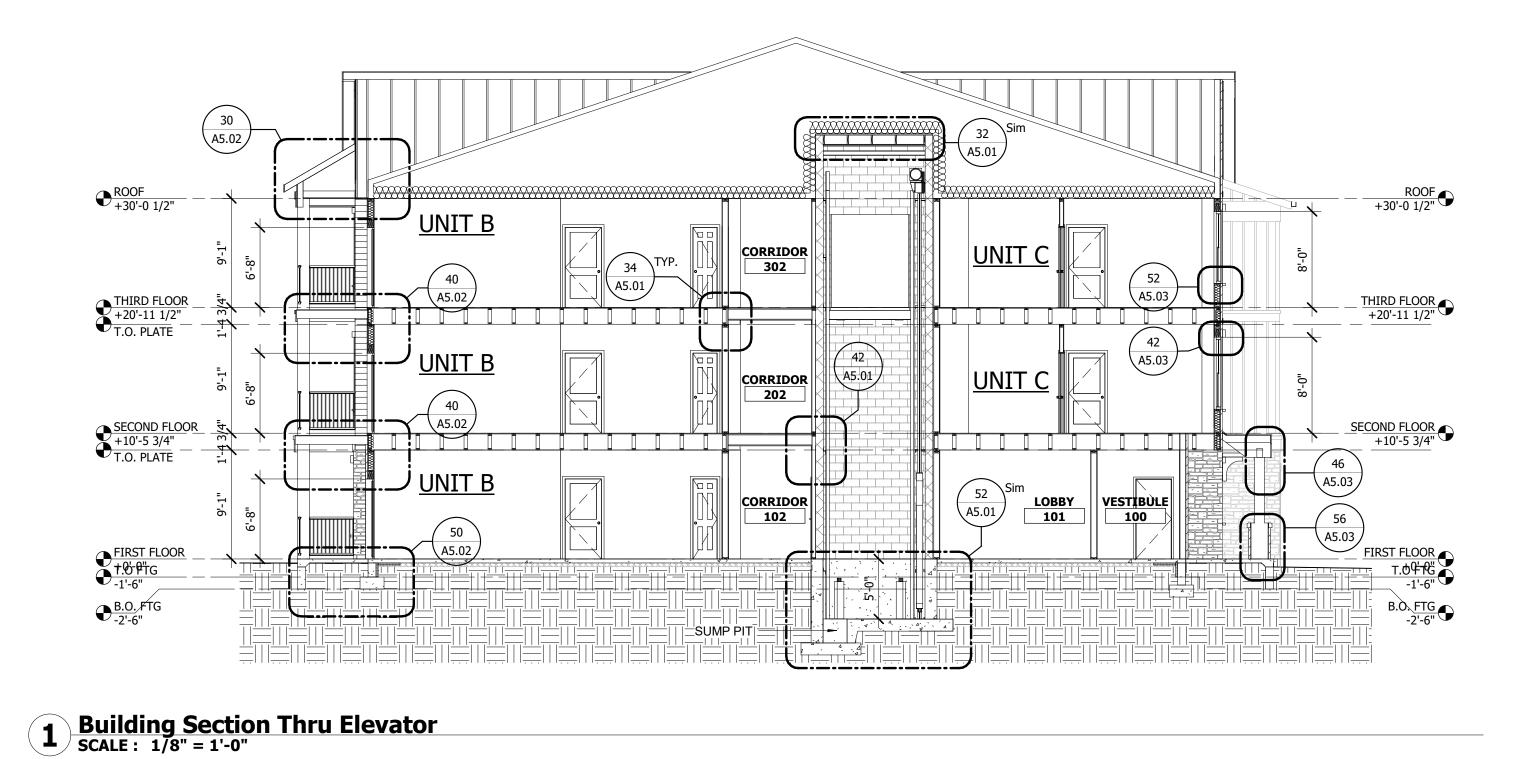
-(03 003)

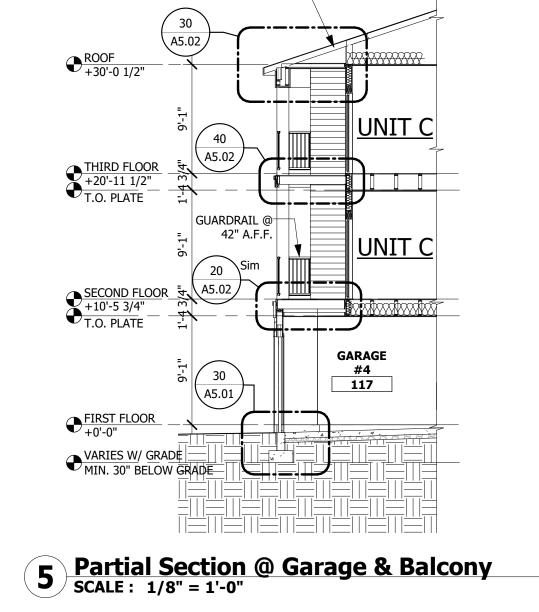
FIRST FLOOR +0'-0" $-\frac{\text{T.O FTG}}{-1'-6"} \bigcirc$ $-\frac{\text{B.O. FTG}}{-2'-6"} \bigcirc$







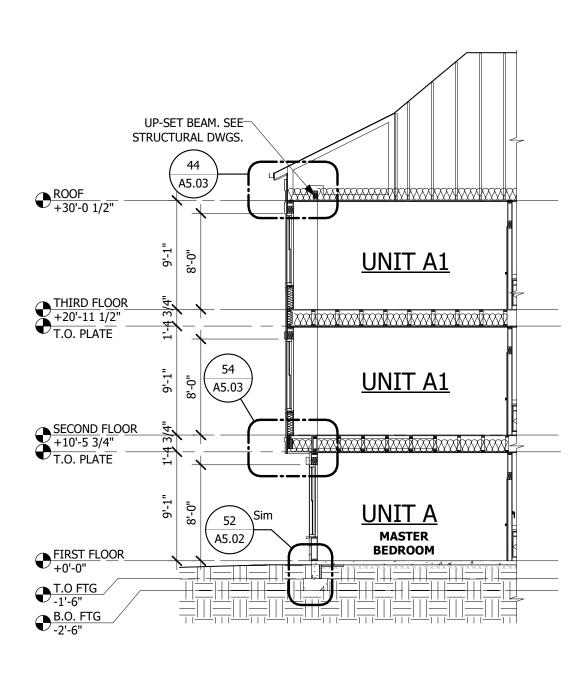




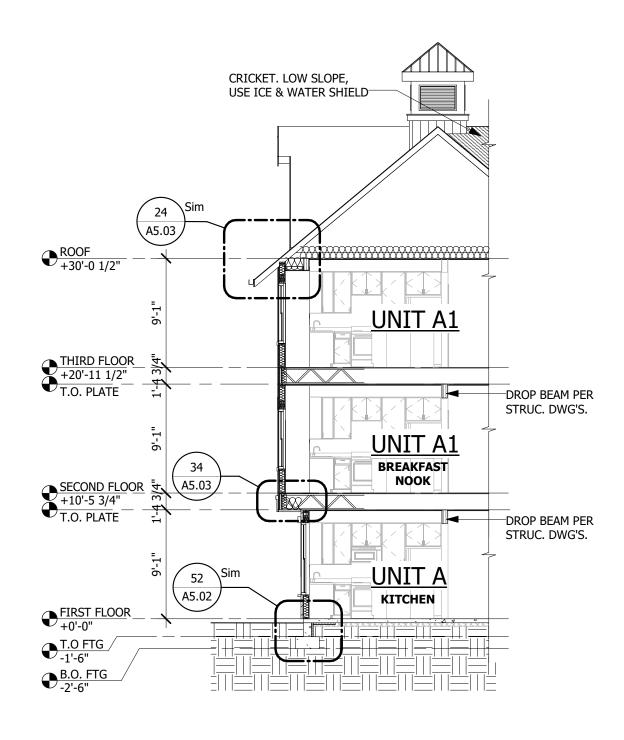
2x6 SISTERED TO TRUSSES.-

SEE STRUCTURAL DWGS.

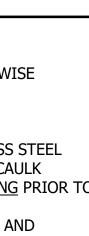


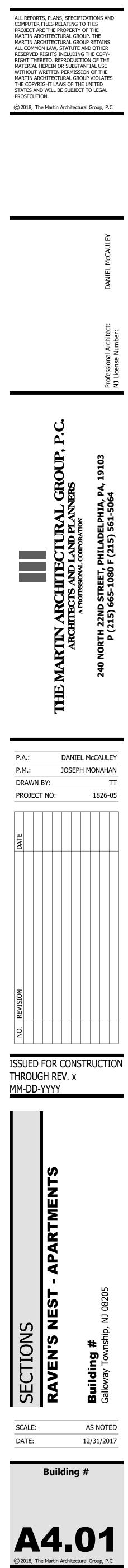


GENERAL NOTES ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16" o.c. UNLESS NOTED OTHERWISE ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16" o.c. UNLESS NOTED OTHERWISE ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOUL DBE PRESSURE TREATED REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION WHERE PRESSURE TREATED LUMBER IS USED ALL FASTNERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AT RATED SPEARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS

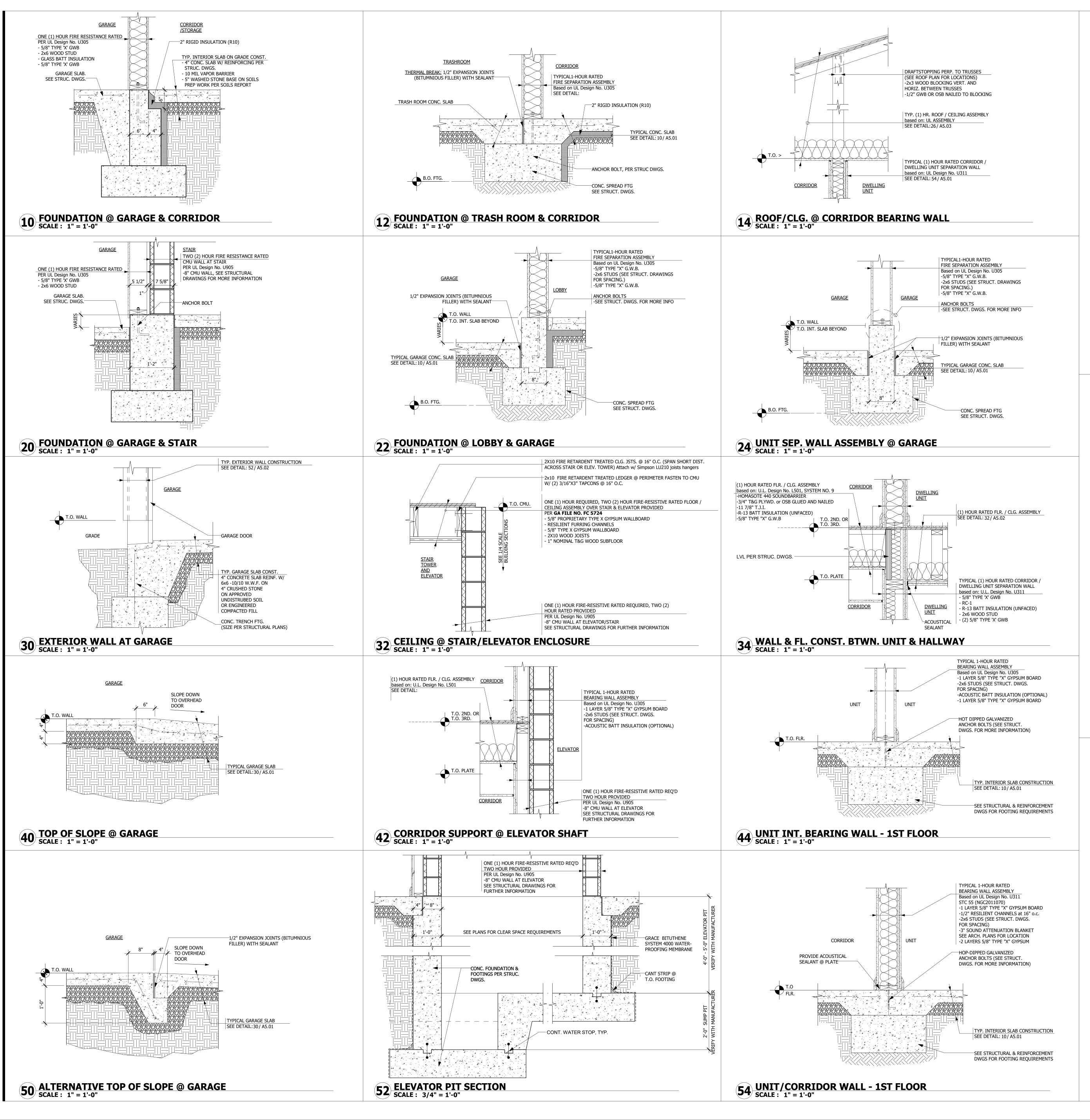


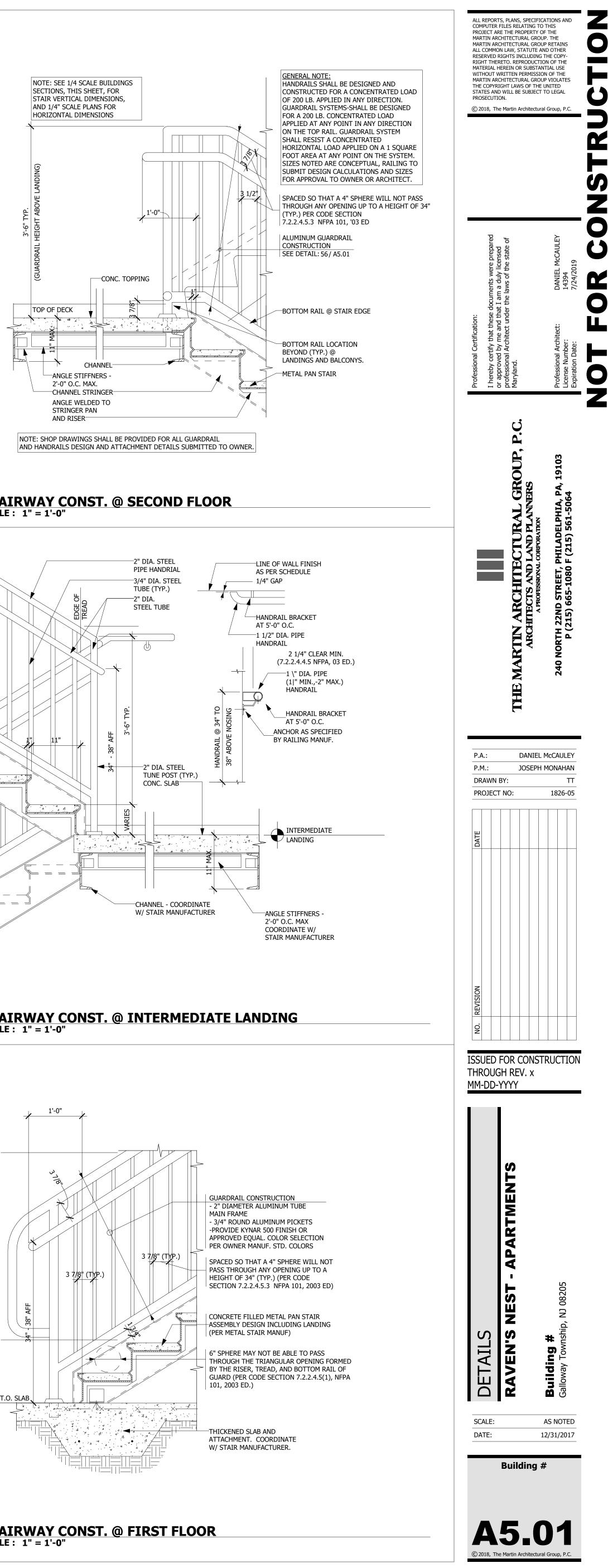
3 Partial Section @ Dining Rm Bump Out SCALE : 1/8" = 1'-0"

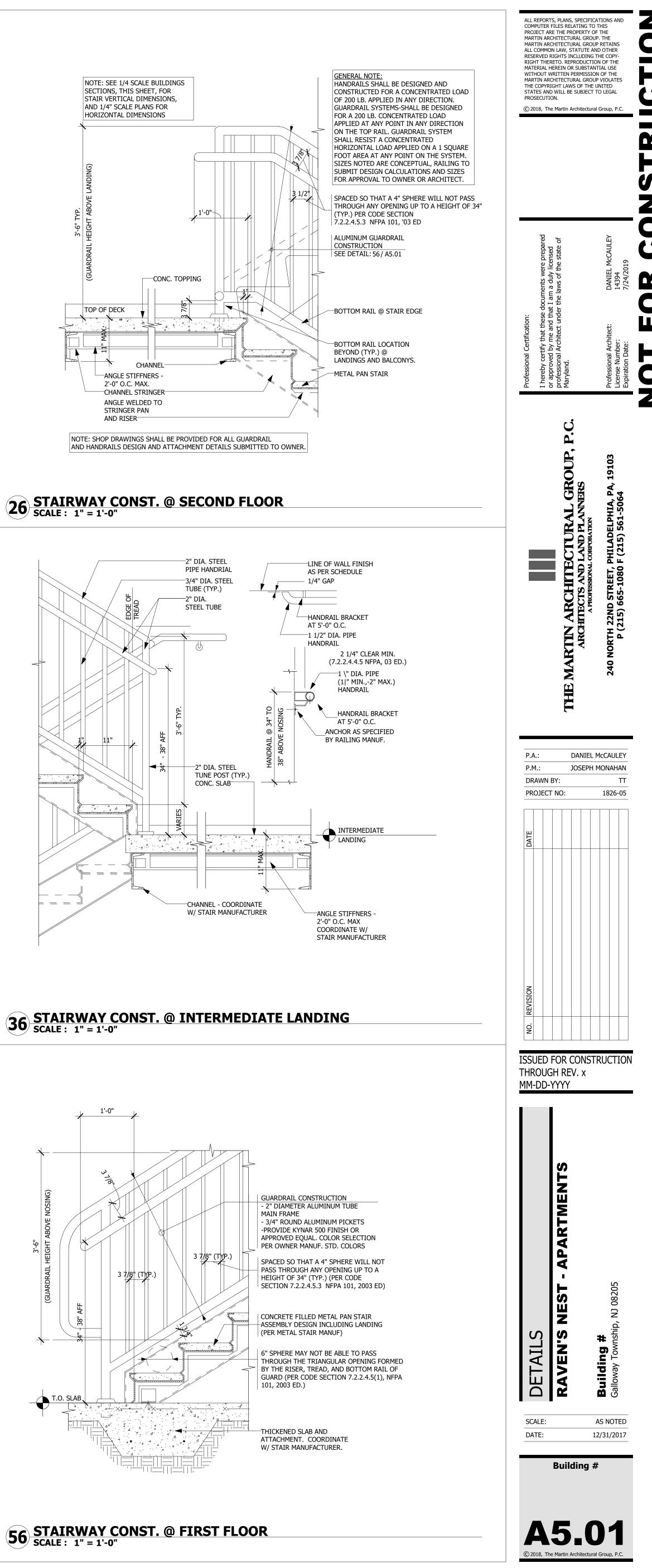


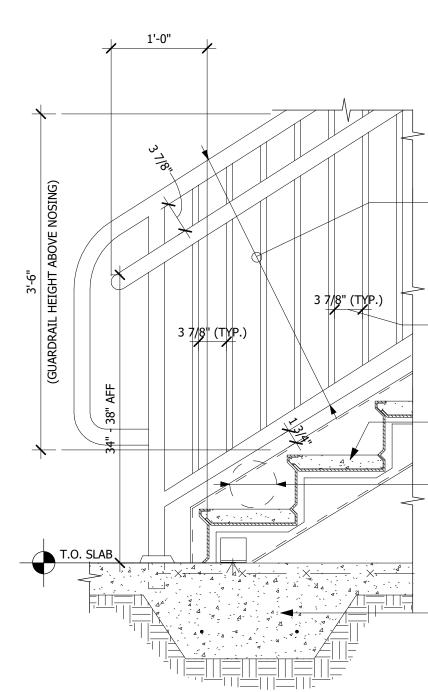


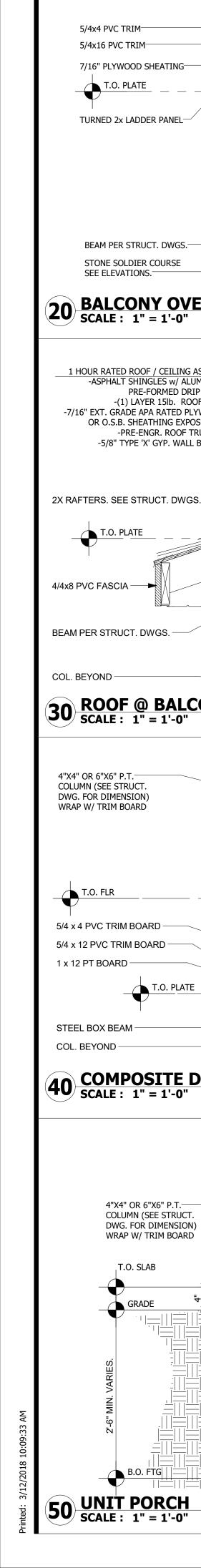
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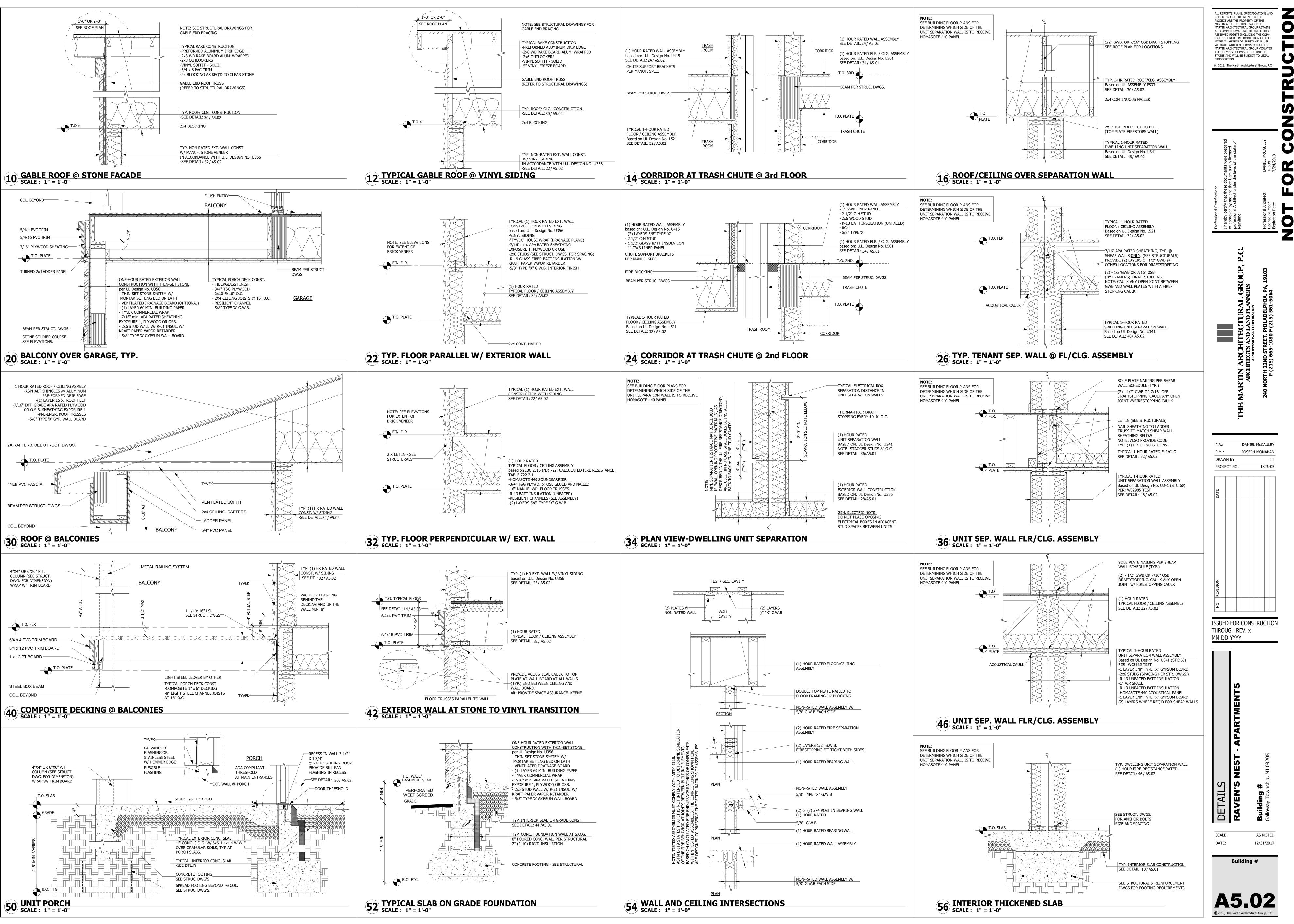


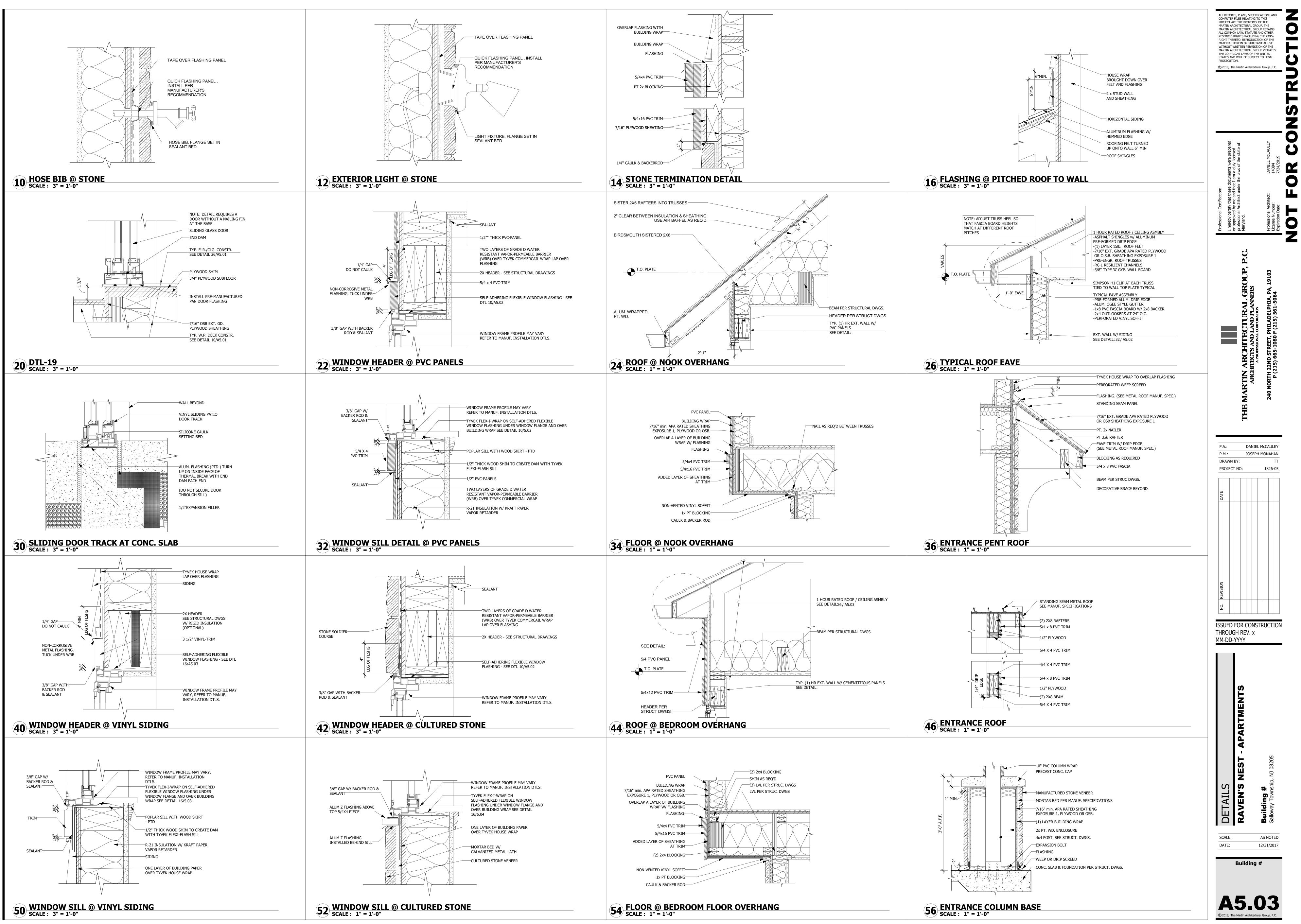


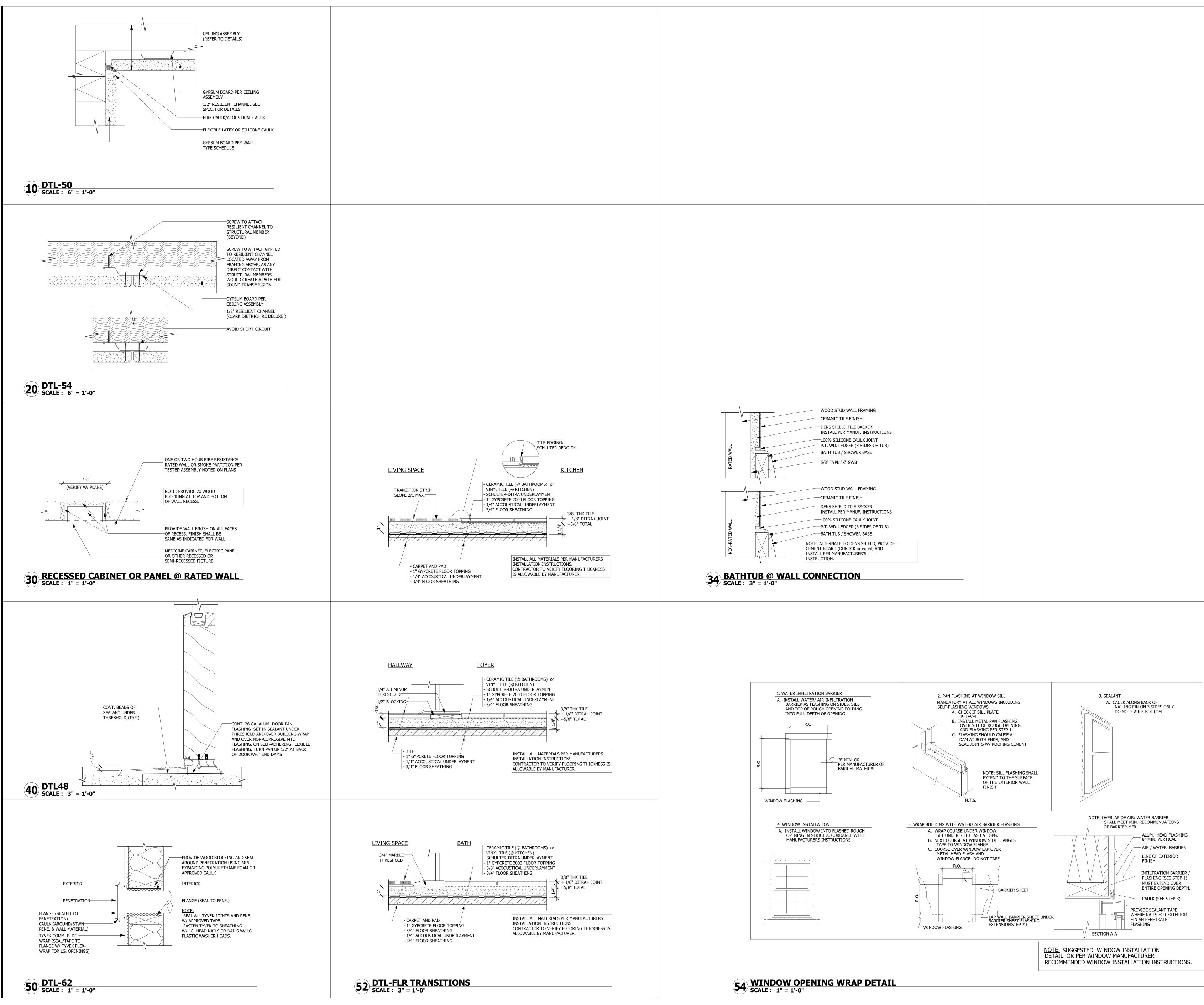




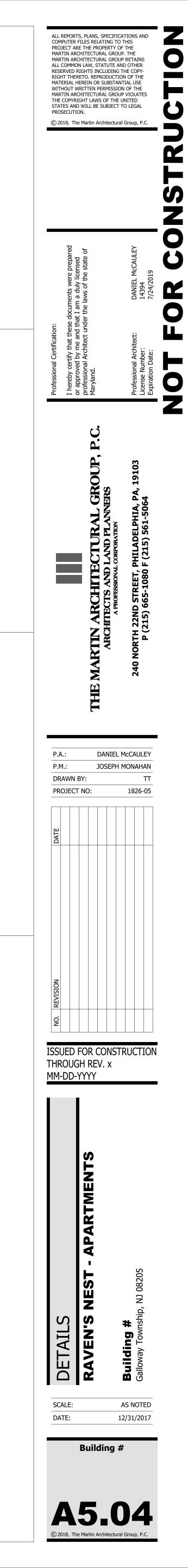


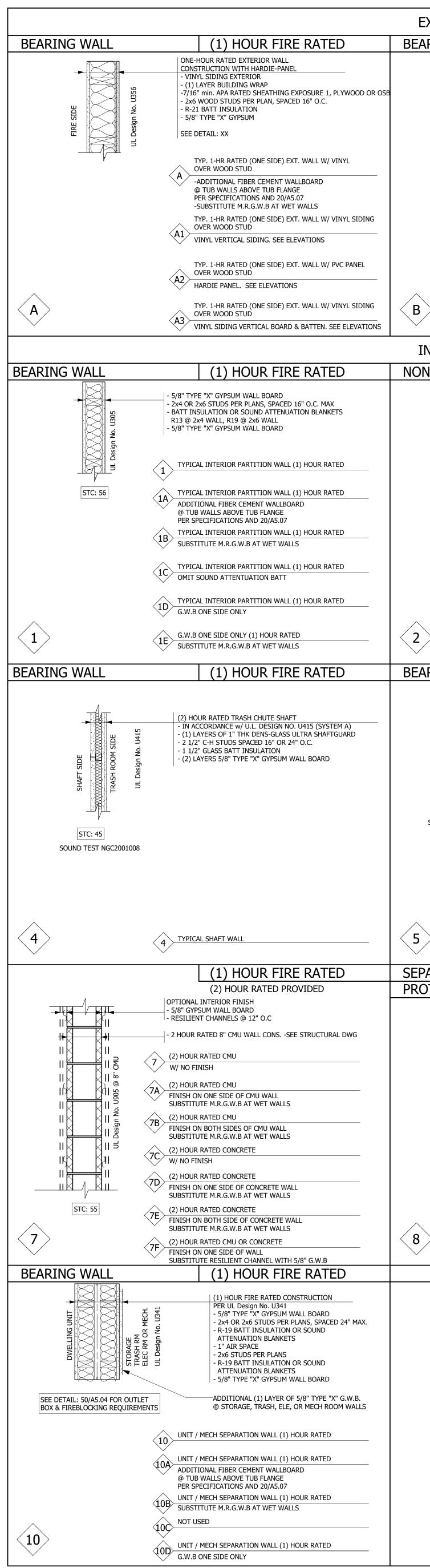




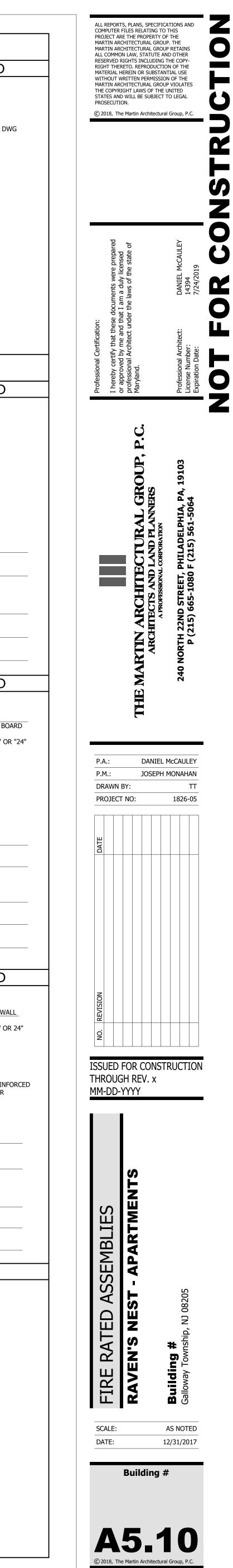


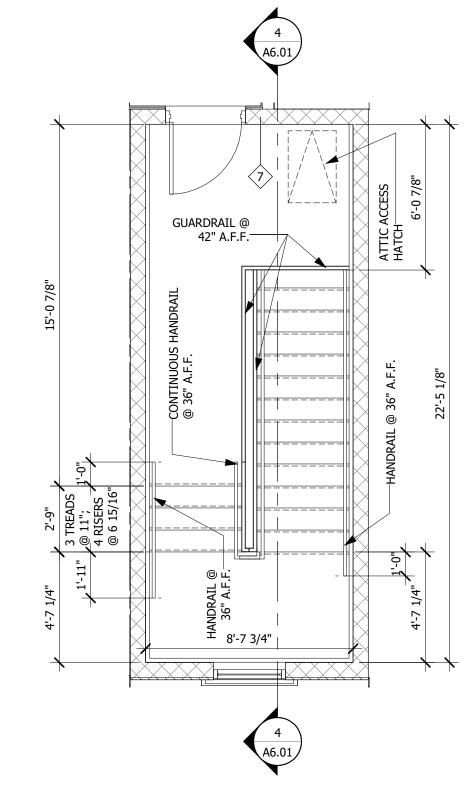
UD WALL FRAMING	
TILE FINISH	
ELD TILE BACKER ER MANUF. INSTRUCTIONS	
ICONE CAULK JOINT	
EDGER (3 SIDES OF TUB) / SHOWER BASE	
"X" GWB	
UD WALL FRAMING	
TILE FINISH	
ELD TILE BACKER ER MANUF. INSTRUCTIONS	
CONE CAULK JOINT	
EDGER (3 SIDES OF TUB)	
/ SHOWER BASE	
E TO DENS SHIELD, PROVIDE DUROCK or equal) AND	
DUROCK or equal) AND UFACTURER'S	
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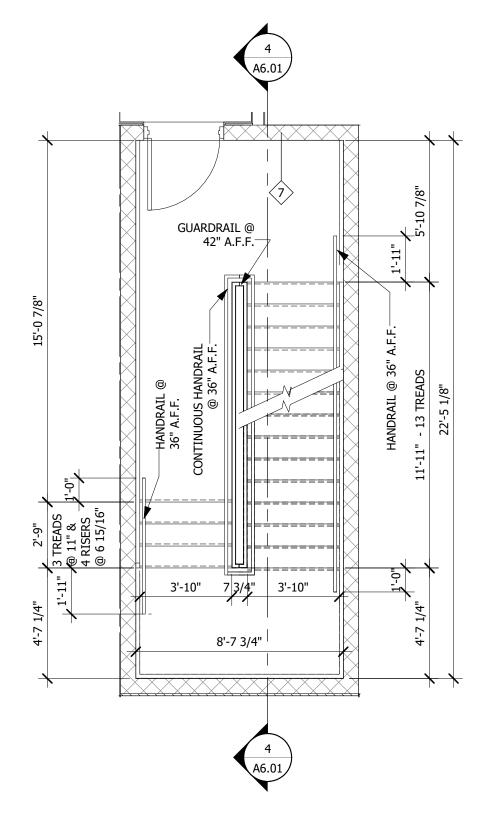


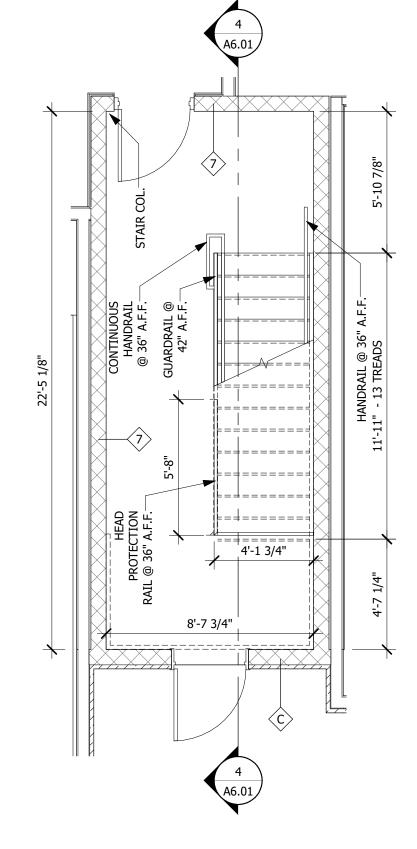
EXTERIOR PARTIT			
ARING WALL	ONE-HOUR RATED EXTERIOR WALL	BEARING WALL	(1) HOUR FIRE RATED (2) HOUR RATED PROVIDED
FIRE SIDE	CONSTRUCTION WITH MANUFACTURED STONE - 5/8" TYPE "X" GYPSUM - R-21 BATT INSULATION W/ KRAFT PAPER - 2x6 STUDS PER PLAN, SPACED 16" O.C7/16" min. APA RATED SHEATHING EXPOSURE 1, PLYWOOD OR OSB (2) LAYERS OF BUILDING WRAP OR BUILDING FELT - 2" STONE VENEER SEE DETAIL: XX		OPTIONAL INTERIOR FINISH - 5/8" GYPSUM WALL BOARD - RESILIENT CHANNELS @ 12" O.C - 2 HOUR RATED 8" CMU WALL CONSSEE STRUCTURAL DW ONE-HOUR RATED EXTERIOR WALL CONSTRUCTION WITH MANUFACTURED STONE - 2" STONE VENEER SYSTEM ON CMU
	B TYP. 1-HR RATED (ONE SIDE) EXT. WALL W/ MANUFACTURED STONE OVER WOOD STUD -ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/A5.07 -SUBSTITUTE M.R.G.W.B AT WET WALLS TYP. 1-HR RATED (ONE SIDE) EXT. WALL W/ MANUFACTURED STONE OVER WOOD STUD G.W.B ONE SIDE ONLY	UL Design No. U905 @ 8" CMU	ONE-HOUR RATED EXTERIOR WALL CONSTRUCTION WITH MANUFACTURED STONE - CEMENTITIOUS SIDING ON CMU
	B2 B2 B2 TYP. 1-HR RATED (ONE SIDE) EXT. WALL W/ MANUFACTURED STONE OVER WOOD STUD 2X8 WALL AT ELECTRIC AND GAS METERS ONLY	C	
INTERIOR PARTIT	ION TYPES	BEARING WALL	(1) HOUR FIRE RATED
- 5 - 2 - 8 R - 5 - 7 - 2 - 8 R - 5 - 7 - 2 - 8 R R - 5 - 2 - 8 R R - 5 - 7 - 8 R R - 5 - 7 - 8 R R - 5 - 7 - 7 - 8 - 8 - 9 - 9 - 9 - 9 - 9 - 9 - 9 - 9 - 9 - 9	/8" G.W.B X4 OR 2x6 STUDS PER PLANS ATT INSULATION OR SOUND ATTENUATION BLANKETS 13 @ 2x4 WALL, R19 @ 2x6 WALL /8" G.W.B TE: OVIDE 5/8" TYPE "X" ANDARD ALL WALLS 2 TYPICAL INTERIOR PARTITION WALL - NON RATED ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/A5.07 TYPICAL INTERIOR PARTITION WALL - NON RATED SUBSTITUTE M.R.G.W.B AT WET WALLS 2C TYPICAL INTERIOR PARTITION WALL - NON RATED SUBSTITUTE M.R.G.W.B AT WET WALLS 2C TYPICAL INTERIOR PARTITION WALL - NON RATED G.W.B ONE SIDE ONLY 2E G.W.B ONE SIDE ONLY SUBSTITUTE M.R.G.W.B AT WET WALLS (1) HOUR RATED MECH/CORR. SEPARATION WALL - (1) LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD - RESILIENT CHANNELS (CORRIDOR SIDE) - 2x4 OR 2x6 STUDS FER PLANS, SPACED 16" OR "24" - R-13 BATT INSULATION - (2) LAYERS 5/8" TYPE "X" GYPSUM WALL BOARD SEE DETAIL: 36/A5.04	BEARING WALL BEARING WALL Trin on units BEARING WALL Trin on units Trin on u	 S/8" TYPE "X" GYPSUM WALL BOARD 1/2" HOMASOTE 440 SOUND BOARD 2x6 SUDS PER PLANS, SPACED 24" MAX. R-19 BATT INSULATION OR SOUND ATTENUATION BLANKETS 1" AIR SPACE 2x6 STUDS PER PLANS R-19 BATT INSULATION OR SOUND ATTENUATION BLANKETS 5/8" TYPE "X" GYPSUM WALL BOARD SEE DETAIL: 58/A5.04 SEE DETAIL: 50/A5.04 FOR OUTLET BOX & FIREBLOCKING REQUIREMENTS TYPICAL UNIT SEPARATION WALL (1) HOUR RATED ADDITIONAL FIBER CEMENT WALLBOARD @ TUB WALLS ABOVE TUB FLANGE PER SPECIFICATIONS AND 20/A5.07 TYPICAL UNIT SEPARATION WALL (1) HOUR RATED SUBSTITUTE M.R.G.W.B AT WET WALLS NOT USED TYPICAL UNIT SEPARATION WALL (1) HOURS RATED G.W.B ONE SIDE ONLY (1) HOUR RATED CORR. SEPARATION WALL (1) HOUR RATED CORR. SEPARATION WALL - (1) LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD 2x4 OR 2x6 STUDS PER PLANS, SPACED 16" OR - R-13 BATT INSULATION 2x4 ON THE FLAT - 5/8" TYPE "X" GYPSUM WALL BOARD 2x4 ON THE FLAT - 5/8" TYPE "X" GYPSUM WALL BOARD
CORRIDOR	INIT/CORRIDOR SEPARATION WALL INIT/CORRIDOR SEPARATION WALL ADDITIONAL FIRER CEMENT WALLBOARD INIT/CORRIDOR SEPARATION WALL INIT/CORRIDOR SEPARATION ON SOURD ATTENNATION SEANETS INITINSULATION	Earing wall Image: Straight of the second	6 UNIT/CORRIDOR SEPARATION WALL 6A UNIT/CORRIDOR SEPARATION WALL 9 UNIT/MECH SEPARATION WALL 9 UNIT/MECH SEPARATION WALL 9A UNIT/MECH SEPARATION WALL 9B UNIT/MECH SEPARATION WALL 9C UNIT/MECH SEPARATION WALL 9A UNIT/MECH SEPARATION WALL 9A UNIT/MECH SEPARATION WALL 9C UNIT/MECH SEPARATION WALL 9C UNIT/MECH



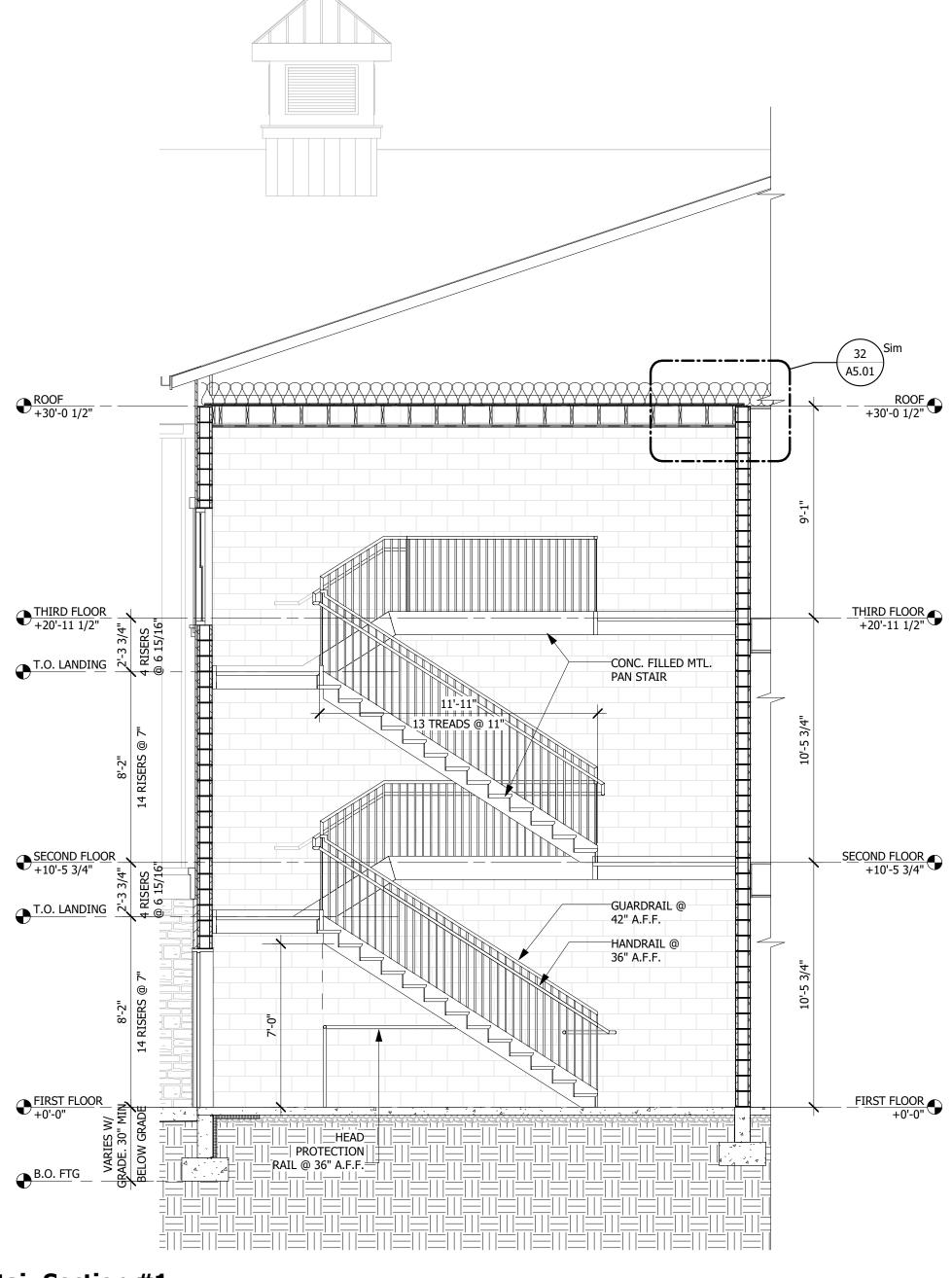


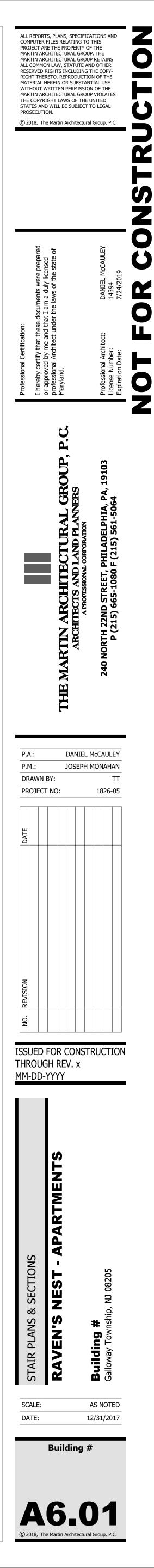
1 FIRST FLOOR STAIR PLAN SCALE : 1/4" = 1'-0"

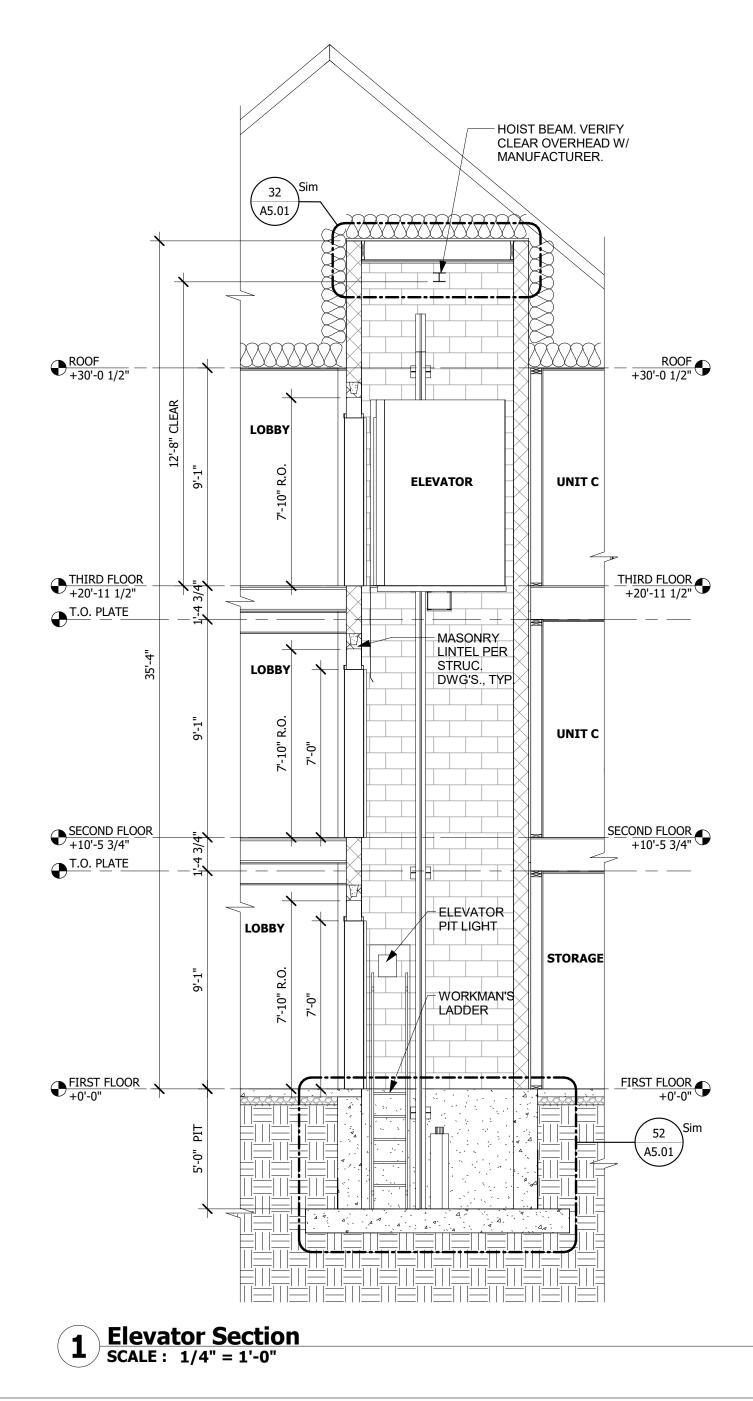


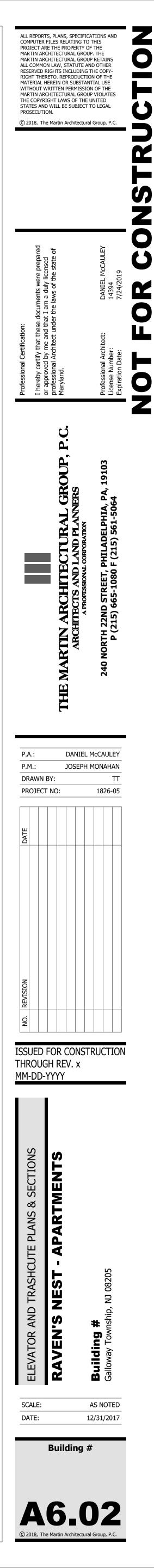


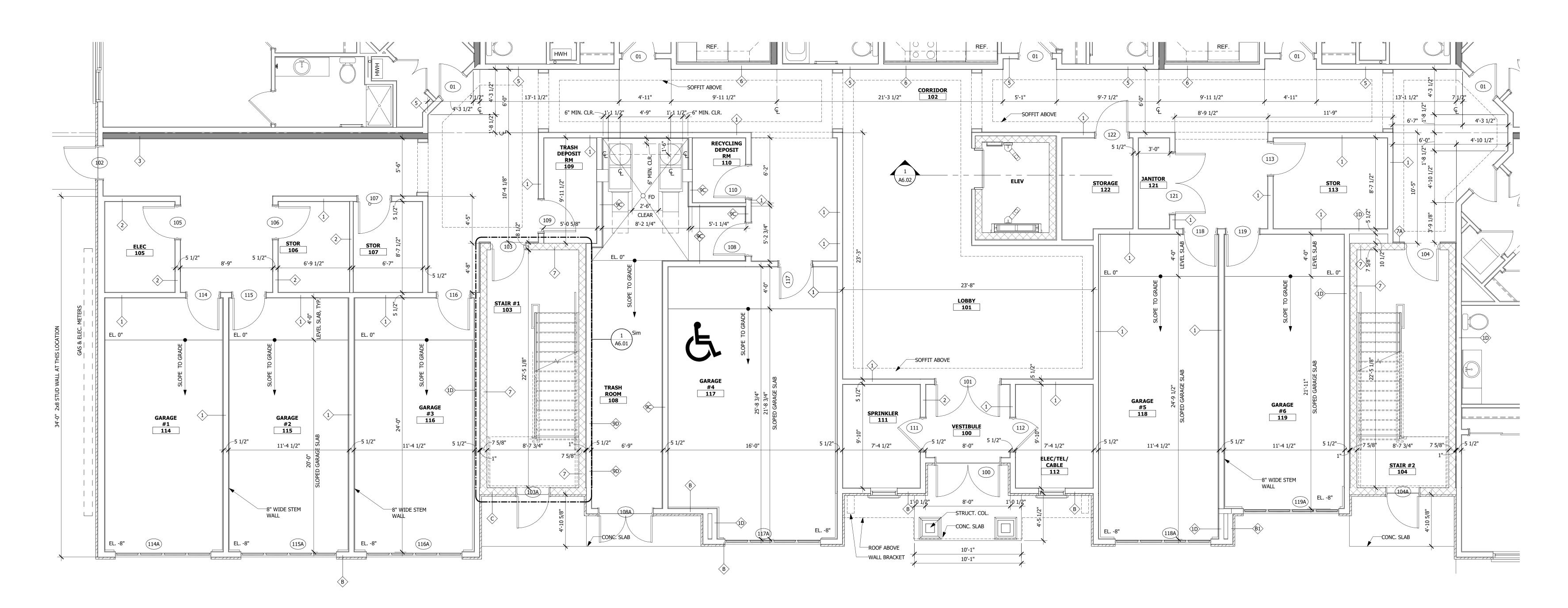




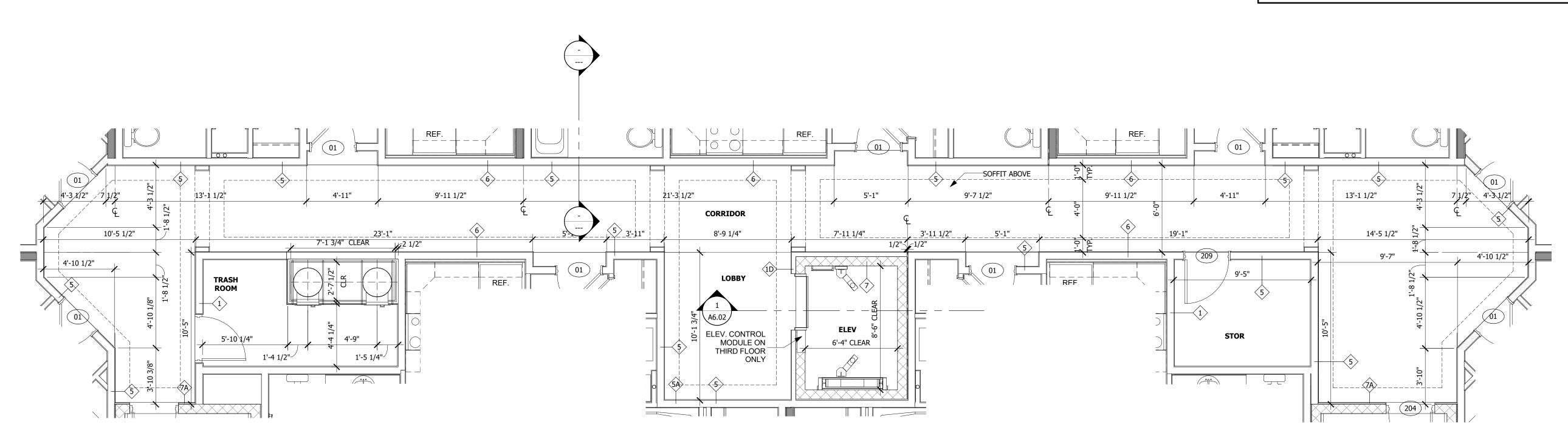








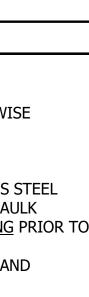
2 PARTIAL SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"



GENERAL NOTES

- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
 ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOUL DBE PRESSURE TREATED
- REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
- WHERE PRESSURE TREATED LUMBER IS USED ALL FASTNERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
 AT RATED SPEARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
 WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK

ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS



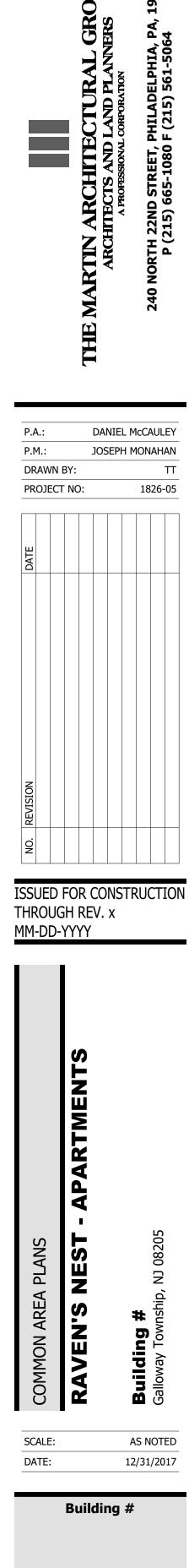
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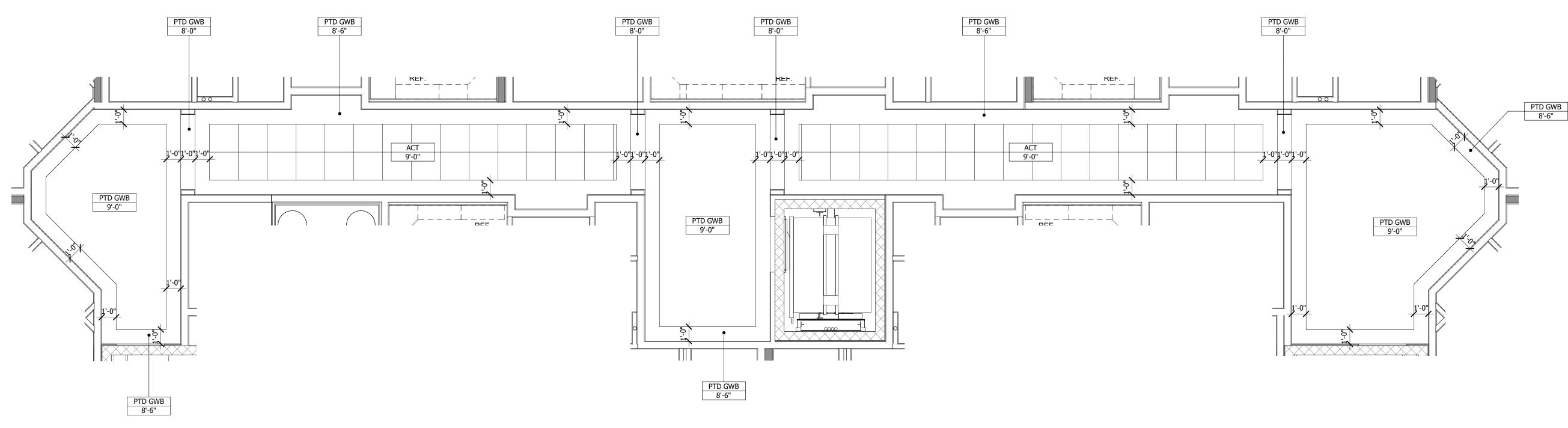
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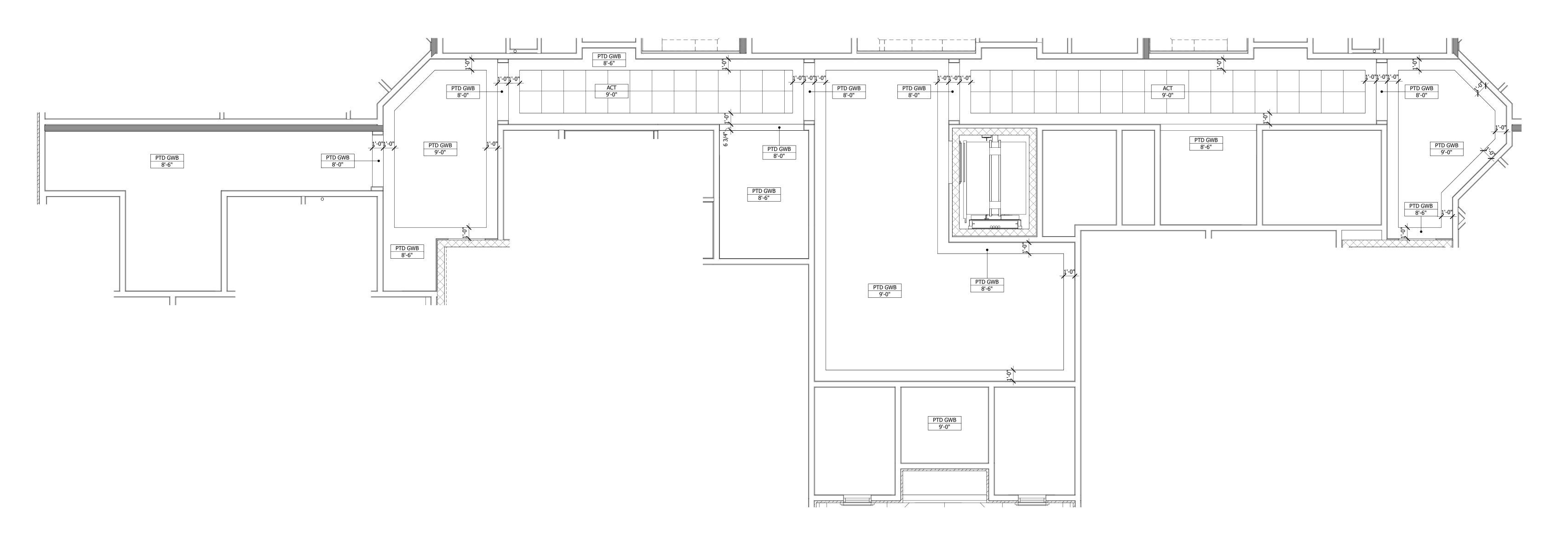
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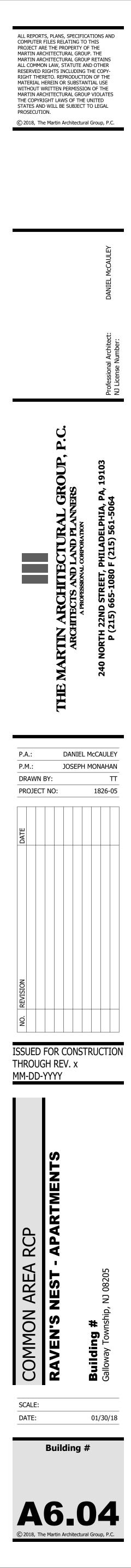
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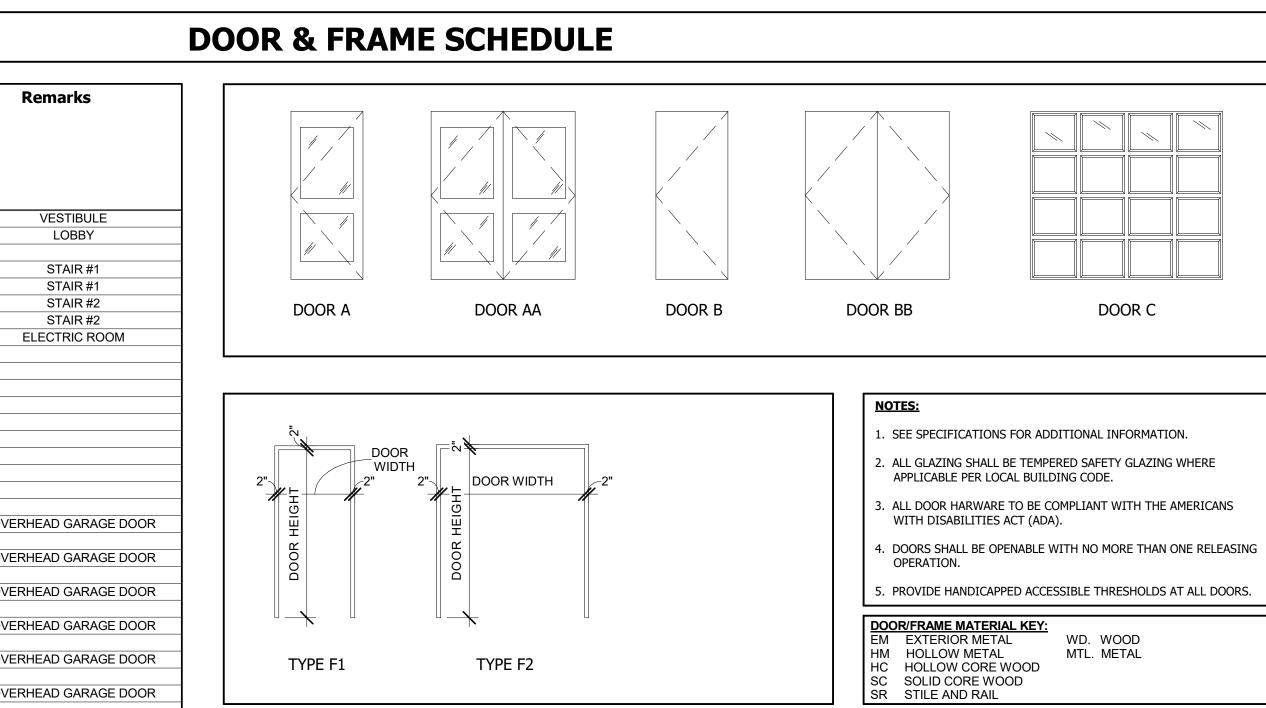


1 PARTIAL FIRST FLOOR REFLECTED CEILING PLAN SCALE : 1/4" = 1'-0"





			D	oor	Fra	me	Remarks		
				on Type			a	erial	
Door #	Width	Height	Thickness	Construction Type	Door Type	Fire Rating	Frame Type	Frame Material	
 100	6'-0"	6'-8"	⊢ 1 3/4"	0	AA		F2	HM	VESTIBULE
100	6'-0"	6'-8"	1 3/4"		AA		F2	HM	LOBBY
102	3'-0"	6'-8"	1 3/4"	SR	A		F1	НМ	
102	3'-0"	6'-8"	1 3/4"	HM	A	B-LABEL (1 1/2 hr)	F1	НМ	STAIR #1
103A	3'-0"	6'-8"	1 3/4"	HM	B		F1	НМ	STAIR #1
104	3'-0"	6'-8"	1 3/4"	HM	A	B-LABEL (1 1/2 hr)	F1	НМ	STAIR #2
104A	3'-0"	6'-8"	1 3/4"	HM	B		F1	НМ	STAIR #2
105	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	НМ	ELECTRIC ROOM
105	3'-0"	6'-8"	1 3/4"	HM	A		F1	HM	
100	3'-0"	6'-8"	1 3/4"	HM	A		F1	HM	
107	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
108 108A	5'-0"	6'-8"	1 3/4"	HM	BB	0-LADLL (3/4 III)	F2	HM	
100A	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
1109	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM HM	
111	3'-0"	6'-8"	1 3/4"	HM	B	0-LADEL (3/4 11)	F1	WD	
	3'-0"	6'-8"	1 3/4"				F1		
112	3-0	6'-8"	1 3/4	HM HM	B		F1	WD HM	
113					A				
114	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
114A	9'-0"	8'-0"	4.0/48		•			WD	OVERHEAD GARAGE DOO
115	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
115A	9'-0"	8'-0"	4.0(4)					WD	OVERHEAD GARAGE DOO
116	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
116A	9'-0"	8'-0"	4.0/48					WD	OVERHEAD GARAGE DOO
117	3'-0"		1 3/4"	НМ		C-LABEL (3/4 hr)			
117A	9'-0"	8'-0"						WD	OVERHEAD GARAGE DOO
118	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
118A	9'-0"	8'-0"						WD	OVERHEAD GARAGE DOO
119	3'-0"	6'-8"	1 3/4"	HM	A	C-LABEL (3/4 hr)	F1	HM	
119A	9'-0"	8'-0"						WD	OVERHEAD GARAGE DOO
121	5'-8"	6'-8"	1 3/4"	HM	AA		F2	HM	
122	3'-0"	6'-8"	1 3/4"	HM	Α		F1	HM	
203	3'-0"	6'-8"	1 3/4"	HM	A	B-LABEL (1 1/2 hr)	<u> </u>	HM	
204	3'-0"	6'-8"	1 3/4"	HM	A	B-LABEL (1 1/2 hr)	F1	HM	
208	3'-0"	6'-8"	1 3/4"	HM	A	B-LABEL (1 1/2 hr)	F1	НМ	
209	3'-0"	6'-8"	1 3/4"	HM	A		F1	НМ	
303	3'-0"	6'-8"	1 3/4"	HM	Α	B-LABEL (1 1/2 hr)		НМ	
304	3'-0"	6'-8"	1 3/4"	HM	Α	B-LABEL (1 1/2 hr)	F1	НМ	
308	3'-0"	6'-8"	1 3/4"	HM	Α	B-LABEL (1 1/2 hr)	F1	НМ	
309	3'-0"	6'-8"	1 3/4"	HM	Α		F1	HM	



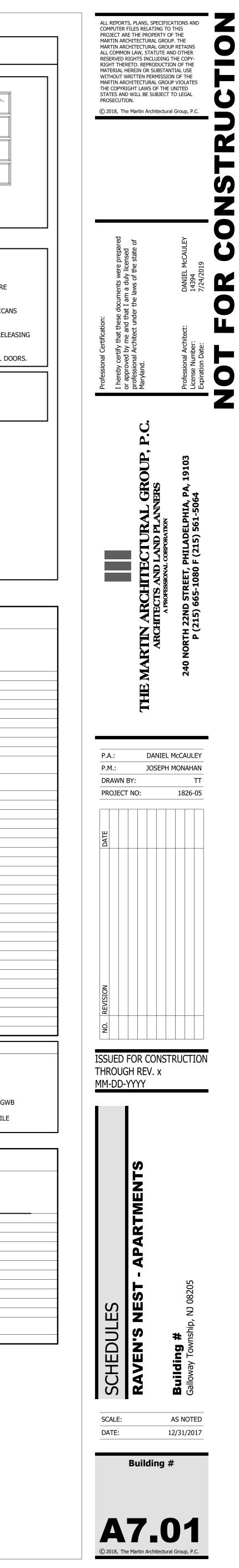
	WINDOW SCHEDULE									
Mark	Width	Height	Rough Width	Rough Height	Window Type	Construction Type	Comments			
Α	3'-0"	6'-0"	36 1/4"	72"	SH	VIN				
В	2'-6"	4'-6"	30"	54"	SH	VIN	OVER KITCHEN SINK			
С	6'-0 1/8"	6'-0"	72 5/8"	72"	SH	VIN	INTERMEDIATE JAMB			
Е	6'-0 1/8"	5'-0"	72 5/8"	60"	SH	VIN	INTERMEDIATE JAMB			
F	3'-0"	5'-0"	36 1/4"	60"	SH	VIN				
G	2'-6"	5'-0"	30"	60"	F	VIN				
W	Window Type Key Glazing		Fr	ame	Manufacturer					
_	FFixed□SingSHSingle Hung■DoulDHDouble Hung□Trip		ble		Alumir Wood Vinyl	num MI Windows or equal				

TYPE F1

TYPE F2

		RO	0	M	FI	NIS	H SC	HEDULE
Numb			Floor Finish	Wall Finish	Ceiling Finish	Ceiling		
er		Name				Height		Remarks
100	VESTIE		4	F	6	9'-0"		
101	LOBBY		4	F	6	9'-0"		
102	CORRI		1	F	6	9'-0"		
103	STAIR			F	6	9'-0"		
104	STAIR	#2		F	6	9'-0"		
105	ELEC		7	F	6	9'-0"		
106	STOR		2	A	6	9'-0"		
107	STOR		2	A	6	9'-0"		
108 109		I ROOM I DEPOSIT	7 2	F	6 6	9'-0" 9'-0"		
110	RECYC		2	F	6	9'-0"		
111	SPRIN	KLER	7	F	6	9'-0"		
112	ELEC/	FEL/ CABLE	2	F	6	9'-0"		
113	STOR		2	Α	6	9'-0"		
114	GARAC	GE #1	7	F	6	9'-0"		
115	GARAC	GE #2	7	F	6	9'-0"		
116	GARAC	GE #3	7	F	6	9'-0"		
117	GARAC	GE #4	7	F	6	9'-0"		
118	GARAC		7	F	6	9'-0"		
119	GARAC		7	F	6	9'-0"		
120		R/ SEWER	7	F	6	9'-0"		
121	JANITO	-	2	F	6	9'-0"		
122	STORA		7	F	6	9'-0"		
201	LOBBY		4	F	6	9'-0"		
202	CORRI		1	F	6	9'-0"		
203	STAIR			F	6	9'-0"		
204	STAIR	#2	_	F	6	9'-0"		
205	CLO	DOOM	2	F	6	9'-0"		
208		ROOM	2	F	6	9'-0"		
209	STOR	,	2	F	6	9'-0"		
301	LOBBY		4	F	6	9'-0"		
302	CORRI		1	F	6	9'-0"		
303 304	STAIR			F	6	9'-0"		
304 305	STAIR	#2		F	6	9'-0" 9'-0"		
305 308	CLO		2		6	9-0		
308 309	STOR	IROOM	2 2		6 6	9'-0"		
		TERIAL C						
FLR./B		WALL		ILING		4	<u>MAT</u>	ERIAL GLOSSARY
1 CPT/		GWB		GWB	M/D	-	CPT	CARPET
2 VCT/ 3 CT/V		MR. GWB CT	2	MR. G	۷۷Ď	-	СТ	CERAMIC TILE
4 CT/C		WD PANEL	4			1	CONC.	CONCRETE
5 T/W	D E	BRICK	5				GWB MR. GWB	GYPSUM WALL BOARD MOISTURE RESISTANT GW
6 WD/				5/8" '>	(' GWB	-	T	TILE
7 CON	<u>C.</u> G		7			-	vст	VINYL COMPOSITION TILE

	U	N:		FIN	ISH SCHEDULE
Name	Floor Finish	Wall Finish	Ceiling Finish	Ceiling Height	Remarks
BATH 1	4	В	6	9'-0"	
BATH 2	4	В	6	9'-0"	
BEDROOM 1	1	F	6	9'-0"	
BEDROOM 2	1	F	6	9'-0"	
BREAKFAST NOOK	6	F	6	9'-0"	UNIT A ONLY
FOYER	6	F	6	9'-0"	
KITCHEN	6	F	6	9'-0"	
LIN	1	F	6	9'-0"	
LIVING/DINING	1	F	6	9'-0"	
LNDY	2	В	6	9'-0"	
MASTER BATH	4	В	6	9'-0"	
MASTER BEDROOM	1	F	6	9'-0"	
WIC	1	F	6	9'-0"	



THE UNIFORM CONSTRUCTION CODE (N.J.A.C. 5:23) 2016 BARRIER FREE SUBCODE: - CHAPTER 11 OF 1BC/2015 &

- NJAC 5:23-7

301.1 Scope. The provisions of Chapter 3 shall apply where required by the scoping provisions adopted by the administrative authority or by Chapters 4 through 11. 301.2 Overlap. Unless otherwise specified, clear floor spaces, clearances at fixtures, maneuvering clearances at doors, and turning spaces shall be permitted to overlap.

302 Floor Surfaces. (See Figure #1 on sheet A10.02)

302.1 General. Floor surfaces shall be stable, firm, and slip resistant, and shall comply with Section 302. Changes in level in floor surfaces shall comply with Section 303. 302.2 Carpet. Carpet or carpet tile shall be securely attached and shall have a firm cushion, pad, or backing or no cushion or pad. Carpet or carpet tile shall have a level loop, textured loop, level cut pile, or level cut/uncut pile texture. The pile shall be 1/2 inch maximum in height. Exposed edges of carpet shall be fastened to the floor and shall have trim along the entire length of the exposed edge. Carpet edge trim shall comply with Section 303. 302.3 Openings. Openings in floor surfaces shall be of a size that does not permit the passage of a 1/2 inch diameter sphere

303 Changes in Level.

303.1 General. Changes in level in floor surfaces shall comply with Section 303 303.2 Vertical. Changes in level of 1/4 inch maximum in height shall be permitted to be

303.3 Beveled. Changes in level greater than 1/4 inch in height and not more than 1/2 inch maximum in height shall be beveled with a slope not steeper than 1:2. Changes in level greater than 1/2 inch in height shall be ramped.

304 Turning Space. (See Figure #2 on sheet A10.02)

304.1 General. A turning space shall comply with Section 304.

304.2 Floor Surface. Floor surfaces of a turning space shall comply with Section 302. Changes in level are not permitted within the turning space. EXCEPTION: Slopes not steeper than 1 :48 shall be

304.3 Size. Turning spaces shall comply with Section 304.3.1 or 304.3.2 304.3.1 Circular Space. The turning space shall be a circular space with a 60 inch minimum diameter. The turning space shall be permitted to include knee

and toe clearance complying with Section 306. 304.3.2 T-Shaped Space. The turning space shall be a T-shaped space within a 60-inch minimum square, with arms and base 36 inches minimum in width. Each arm of the T shall be clear of obstructions 12 inches minimum in each direction, and the base shall be clear of obstructions 24 inches minimum. The turning space shall be permitted to include knee and toe clearance complying with Section 306 only at the end of either the base or one arm. 304.4 Door Swing. Unless otherwise specified, doors shall be permitted to swing into turning spaces.

305 Clear Floor Space. (See Figure #2A on sheet A10.02)

305.1 General. A clear floor space shall comply with Section 305. 305.2 Floor Surfaces. Floor surfaces of a clear floor space shall comply with Section 302. Changes in level are not permitted within the clear floor space

305.3 Size. The clear floor space shall be 48 inches minimum in length and 30 inches minimum in width. EXCEPTION: Slopes not steeper than 1:48 shall be permitted.

305.4 Knee and Toe Clearance. Unless otherwise specified, clear floor space shall be

permitted to include knee and toe clearance complying with Section 306. 305.5 Position. Unless otherwise specified, the clear floor space shall be positioned for either forward or parallel approach to an element. 305.6 Approach. One full, unobstructed side of the clear floor space shall adjoin or overlap an

accessible route or adjoin another clear floor space. 305.7 Alcoves. If a clear floor space is in an alcove or otherwise confined on all or part of

three sides, additional maneuvering clearances complying with Sections 305.7.1 and 305.7.2 shall be provided, as applicable. open 305.7.1 Parallel Approach. Where the clear floor space is positioned for a parallel approach, the alcove shall be 60 inches minimum in width where the depth exceeds 15 inches.

305.7.2 Forward Approach. Where the clear floor space is positioned for a forward approach, the alcove shall be 36 inches minimum in width where the depth exceeds 24 inches.

306 Knee and Toe Clearance.

306.1 General. Where space beneath an element is included as part of clear floor space at an element, clearance at an element, or a turning space, the space shall comply with Section 306. Additional space shall not be prohibited beneath and element, but shall not be considered as part of the clear floor space or turning space.

306.2 Toe Clearance. (See Figure #3 on sheet A10.02) 306.2.1 General. Space beneath an element between the floor and 9 inches above the floor

shall be considered to clearance and shall comply with Section 306.2. 306.2.2 Maximum Depth. Toe clearance shall be permitted to extend 25 inches maximum under an element. 306.2.3 Minimum Depth. Where toe clearance is required at an element as part of a clear

floor space, the toe clearance shall extend 17 inches minimum beneath the element. 306.2.4 Additional Clearance. Space extending greater than 6 inches beyond the available knee clearance at 9 inches above the floor shall not be considered toe clearance. 306.2.5 Width. Toe clearance shall be 30 inches minimum in width.

306.3 Knee Clearance.

306.3.1 General. Space beneath an element between 9 inches and 27 inches above the floor shall be considered knee clearance and shall comply with Section 306.3. 306.3.2 Maximum Depth. Knee clearance shall be permitted to extend 25 inches maximum

under an element at 9 inches above the floor. 306.3.3 Minimum Depth. Where knee clearance is required beneath an element as part of a clear floor space, the knee clearance shall be 11 inches minimum in depth at 9 inches above the floor, and 8 inches minimum in depth at 27 inches above the floor. 306.3.4 Clearance Reduction. Between 9 inches and 27 inches above the floor, the knee clearance shall be permitted to be reduced at a rate of 1 inch in depth for each 6 inches in

306.3.5 Width. Knee clearance shall be 30 inches minimum in width

307 Protruding Objects

308.1 General. Protruding objects on circulation paths shall comply with Section 307. 307.2 Protrusion Limits. Objects with leading edges more than 27 inches (685 mm) and not more than 80 inches (2030 mm) above the floor shall protrude 4 inches (100 mm) maximum horizontally into the circulation path.

EXCEPTION: Handrails shall be permitted to protrude $4\frac{1}{2}$ " inches (115 mm) maximum.

307.3 Post-Mounted Objects. Objects on posts or pylons shall be permitted to overhang 4 inches maximum where more than 27 inches and not more than 80 inches above the floor. Objects on multiple posts or pylons where the clear distance between the posts or pylons is greater than 12 inches shall have the lowest edge of such object either 27 inches maximum or 80 inches minimum above the floor.

EXCEPTION: Sloping portions of handrails between the top and bottom riser of stairs and above the ramp run shall not be required to comply with Section 307.3. 307.4 Vertical Clearance. Vertical clearance shall be 80 inches minimum. Rails or other barriers shall be provided where the vertical clearance is less than 80 inches. The leading edge of such rails or barrier shall be located 27 inches maximum above the floor. EXCEPTION: Door closers and door stops shall be permitted to be 78 inches minimum above

the floor. 307.5 Required Clear Width. Protruding objects shall not reduce the clear width required for accessible routes.

308 Reach Ranges.

308.1 General. Reach ranges shall comply with Section 308.

308.2 Forward Reach.

308.2.1 Unobstructed. Where a forward reach is unobstructed, the high forward reach shall be 48 inches maximum and the low forward reach shall be 15 inches minimum above the

308.2.2 Obstructed High Reach. Where a high forward reach is over an obstruction, the clear floor space shall extend beneath the element for a distance not less than the required reach depth over the obstruction. The high forward reach shall be 48 inches maximum where the reach depth is 20 inches maximum. Where the reach depth exceeds 20 inches, the high forward reach shall be 44 inches maximum, and the reach depth shall be 25 inches

maximum. 308.3 Side Reach. (See Figure #4 on sheet A10.02)

308.3.1 Unobstructed. Where a clear floor space complying with Section 305 allows a parallel approach to an object and the edge of the clear floor space is 10 inches maximum from the element, the high side reach shall be 48 inches maximum and the low side reach shall be 15 inches above the floor.

EXCEPTION: Existing elements that are not altered shall be permitted at 54 inches maximum above the floor. 308.3.2 Obstructed High Reach. Where a clear floor space complying with Section 305 allows

a parallel approach to an element and the high side reach is over an obstruction, the height of the obstruction shall be 34 inches maximum above the floor and the depth of the obstruction shall be 24 inches maximum. The high side reach shall be 48 inches maximum above the floor for a reach depth of 10 inches maximum. Where the reach depth exceeds 10 inches, the high side reach shall be 46 inches maximum above the floor for a reach depth of 24 inches maximum.

EXCEPTION: At washing machines and clothes dryers, the height of the obstruction shall be permitted to be 36 inches maximum above the floor.

309 Operable Parts.

309.1 General. Operable parts required to be accessible shall comply with Section 309. 309.2 Clear Floor Space. A clear floor space complying with Section 305 shall be provided. 309.3 Height. Operable parts shall be placed within one or more of the reach ranges specified in Section 308.

309.4 Operation. Operable parts shall be operable with one hand and shall not require tight grasping, or twisting of the wrist. The force required to activate operable parts shall be 5.0 pounds maximum.

403 Walking Surfaces

403.1 General. Walking surfaces that are a part of an accessible route shall comply with Section 403. 403.2 Floor Surface. Floor surfaces shall comply with Section 302.

403.3 Slope. The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of a walking surface shall not be steeper than 1:48 403.4 Changes in Level. Changes in level shall comply with Section 303.

403.5 Clear Width. Clear width of an accessible route shall be 36 inches minimum EXCEPTION: The clear width shall be permitted to be reduced to 32 inches minimum for a length of 24 inches maximum provided the reduced width segments are separated by segments that are 48 inches minimum in length and 36 inches minimum in width. 403.5.1 Clear Width at 180 Degree Turn. Where an accessible route makes a 180 degree turn around an object that is less than 48 inches in width, clear widths shall be 42 inches minimum approaching the turn, 48 inches minimum during the turn, and 42 inches minimum leaving the turn.

EXCEPTION: Section 403.5.1 shall not apply where the clear width at the turn is 60 inches minimum. 403.5.2 Passing Space. An accessible route with a clear width less than 60 inches shall provide passing spaces at intervals of 200 feet maximum. Passing spaces shall be either a 60-inch minimum by 60-inch minimum space, or an intersection of two walking surfaces that provide a T-shaped turning space complying with

Section 304.3.2, provided the base and arms of the T-shaped space extend 48 inches minimum beyond the intersection.

403.6 Handrails. Where handrails are required at the side of a corridor they shall comply with Sections 505.4 through 505.9.

404 Doors and Doorways. (See Figure #5 on sheet A10.02)

404.1 General. Doors and doorways that are part of an accessible route shall comply with Section 404.

404.2 Manual Doors. Manual doors and doorways, and manual gates, including ticket gates, shall comply with Section 404.2. EXCEPTION: Doors, doorways, and gates designed to be operated only by security personnel shall not be required to comply with Sections 404.2.6, 404.2.7, and 404.2.8. 404.2.1 Double-Leaf Doors and Gates. At least one of the active leaves of doorways with two leaves shall comply with Sections 404.2.2 and 404.2.3.

404.2.2 Clear Width. Doorways shall have a clear opening width of 32 inches minimum. Clear opening width of doorways with swinging doors shall be measured between the face of door and stop, with the door open 90 degrees. Openings more than 24 inches in depth at doors and doorways

without doors shall provide a clear opening width of 36 inches minimum. There shall be no projections into the clear opening width lower than 34 inches above the floor. Projections into the clear opening width between 34 inches and 80 inches above the floor shall not exceed 4 inches (100 mm).

EXCEPTIONS: 1. Door closers and door stops shall be permitted to be 78 inches minimum above

the floor. 2. In alterations, a projection of 5/8 inch maximum into the required clear opening width shall be permitted for the latch side stop.

404.2.3 Maneuvering Clearances. Minimum maneuvering clearances at doors shall comply with Section 404.2.3 and shall include the full clear opening width of the doorway. Required door maneuvering clearances shall not include knee and toe clearance.

404.2.3.1 Floor Surface. Floor surface within the maneuvering clearances shall have a slope not steeper than 1 :48 and shall comply with Section 302. 404.2.3.2 Swinging Doors. Swinging doors shall have maneuvering clearances

complying with Table 404.2.3.2. 404.2.3.3 Sliding and Folding Doors. Sliding doors and folding doors shall have maneuvering clearances complying with Table 404.2.3.3.

404.2.3.4 Doorways without Doors. Doorways without doors that are less than 36 inches in width shall have maneuvering clearances complying with Table 404.2.3.4 (of 48 inches in front approach and 42 inches in side approach.) 404.2.3.5 Recessed Doors. Where any obstruction within 18 inches of the latch side of a doorway projects more than 8 inches beyond the face of the door, measured

perpendicular to the face of the door, maneuvering clearances for a forward approach shall be provided. 404.2.4 Thresholds at Doorways. If provided, thresholds at doorways shall be 1/2 inch maximum in height. Raised thresholds and changes in level at doorways shall comply

with Sections 302 and 303 EXCEPTION: An existing or altered threshold shall be permitted to be 3/4 inch maximum in height provided that the threshold has a beveled edge on each side with a

maximum slope of 1:2 for the height exceeding 1/4 inch.

404.2.5 Two Doors in Series. Distance between two hinged or pivoted doors in series shall be 48 inches minimum plus the width of any door swinging into the space. The space between the doors shall provide a turning space complying with Section 304. 404.2.6 Door Hardware. Handles, pulls, latches, locks, and other operable parts on accessible doors shall have a shape that is easy to grasp with one hand and does not require tight grasping, pinching, or twisting of the wrist to operate. Operable parts of such hardware shall be 34 inches minimum and 48 inches maximum above the floor. Where sliding doors are in the fully open position, operating hardware shall be exposed

and usable from both sides. EXCEPTION: Locks used only for security purposes and not used for normal operation shall not be required to comply with Section 404.2.6. 404.2.7 Closing Speed. 404.2.7.1 Door Closers. Door closers shall be adjusted so that from an open position of

90 degrees, the time required to move the door to an open position of 12 degrees shall be 5 seconds minimum.

404.2.7.2 Spring Hinges. Door spring hinges shall be adjusted so that from the open position of 70 degrees, the door shall move to the closed position in 1.5 seconds minimum

404.2.8 Door-Opening Force. Fire doors shall have the minimum opening force allowable by the appropriate administrative authority. The force for pushing or pulling open doors other than fire doors shall be as follows:

1. Interior hinged door: 5.0 pounds maximum 2. Sliding or folding door: 5.0 pounds maximum

These forces do not apply to the force required to retract latch bolts or disengage other devices that hold the door in a closed position. 404.2.9 Door Surface. Door surfaces within 10 inches of the floor - 12 inches per FHA, measured vertically, shall be a smooth surface on the push side extending the full width of the door. Parts creating horizontal or vertical joints in such surface shall be within 1/16 inch of the same plane as the other. Cavities created by added kick plates shall be capped.

EXCEPTIONS: 1. Sliding doors.

2. Tempered glass doors without stiles and having a bottom rail or shoe with the top leading edge tapered at no less than 60 degrees from the horizontal shall not be required to meet the 10 inch bottom rail height requirement.

3. Doors that do not extend to within 10 inches of the floor. 404.2.10 Vision Lites. Doors and sidelites adjacent to doors containing one or more glazing panels that permit viewing through the panels shall have the bottom of at least

one panel on either the door or an adjacent sidelite 43 inches maximum above the EXCEPTION: Vision lites with the lowest part more than 66 inches (1675 mm) above the floor shall not be required to comply with Section 404.2.10.

604.5 Grab Bars at Water Closets.

604.5 Grab Bars. Grab bars for water closets shall comply with Section 609 and shall be provided in accordance with Sections 604.5.1 and 604.5.2. Grab bars shall be provided on the rear wall and on the side wall closest to the water closet. EXCEPTIONS:

1. Grab bars are not required to be installed in a toilet room for a single occupant, accessed only through a private office and not for common use or public use, provided reinforcement has been installed in walls and located so as to permit the installation of grab bars complying

with Section 604.5. 2. In detention or correction facilities, grab bars are not required to be installed in

housing or holding cells or rooms that are specially designed without protrusions for purposes of suicide prevention. 604.5.1 Fixed Side Wall Grab Bars. Fixed side-wall grab bars shall be 42 inches

minimum in length, located 12 inches maximum from the rear wall and extending 54 inches minimum from the rear wall. In addition, a vertical grab bar 18 inches minimum in length shall be mounted with the bottom of the bar

located 39 inches minimum and 41 inches maximum above the floor, and with the center line of the bar located 39 inches minimum and 41 inches maximum from the rear wall. EXCEPTION: The vertical grab bar at water closets primarily for children's use shall

comply with Section 609.4.2. 604.5.2 Rear Wall Grab Bars. The rear wall grab bar shall be 36 inches minimum in length, and extend from the centerline of the water closet 12 inches minimum on the side closest to the wall, and 24 inches minimum on the transfer side.

- EXCEPTIONS: 1. The rear grab bar shall be permitted to be 24 inches minimum in length, centered on the water closet, where wall space does not permit a grab bar 36
- inches minimum in length due to the location of a recessed fixture adjacent to the water closet.
- 2. Where an administrative authority requires flush controls for flush valves to be located in a position that conflicts with the location of the rear grab bar, that grab bar shall be permitted to be split or shifted to the open side of the toilet area.

604.6 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with Section 309. Flush controls shall be located on the open side of the water closet

EXCEPTION: In ambulatory accessible compartments complying with Section 604.10, flush controls shall be permitted to be located on either side of the water closet.

604.7 Dispensers. Toilet paper dispensers shall comply with Section 309.4. Where the dispenser is located above the grab bar, the outlet of the dispenser shall be located within an area 24 inches minimum and 36 inches maximum from the rear wall. Where

the dispenser is located below the grab bar, the outlet of the dispenser shall be located within an area 24 inches minimum and 42 inches maximum from the rear wall. The outlet of the dispenser shall be located 18 inches minimum and 48 inches maximum above the floor. Dispensers shall comply with Section 609.3. Dispensers shall not be of a type that control delivery, or do not allow

continuous paper flow. 604.8 Coat Hooks and Shelves. Coat hooks provided within toilet compartments shall be 48 inches maximum above the floor. Shelves shall be 40 inches minimum and 48 inches maximum above the floor.

606 Lavatories and Sinks

606.1 General. Accessible lavatories and sinks shall comply with Section 606. 606.2 Clear Floor Space. A clear floor space complying with Section 305.3, positioned for forward approach, shall be provided. Knee and toe clearance complying with Section 306 shall be provided. The dip of the overflow shall not be considered in determining knee and toe clearances.

EXCEPTIONS: 1. A parallel approach complying with Section 305 and centered on the sink, shall be permitted to a kitchen sink in a space where a cook top or conventional range is not

2. The requirement for knee and toe clearance shall not apply to a lavatory in a toilet or bathing facility for a single occupant, accessed only through a private office and not for common use or public use.

3. A knee clearance of 24 inches (610 mm) minimum above the floor shall be permitted at lavatories and sinks used primarily by children ages 6 through 12 where the rim or counter surface is 31 inches (785 mm) maximum above the floor. 4. A parallel approach complying with Section 305 and centered on the sink, shall be permitted at lavatories and sinks used primarily by children ages 5 and younger.

5. The requirement for knee and toe clearance shall not apply to more than one bowl of a multibowl sink.

6. A parallel approach complying with Section 305 and centered on the sink, shall be permitted at wet bars. 606.3 Height. The front of lavatories and sinks shall be 34 inches maximum above the floor, measured to the higher of the rim or counter surface. (See Figure #7 on sheet A10.02)

EXCEPTION: A lavatory in a toilet or bathing facility for a single occupant, accessed only through a private office and not for common use or public use, shall not be required to comply with Section 606.3.

606.4 Faucets. Faucets shall comply with Section 309. Hand-operated metering faucets shall remain open for 10 seconds minimum. 606.5 Lavatories with Enhanced Reach Range.

Where enhanced reach range is required at lavatories, faucets and soap dispenser controls shall have a reach depth of 11 inches maximum or, if automatic, shall be activated within a reach depth of 11 inches maximum. Water and soap flow shall be provided with a reach depth of 11 inches maximum. 606.6 Exposed Pipes and Surfaces. Water supply and drainpipes under lavatories and

sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces under lavatories and sinks.

607 Bathtubs (See Figure #8 on sheet A10.02)

607.1 General. Accessible bathtubs shall comply with Section 607. 607.2 Clearance. A clearance in front of bathtubs extending the length of the bathtub and 30 inches minimum in depth shall be provided. Where a permanent seat is provided at the head end of the bathtub, the clearance shall extend 12 inches minimum beyond the wall at the head end of the bathtub.

607.3 Seat. A permanent seat at the head end of the bathtub or a removable in-tub seat shall be provided. Seats shall comply with Section 610. 607.4 Grab Bars. Grab bars shall comply with Section 609 and shall be provided in accordance with Section 607.4.1 or 607.4.2. EXCEPTION: Grab bars shall not be required to be installed in a bathing facility for a

single occupant accessed only through a private office and not for common use or public use, provided reinforcement has been installed in walls and located so as to permit the installation of grab bars complying with Section 607.4. 607.4.1 Bathtubs with Permanent Seats. For bathtubs with permanent seats, grab bars complying with Section 607.4.1 shall be provided.

607.4.1.1 Back Wall. Two horizontal grab bars shall be provided on the back wall, one complying with Section 609.4 and the other located 8 inches minimum and 10 inches maximum above the rim of the bathtub. Each grab bar shall be located 15 inches maximum from the head end wall and extend to 12 inches maximum from the control end wall. 607.4.1.2 Control End Wall. Control end wall grab bars shall comply with Section

607.4.1.2. EXCEPTION: An L-shaped continuous grab bar of equivalent dimensions and positioning shall be permitted to serve the function of separate vertical and horizontal grab bars. 607.4.1.2.1 Horizontal Grab Bar. A horizontal grab bar 24 inches minimum in length shall be provided on the control end wall at the front edge of the bathtub and

extending toward the inside corner of the bathtub. 607.4.1.2.2 Vertical Grab Bar. A vertical grab bar 18 inches minimum in length shall be provided on the control end wall 3 inches minimum to 6 inches maximum above the horizontal grab bar, and 4 inches maximum inward from the front edge of the bath tub. 607.4.2 Bathtubs without Permanent Seats. For bathtubs without permanent seats, grab bars complying with Section 607.4.2 shall be provided. 607.4.2.1 Back Wall. Two horizontal grab bars shall be provided on the back wall, one complying with Section 609.4 with Section 609.4 and the other located 8 inches

minimum and 10 inches maximum above the rim of the bathtub. Each grab bar shall be 24 inches minimum in length, located 24 inches maximum from the head end wall and extend to 12 inches maximum from the control end wall. 607.4.2.2 Control End Wall. Control end wall grab bars shall comply with Section 607.4.1.2.

607.4.2.3 Head End Wall. A horizontal grab bar 12 inches (305 mm) minimum in length shall be provided on the head end wall at the front edge of the bathtub.

607.5 Controls. Controls, other than drain stoppers, shall be provided on an end wall, located between the bathtub rim and grab bar, and between the open side of the bathtub and the centerline of the width of the bathtub. Controls shall comply with Section 309.4.

607.6 Hand Shower. A hand shower with a hose 59 inches minimum in length, that can be used as both a fixed shower head and as a hand shower, shall be provided. The hand shower shall have a control with a nonpositive shut-off feature. where provided, an adjustable-height hand shower mounted on a vertical bar shall be installed so as to not obstruct the use of grab bars.

607.7 Bathtub Enclosures. Enclosures for bathtubs shall not obstruct controls, faucets, shower and spray units or obstruct transfer from wheelchairs onto bathtub seats or into bathtubs. Enclosures on bathtubs shall not have tracks installed on the rim of the bathtub.

607.8 Water Temperature. [DELETED] 608 Shower Compartments. (See Figure #6 on sheet A10.02)

608.1 General. Accessible shower compartments shall comply with Section 608. 608.2 Size, clearance and seat. Shower compartments shall have sizes, clearances and seats complying with Section 608.2.

608.2.1 Transfer-type Shower Compartments. Transfer-type shower compartments shall comply with Section 608.2.1 608.2.1.1 Size. Transfer-type shower compartments shall have a clear inside dimension of 36 inches in width and 36 inches in depth, measured at the center point of opposing sides. An entry 36 inches minimum in width shall be provided.

608.2.1.2 Clearance. A clearance of 48 inches minimum in length measured perpendicular from the control wall, and 36 inches minimum in depth shall be provided adjacent to the open face of the compartment.

608.2.1.3 Seat. A folding or non-folding seat complying with Section 610 shall be provided on the wall opposite the control wall. Exception: A seat is not required to be installed in a shower for a single occupant, accessed only through a private office and not for common use or public use, provided reinforcement has been installed in walls and located so as to permit the installation of

a shower seat. 608.2.2 Standard Roll-in-type Shower Compartments. Standard roll-in-type shower compartments shall comply with Section 608.2.2. 608.2.2.1 Size. Standard roll-in-type shower compartments shall have a clear inside dimension of 60 inches minimum in width and 30 inches minimum in depth, measured

at the center point of opposing sides. An entry 60 inches minimum in width shall be 608.2.2.2 Clearance. A clearance of 60 inches minimum in length adjacent to the 60-inch width of the open face of the shower compartment, and 30 inches minimum in

depth, shall be provided. EXCEPTION: A lavatory complying with Section 606 shall be permitted at the end of the clearance opposite the seat. 608.2.2.3 Seat. A folding seat complying with Section 610 shall be provided on an end wall.

EXCEPTIONS 1. A seat is not required to be installed in a shower for a single occupant accessed only through a private office and not for common use or public use, provided reinforcement has been installed in walls and located so as to permit the installation of a shower seat.

2. A fixed seat shall be permitted where the seat does not overlap the minimum clear inside dimension required by Section 608.2.2.1.

608.2.3 Alternate Roll-in-type Shower Compartments. Alternate roll-in-type shower compartments shall comply with Section 608.2.3. 608.2.3.1 Size. Alternate roll-in shower compartments shall have a clear inside dimension of 60 inches minimum in width, and 36 inches in depth, measured at the center point of opposing sides. An entry 36 inches minimum in width shall be provided at one end of the 60-inch width of the compartment. A seat wall, 24 inches minimum and 36 inches maximum in length, shall be provided on the entry side of the compartment.

608.2.3.2 Seat. A folding seat complying with Section 610 shall be provided on the seat wall opposite the back wall. EXCEPTION: A seat is not required to be installed in a shower for a single occupant, accessed only through a private office and not for common use or public use, provided reinforcement has been installed in walls and located so as to permit the installation of

a shower seat. 608.3 Grab Bars. Grab bars shall comply with Section 609 and shall be provided in accordance with Section 608.3. Where multiple grab bars are used, required horizontal grab bars shall be installed at the same height above the floor.

EXCEPTION: Grab bars are not required to be installed in a shower for a single occupant, accessed only through a private office and not for common use or public use, provided reinforcement has been installed in walls and located so as to permit the installation of grab bars complying with Section 608.3. 608.3.1 Transfer-Type Showers. Grab bars for transfer type showers shall comply with Section 608.3.1.

608.3.1.1 Horizontal Grab Bars. Horizontal grab bars shall be provided across the control wall and on the back wall to a point 18 inches from the control wall. 608.3.1.2 Vertical Grab Bar. A vertical grab bar 18 inches minimum in length shall be provided on the control end wall 3 inches minimum to 6 inches maximum above the horizontal grab bar, and 4 inches maximum inward from the front edge of the shower

608.3.2 Standard Roll-in-Type Showers. In standard roll-in type showers, a grab bar shall be provided on the back wall beginning at the edge of the seat. The grab bars shall not be provided above the seat. The back wall grab bar shall extend the length of the wall but shall not be required to exceed 48 inches in length. Where a side wall is provided opposite the seat within 72 inches of the seat wall, a grab bar shall be provided on the side wall opposite the seat. The side wall grab bar shall extend the length of the wall but shall not be required to exceed 30 inches in length. Grab bars shall be 6 inches maximum from the adjacent

608.3.3 Alternate Roll-in-Type Showers. In alternate roll-in type showers, grab bars shall be provided on the back wall and the end wall adjacent to the seat. Grab bars shall not be provided above the seat. Grab bars shall be 6 inches maximum from the adjacent wall.

608.4 Controls and Hand Showers. Controls and hand showers shall comply with Sections 608.5 and 309.4. 608.4.1 Transfer-Type Showers. In transfer-type showers, the controls and hand shower shall be located:

1. On the control wall opposite the seat. At a height of 38 inches (965 mm) minimum and 48 inches (1220 mm) maximum above the shower floor, and

3. 15 inches (380 mm) maximum, from the centerline of the control wall toward the shower opening. 608.4.2 Standard Roll-in Showers. In standard roll in showers, the controls and hand shower shall be located on the back wall above the grab bar, 48 inches maximum above the shower floor and 16 inches minimum and 27 inches maximum from the end

wall behind the seat. 608.4.3 Alternate Roll-in Showers. In alternate roll-in showers, the controls and hand shower shall be located 38 inches minimum and 48 inches maximum above the shower floor. In alternate roll-in showers with controls and hand shower located on the end wall adjacent to the seat, the controls and hand shower shall be 27 inches maximum from the seat wall. In alternate roll-in showers with the controls and hand shower located on the back wall opposite the seat, the controls and hand shower shall be located within 15 inches, left or right, of the centerline of the seat.

608.5 Hand Showers. A hand shower with a hose 59 inches minimum in length, that can be used both as a fixed shower head and as a hand shower, shall be provided. The hand shower shall have a control with a nonpositive shut-off feature. Where provided, an adjustable-height shower mounted on a vertical bar shall be installed so as to not obstruct the use of grab bars. EXCEPTION: In other than Accessible units and Type A units, a fixed shower head

located 48 inches maximum above the shower floor shall be permitted in lieu of a hand shower 608.6 Thresholds. Thresholds in roll-in-type shower compartment shall be 1/2 inch

maximum in height in accordance with Section 303. In transfer-type shower compartments, thresholds 1/2 inch maximum in height shall be beveled, rounded, or vertical. EXCEPTION: In existing facilities, in transfer-type shower compartments where provision of a threshold 1/2 inch in height would disturb the structural

reinforcement of the floor slab, a threshold 2 inches maximum in height shall be permitted 608.8 Shower Enclosures. Shower compartment enclosures for shower compartments shall not obstruct controls or obstruct transfer from wheelchairs onto shower seats. 608.9 Water Temperature. [DELETED]

609 Grab Bars

609.1 General. Grab bars in accessible toilet or bathing facilities shall comply with Section 609. 609.2 Cross Section. Grab bars shall have a cross section complying with Section

609.2.1 or 609.2.2 609.2.1 Circular Cross Section. Grab bars with a circular cross section shall have an outside diameter of 1 1/4 inch minimum and 2 inches maximum. 609.2.2 Noncircular Cross Section. Grab bars with a noncircular cross section shall

have a cross section dimension of 2 inches maximum, and a perimeter dimension of 4 inches minimum and 4.8 inches maximum. 609.3 Spacing. The space between the wall and the grab bar shall be 1 1/2 inches. The space between the grab bar and projecting objects below and at the ends of the grab bar shall be 1 1/2 inches minimum. The space between the grab bar and projecting objects above the grab bar shall be 12 inches minimum.

EXCEPTIONS: 1. The space between the grab bars and shower controls, shower fittings, and other grab bars above the grab bar shall be permitted to be $1 \frac{1}{2}$ inches minimum. Recessed dispensers projecting from the wall $\frac{1}{4}$ inch maximum measured from the face of the dispenser and complying with Section 604.7 shall be permitted within the 12-inch space above and the 1/2 inch spaces below and at the ends of the grab

609.4.1 General. Grab bars shall be installed in a horizontal position, 33 inches minimum and 36 inches maximum above the floor measured to the top of the gripping surface or shall be installed as required by Items 1 through 3.

1. The lower grab bar on the back wall of a bathtub shall comply with Section 607.4.1.1 or 607.4.2.1. Vertical grab bars shall comply with Sections 604.5.1, 607.4.1.2.2, 607.4.2.2,

and 608.3.1.2. 3. Grab bars at water closets primarily for children's use shall comply with Section 609.4.2.

609.4.2 Position of Children's Grab Bars. At water closets primarily for children's use complying with Section 604.11, grab bars shall be installed in a horizontal position 18 inches minimum and 27 inches maximum above the floor measured to the top of the gripping surface. A vertical grab bar shall be mounted with the bottom of the bar located between 21 inches minimum and

30 inches maximum above the floor and with the centerline of the bar located between 34 inches minimum and 36 inches maximum from the rear wall. 609.5 Surface Hazards. Grab bars, and any wall or other surfaces adjacent to grab bars, shall be free of sharp or abrasive elements. Edges shall be rounded.

609.6 Fittings. Grab bars shall not rotate within their fittings. 609.7 Installation and Configuration. Grab bars shall be installed in any manner that provides a gripping surface at the locations specified in this standard and does not obstruct the clear floor space. Horizontal and vertical grab bars shall be permitted to

be separate bars, a single piece bar, or combination thereof. 609.8 Structural Strength. Allowable stresses shall not be exceeded for materials used where a vertical or horizontal force of 250 pounds (1112 N) is applied at any point on the grab bar, fastener mounting device, or supporting structure.

610 Seats (See Figure #10 on sheet A10.02)

roll-in-type shower.

from the main seat wall.

610.1 General. Seats in accessible bathtubs and shower compartments shall comply with Section 610. 610.2 Bathtub Seats. The height of bathtub seats shall be 17 inches minimum and 19

inches maximum above the bathroom floor, measured to the top of the seat. Removable in-tub seats shall be 15 inches minimum and 16 inches maximum in depth. Removable in-tub seats shall be capable of secure placement. Permanent seats shall be 15 inches minimum in depth and shall extend from the back wall to or beyond the outer edge of the

bathtub. Permanent seats shall be positioned at the head end of the bathtub. 610.3 Shower Compartment Seats. The height of shower compartment seats shall be 17 inches minimum and 19 inches maximum above the bathroom floor, measured to the top of the seat. In transfer-type and alternate roll-in-type showers, the seat shall extend along the seat wall to a point within 3 inches of the compartment entry. In standard roll-in-type showers, the seat shall extend from the control wall to a point within 3 inches of the compartment entry. Seats shall comply with Section 610.3.1 or 610.3.2.

610.3.1 Rectangular Seats. The rear edge of a rectangular seat shall be 21/2 inches

maximum and the front edge 15 inches minimum and 16 inches maximum from the

of a transfer-type shower and 11/2 inches maximum from the control wall of a

610.3.2 L-Shaped Seats. The rear edge of an L-shaped seat shall be 21/2 inches

maximum and the front edge 15 inches minimum and 16 inches maximum from the

seat wall. The rear edge of the "L" portion of the seat shall be 11/2 inches maximum

from the wall and the front edge shall be 14 inches minimum and 15 inches maximum

from the wall. The end of the "L" shall be 22 inches minimum and 23 inches maximum

610.4 Structural Strength. Allowable stresses shall not be exceeded for materials used

where a vertical or horizontal force of 250 pounds (1112 N) is applied at any

point on the seat, fastener mounting device, or supporting structure.

seat wall. The side edge of the seat shall be 11/2 inches maximum from the back wall

611 Washing Machines and Clothes Dryers (See Figure #11 on sheet A10.02)

611.1 General. Accessible washing machines and clothes dryers shall comply with Section 611 611.2 Clear Floor Space. A clear floor space complying with Section 305, positioned for parallel approach, shall be provided. For top loading machines, the clear floor space shall be centered on the appliance. For front loading machines, the centerline of the clear floor space shall be offset 24 inches maximum from the centerline of the door

611.3 Operable Parts. [DELETED] 611.4 Height. [DELETED]

<u>IOTE: This sheet is one of three sheets of specifications.</u> iformation contained on sheets A1.02 through A1.04 are intended to provide detailed technical provisions for features within a dwellina uni Scope requirements to determine units which must comply with the specifications herein are referenced elsewhere in the construction

REFERENCED SECTIONS FROM TYPE 'A' UNIT ACCESSIBLE/ADAPTABLE DWELLING UNITS ONLY

<u>1003 Type A Units</u>

1003.1 General. Type A units shall comply with Section 1003. 1003.2 Primary Entrance. The accessible primary entrance shall be on an accessible

route from public and common areas. The primary entrance shall not be to a bedroom unless it is the only entrance. 1003.3 Accessible Route. Accessible routes within Type A units shall comply with

Section 1003.3. 1003.3.1 Location. At least one accessible route shall connect all spaces and elements that are a part of the unit. Accessible routes shall coincide with or be located in the

same area as a general circulation path. EXCEPTIONS 1. An accessible route is not required to attics and basements that are part of the unit, decks and

2. An accessible route is not required to exterior decks, patios or balconies that have impervious or improved surfaces that are not more than four (4) inches below the finished floor level of the adjacent interior space of the dwelling unit. 1003.3.2 Turning Space. All rooms served by an accessible route shall provide a turning space complying with Section 304.

EXCEPTIONS: 1. A turning space is not required in toilet rooms and bathrooms that are not required to comply with Section 1003.11.2. 2. A turning space is not required within closets or pantries that are 48 inches

maximum in depth. 1003.3.3 Components. Accessible routes shall consist of one or more of the following elements: walking surfaces with a slope not steeper than 1 :20, doors and doorways, ramps, elevators, and platform lifts.

1003.4 Walking Surfaces. Walking surfaces that are part of an accessible route shall comply with Section 403. 1003.5 Doors and Doorways. The primary entrance door to the unit, and all other doorways intended for user passage, shall comply with Section 404.

EXCEPTIONS: 1. Thresholds at exterior sliding doors shall be permitted to be 3/4 inch (19 mm) maximum in height, provided they are beveled with a slope not greater than 1:2. 2. In toilet rooms and bathrooms not required to comply with Section 1003.11.2, maneuvering clearances required by Section 404.2.3 are not required on the toilet room or bathroom side of the door. 3. A turning space between doors in a series as required by Section 404.2.5 is not

4. Storm and screen doors are not required to comply with Section 404.2.5. 5. Communicating doors between individual sleeping units are not required to comply

with Section 404.2.5. 6. At other than the primary entrance door, where exterior space dimensions of balconies are less than the required maneuvering clearance, door maneuvering clearance is not required on the exterior side of the door. 1003.6 Ramps. Ramps shall comply with Section 405.

1003.7 Elevators. Elevators within the unit shall comply with Section 407, 408, or 409. 1003.8 Platform Lifts. Platform lifts within the unit shall comply with Section 410. 1003.9 Operable Parts. Lighting controls, electrical panel boards, electrical switches and receptacle outlets, environmental controls, appliance controls, operating hardware for operable windows, plumbing fixture controls, and user controls for security or intercom systems shall comply with Section 309. EXCEPTIONS:

1. Receptacle outlets serving a dedicated use. 2. Where two or more receptacle outlets are provided in a kitchen above a length of countertop that is uninterrupted by a sink or appliance, one receptacle outlet shall not be required to comply with Section 309.

3. Floor receptacle outlets. 4. HVAC diffusers.

5. Controls mounted on ceiling fans. 6. Where redundant controls other than light switches are provided for a single

element, one control in each space shall not be required to be accessible. 7. Reset buttons and shut-offs serving appliances, piping and plumbing fixtures. 8. Electrical panelboards shall not be required to comply with Section 309.4. 1003.10 Laundry Equipment. [DELETED]

1003.11 Toilet and Bathing Facilities. At least one toilet and bathing facility shall comply with Section1003.11.2. All toilet and bathing facilities shall comply with Section 1003.11.1 . (See Figure #12 on sheet A10.02) 1003.11.1 Grab Bar and Shower Seat Reinforcement. Reinforcement shall be provided for the future installation of grab bars complying with Section 604.5 at water closets; grab bars complying with Section 607.4 at bathtubs; and for grab bars and shower

seats complying with Sections 608.3, 608.2.1.3, 608.2.2.3 and 608.2.3.2 at shower compartments. (See Figure #12 on sheet A10.02) EXCEPTIONS: 1. At fixtures not required to comply with Section 1003.11.2, reinforcement in accordance with Section 1004.11.1 shall be permitted.

2. Reinforcement is not required in a room containing only a lavatory and a water closet, provided the room does not contain the only lavatory or water closet on the accessible level of the dwelling unit. 3. Reinforcement for the water closet side wall vertical grab bar component required

by Section 604.5 is not required. 4. Where the lavatory overlaps the water closet clearance in accordance with the exception to Section 1003.11.2.4.4 reinforcement at the water closet rear wall for a 24-inch minimum length grab bar, centered on the water closet, shall be provided. 1003.11.2 General. At least one toilet and bathing facility shall comply with Section 1003.11 .2. At least one lavatory, one water closet and either a bathtub or shower within the unit shall comply with Section 1003.11 .2. The accessible toilet and bathing fixtures shall be in a single toilet/bathing area, such that travel between fixtures does not require travel through other parts of the unit.

1003.11.2.1 Doors. Doors shall not swing into the clear floor space or clearance for anv fixture. EXCEPTION: Where a clear floor space complying with Section 305.3 is provided within the room beyond the arc of the door swing.

1003.11.2.2 Lavatory. Lavatories shall comply with Section 606. EXCEPTION: Cabinetry shall be permitted under the lavatory, provided the following criteria are met: (a) The cabinetry can be removed without removal or replacement of the lavatory;

(b) The floor finish extends under the cabinetry; (c) The walls behind and surrounding the cabinetry are finished.

1003.11.2.3 Mirrors. Mirrors above accessible lavatories shall have the bottom edge of the reflecting surface 40 inches (1015 mm) maximum above the floor. 1003.11.2.4 Water Closet. Water closets shall comply with Section 1003.11.2.4. 1003.11.2.4.1 Location. The water closet shall be positioned with a wall to the rear and to one side. The centerline of the water closet shall be 16 inches (405 mm) minimum and 18 inches maximum from the sidewall

1003.11.2.4.2 Clearance Width. Clearance around the water closet shall be 60 inches minimum in width, measured perpendicular from the side wall. 1003.11.2.4.3 Clearance Depth. Clearance around the water closet shall be 56 inches minimum in depth, measured perpendicular from the rear wall. 1003.11.2.4.4 Clearance Overlap. The required clearance around the water closet shall be permitted to overlap the water closet, associated grab bars, paper dispensers, coat hooks, shelves, accessible routes, clear floor space required at other fixtures, and

the wheelchair turning space. No other fixtures or obstructions shall be located within the required water closet clearance. EXCEPTION: A lavatory measuring 24 inches (610 mm) maximum in depth and complying with Section 1003.11.2.2 shall be permitted on the rear wall 18 inches minimum from the centerline of the water closet to the side edge of the lavatory where the clearance at the water closet is 66 inches minimum measured perpendicular

from the rear wall. 1003.11.2.4.5 Height. The top of the water closet seat shall be 15 inches minimum and 19 inches maximum above the floor, measured to the top of the seat. 1003.11.2.4.6 Flush Controls. Flush controls shall be hand-operated or automatic. Hand operated flush controls shall comply with Section 309. Hand-operated flush controls shall be located on the open side of the water closet.

1003.11.2.5 Bathing Fixtures. The accessible bathing fixture shall be a bathtub complying with Section 1003.11.2.5.1 or a shower compartment complying with Section 1003.11.2.5.2. (See Figure #14 on sheet A10.02) 1003.11.2.5.1 Bathtub. Bathtubs shall comply with Section 607.

EXCEPTIONS 1. The removable in-tub seat required by Section 607.3 is not required. 2. Counter tops and cabinetry shall be permitted at one end of the clearance,

provided the following criteria are met: (a) The countertop and cabinetry can be removed;

(b) The floor finish extends under the countertop and cabinetry; and (c) The walls behind and surrounding the countertop and cabinetry are finished. 1003.11.2.5.2 Shower. Showers shall comply with Section 608. (See Figure #16 on sheet A10.02)

EXCEPTION 1: At standard roll-in shower compartments complying with Section 608.2.2, lavatories, counter tops and cabinetry shall be permitted at one end of the clearance, provided the following criteria are met: (a) The countertop and cabinetry can be removed;

(b) The floor finish extends under the countertop and cabinetry; and (c) The walls behind and surrounding the countertop and cabinetry are finished. EXCEPTION 2: The threshold for a shower compartment may be adaptable provided the shower threshold can be made accessible with minimal expense and effort. 1003.12 Kitchens and kitchenettes. Kitchens and kitchenettes shall comply with Section

1003.12 1003.12.1 Clearance. Clearance complying with Section 1003.12.1 shall be provided. 1003.12.1.1 Minimum Clearance. Clearance between all opposing base cabinets, counter tops, appliances, or walls within kitchen work areas shall be 40 inches

minimum. 1003.12.1.2 U-Shaped Kitchens. In kitchens with counters, appliances, or cabinets on three contiguous sides, clearance between all opposing base cabinets, countertops, appliances, or walls within kitchen work areas shall be 60 inches (1525 mm) minimum. 1003.12.2 Clear Floor Space. Clear floor spaces required by Sections 1003.12.3 through

1003.12.5 shall comply with Section 305. 1003.12.3 Work Surface. At least one section of counter shall provide a work surface 30 inches minimum in length complying with Section 1003.12.3. 1003.12.3.1 Clear Floor Space. A clear floor space, positioned for a forward approach

to the work surface, shall be provided. Knee and toe clearance complying with Section 306 shall be provided. The clear floor space shall be centered on the work surface. EXCEPTION: Cabinetry shall be permitted under the work surface, provided the

following criteria are met: (a) The cabinetry can be removed or replaced as a unit, (b) The floor finish extends under the cabinetry,

(c) The walls behind and surrounding the cabinetry are finished.

1003.12.3.2 Height. The work surface shall be 34 inches maximum above the floor. EXCEPTION: A counter that is adjustable or replaceable as a unit to provide a work surface at heights between 29 inches minimum and 36 inches maximum shall be permitted

1003.12.3.3 Exposed Surfaces. There shall be no sharp or abrasive surfaces under the exposed portions of work surface counters.

1003.12.4 Sink. The sink shall comply with Section 1003.12.4. (See Figure #19 on sheet A10.02)

1003.12.4.1 Clear Floor Space. A clear floor space, positioned for a forward approach to the sink, shall be provided. Knee and toe clearance complying with Section 306 shall be provided.

EXCEPTIONS 1. The requirement for knee and toe clearance shall not apply to more than one bowl

of a multi-bowl sink. 2. Cabinetry shall be permitted to be added under the sink, provided the following criteria are met:

(a) The cabinetry can be removed or replaced as a unit, (b) The floor finish extends under the cabinetry, and

(c) The walls behind and surrounding the cabinetry are finished.

1003.12.4.2 Height. The front of the sink shall be 34 inches maximum above the floor, measured to the higher of the rim or counter surface. EXCEPTION: A sink and counter that is adjustable or replaceable as a unit at heights between 29 inches minimum and 36 inches maximum, provided rough-in plumbing permits connections of supply and drain piping for sinks mounted at the height of 29 inches, shall be permitted.

1003.12.4.3 Faucets. Faucets shall comply with Section 309. 1003.12.4.4 Exposed Pipes and Surfaces. Water supply and drain pipes under sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces under sinks. 1003.12.5 Appliances. Where provided, kitchen appliances shall comply with Section

1003.12.5. 1003.12.5.1 Operable Parts. [DELETED] 1003.12.5.2 Clear Floor Space. A clear floor space, positioned for a parallel or forward

approach, shall be provided at each kitchen appliance. 1003.12.5.3 Dishwasher.[DELETED]

1003.12.5.4 Cooktop. [DELETED] 1003.12.5.4.1 Approach. A clear floor space, positioned for a parallel or forward approach to the cooktop, shall be provided.

1003.12.5.4.2 Forward approach. Where the clear floor space is positioned for a forward approach, knee and toe clearance complying with Section 306 shall be

provided. The underside of the cooktop shall be insulated or otherwise configured to protect from burns, abrasions, or electrical shock. 1003.12.5.4.3 Parallel approach. Where the clear floor space is positioned for a parallel

approach, the clear floor space shall be centered on the appliance. 1003.12.5.4.4 Controls. The location of controls shall not require reaching across burners. 1003.12.5.5 Oven. [DELETED]

1003.12.5.5.1 Clear floor space. A clear floor space shall be provided. The oven door in the open position shall not obstruct the clear floor space for the oven. 1003.12.5.5.2 Side-Hinged Door Ovens. Sidehinged door ovens shall have a countertop

positioned adjacent to the latch side of the oven door. 1003.12.5.5.3 Bottom-Hinged Door Ovens. Bottom-hinged door ovens shall have a countertop positioned adjacent to one side of the door. 1003.12.5.5.4 Controls. The location of controls shall not require reaching across burners

1003.12.5.6 Refrigerator/Freezer. [DELETED] 1003.13 Windows. Windows shall comply with Section1003.13.

1003.13.1 Natural ventilation. Operable windows required to provide natural ventilation shall comply with Sections 309.2 and 309.3. 1003.13.2 Emergency escape. Operable windows required to provide an emergency

escape and rescue opening shall comply with Section 309.2. 1003.14 Storage Facilities. Where storage facilities are provided, at least one of each type shall comply with Section 905.

EXCEPTION: Kitchen cabinets shall not be required to comply with Section 1003.14

1004 Type B Units [DELETED]

NOTE:

Italic text represent provisions designed into the architectural drawings.

Standard text are specifications for accessibility to be coordinated by the general contractor where applicable which effect fixture and finish selections not made by the architect.

ADDITIONAL NOTES:

-ICC/ANSI-2009 is an acceptable "Safe Harbor" for compliance with the Federal Fair Housing Act of 1998. Note: Inconsistencies are noted when FHA is more stringent.

-Sliding Glass doors must meet 31 3/4" clear wide opening for Type 'B' units and 32" clear wide opening for type 'A' units. NOTE: Many 6'-0" wide sliders do not meet clear width requirements. Suggested

manufacturer below: Provide: Superseal Window and Door Company (or equal)

1-888-639-8569 Silverline Windows (1-800-234-4228)

Vinyl slider 950 series w/ optional 32" clear opening door DP rating 45.

-Type 'B' units have either an option 'B' bath, or all baths as option 'A'. This project designed as Option 'B'. Where unit contains an option 'B' bath, all other baths and powder rooms must contain:

(Per FHA) Usable doors per 1004.5 Provided on an accessible route per 1004.3 Light switches, electrical outlets, and other environmental controls in

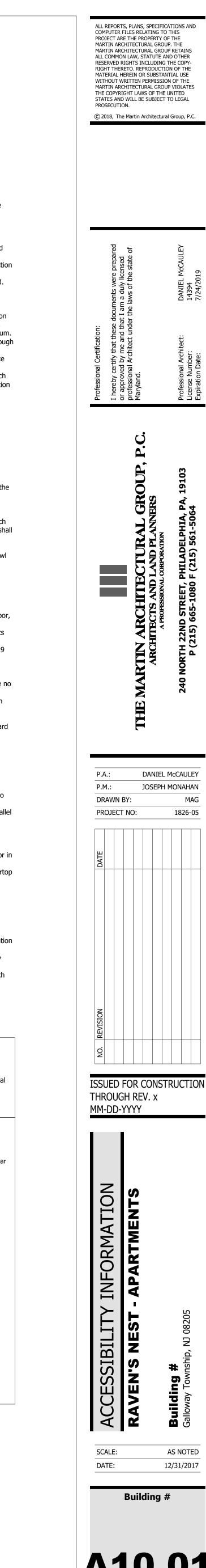
in accessible locations per section 1004.9 Blocking for grab bars @ toilet and bathing fixtures shall be provided.

-Type 'A' units require operable parts of all appliances to be within reach ranges. (Requirement 1003.9) * For kitchen range hoods provide a wall switch to operate in accessible location.

-Type 'A' units - One window in each living space and bedroom must be accessible. * See plans for designated windows

* If space has a door to exterior, window not required to be accessible.

* All blocking shall be 2x lumber or provide architects with alternative methods for approval.



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